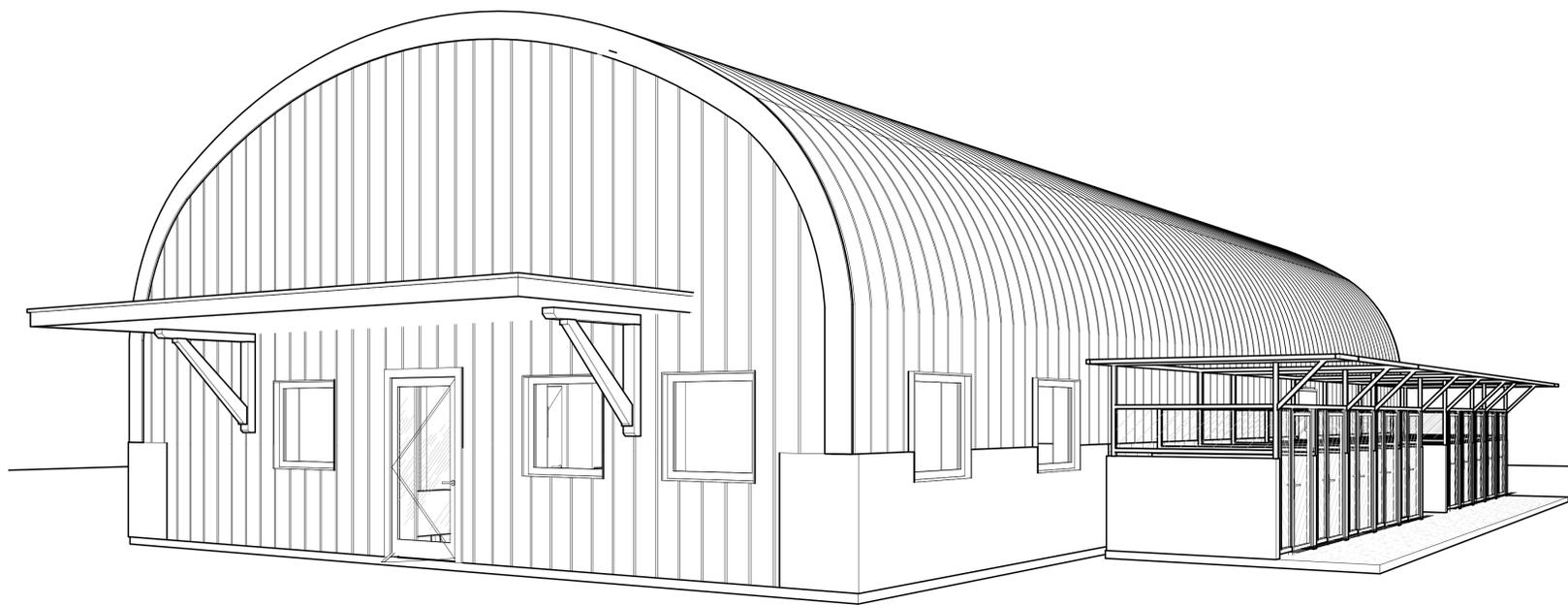


PETROPOLIS PHASE 1

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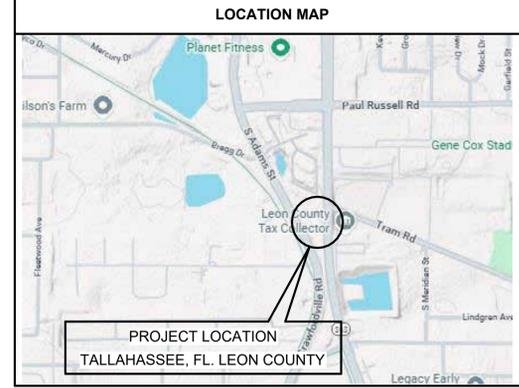
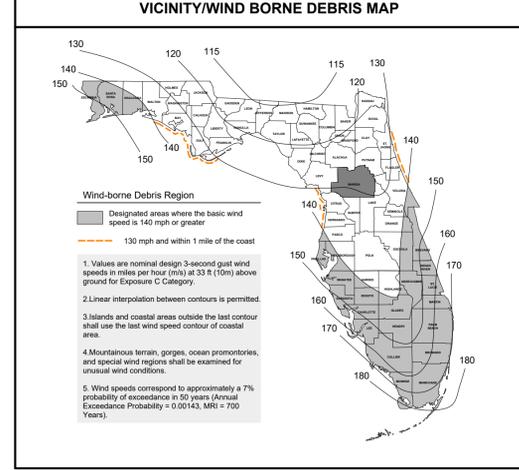
THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

DRAWINGS ARE NOT TO BE SCALED. DRAWING SCALES AS INDICATED ARE FOR REFERENCE ONLY. WRITTEN DIMENSIONS SHALL GOVERN.



PROJECT DESCRIPTION
WIND SPEED: 120 M.P.H. EXPOSURE: C RISK CATEGORY: II WIND BORNE DEBRIS REGION: YES GLAZED OPENINGS SHALL BE PROTECTED

ENGINEERING CRITERIA
WIND SPEED: 120 M.P.H. EXPOSURE: C RISK CATEGORY: II WIND BORNE DEBRIS REGION: YES GLAZED OPENINGS SHALL BE PROTECTED



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CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
PETROPOLIS
PHASE 1

PROJECT ADDRESS:
PARCEL #: 4113200240040
& 4113200240050

DESIGN
DEVELOPMENT

DRAWN BY:
R.SAEZ
ISSUE DATE:
8-7-2025

#	DESCRIPTION	DATE

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ELECTRICAL CONSULTANT ELECTRICAL POWER DESIGN, INC. ADDRESS: 13550 WRIGHT CIR, TAMPA, FL 33626 PHONE: (813) 244-3473

F.B.C. CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS
BUILDING OCCUPANCY: ASSEMBLY: A-3
TYPE OF CONSTRUCTION: V-B
SPRINKLERED: YES
ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE: 60'
PROPOSED BUILDING HEIGHT IN FEET ABOVE GRADE: 20' - 9"
ALLOWABLE NUMBER OF STORIES ABOVE GRADE: 2
PROPOSED NUMBER OF STORIES ABOVE GRADE: 1
ALLOWABLE AREA: 24,000.00 SF
PROPOSED AREA: 4,281.00 SF

F.B.C. CHAPTER 9 FIRE PROTECTION SYSTEMS
903.2.1.3 GROUP A-3
PROPOSED FIRE AREA: 4281 SQ.FT. (TOTAL UNDER ROOF)
AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED FOR FIRE AREAS CONTAINING GROUP A-3 OCCUPANCIES AND INTERVENING FLOORS OF THE BUILDING WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:
1. THE FIRE AREA EXCEEDS 12,000 SQUARE FEET (1115 M2).
2. THE FIRE AREA HAS AN OCCUPANT LOAD OF 300 OR MORE.
3. THE FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES.

F.B.C. CHAPTER 6: TYPES OF CONSTRUCTION	
FIRE RESISTANCE RATING REQUIREMENTS FOR BLDG ELEMENTS FROM TABLE 601	
PRIMARY STRUCTURAL FRAME:	0
BEARING WALLS - EXTERIOR	0
INTERIOR	0
NON-BEARING WALLS - INTERIOR	0
FLOOR CONSTRUCTION & ASSOC. MEMBERS	0
ROOF CONSTRUCTION & ASSOC. MEMBERS	0

F.B.C. CHAPTER 10: MEANS OF EGRESS SIZING	
BUILDING	
OCCUPANTS = 15	
CHECK IN AND RECEPTION	
EGRESS WIDTH: 3 OCCUPANTS X 0.2" = 0.6" / 48" PROVIDED	
MINIMUM NUMBER OF EXITS = 1 REQUIRED / 1 PROVIDED	
OFFICE	
EGRESS WIDTH: 1 OCCUPANTS X 0.2" = 0.2" / 36" PROVIDED	
MINIMUM NUMBER OF EXITS = 1 REQUIRED / 1 PROVIDED	
FOOD PREP.	
EGRESS WIDTH: 2 OCCUPANTS X 0.2" = 0.4" / 36" PROVIDED	
MINIMUM NUMBER OF EXITS = 1 REQUIRED / 1 PROVIDED	
CLEAN & UTILITY	
EGRESS WIDTH: 1 OCCUPANTS X 0.2" = 0.2" / 36" PROVIDED	
MINIMUM NUMBER OF EXITS = 1 REQUIRED / 1 PROVIDED	
BREAK	
EGRESS WIDTH: 15 OCCUPANTS X 0.2" = 2.99" / 36" PROVIDED	
MINIMUM NUMBER OF EXITS = 1 REQUIRED / 1 PROVIDED	

F.B.C. CHAPTER 8: INTERIOR FINISHES			
FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (F.S.D.) FROM TABLE 602			
F.S.D. < 5'	1		
5' < F.S.D. < 10'	1		
10' < F.S.D. < 30'	0		
F.S.D. ≥ 30'	0		
F.B.C. CHAPTER 8: INTERIOR FINISHES			
INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY			
GROUP	INTERIOR WALL AND CEILING FINISHES	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	ROOMS AND ENCLOSED SPACES
A-3	CLASS 'B'	CLASS 'B'	CLASS 'C'

AREA SCHEDULE (GROSS BUILDING)			
LEVEL	ROOM NAME	AREA	ENCLOSED/OPEN
TOP OF SLAB	ENCLOSED		
TOP OF SLAB	OFFICE	91 SF	ENCLOSED
TOP OF SLAB	CHECK-IN AND RECEPTION	352 SF	ENCLOSED
TOP OF SLAB	H/C	88 SF	ENCLOSED
TOP OF SLAB	H/C W/SHWR	89 SF	ENCLOSED
TOP OF SLAB	OFFICE / RESPITE	85 SF	ENCLOSED
TOP OF SLAB	GROOM	98 SF	ENCLOSED
TOP OF SLAB	FOOD PREP.	159 SF	ENCLOSED
TOP OF SLAB	CORRIDOR	66 SF	ENCLOSED
TOP OF SLAB	CLEAN AND UTILITY	93 SF	ENCLOSED
TOP OF SLAB	BREAK	90 SF	ENCLOSED
TOP OF SLAB	WALKWAY#1	435 SF	ENCLOSED
TOP OF SLAB	WALKWAY#2	435 SF	ENCLOSED
TOP OF SLAB	INDOOR RUNS #1	232 SF	ENCLOSED
TOP OF SLAB	INDOOR RUNS #2	232 SF	ENCLOSED
TOP OF SLAB	INDOOR RUNS #3	192 SF	ENCLOSED
TOP OF SLAB	INDOOR RUNS #4	192 SF	ENCLOSED
TOP OF SLAB	WIH	8 SF	ENCLOSED
TOP OF SLAB	WIH	8 SF	ENCLOSED
TOP OF SLAB	CART STORAGE	9 SF	ENCLOSED
TOP OF SLAB	CART STORAGE	12 SF	ENCLOSED
ENCLOSED		2965 SF	
OPEN			
TOP OF SLAB	OUTDOORS RUNS #1	197 SF	OPEN
TOP OF SLAB	OUTDOOR RUNS #2	197 SF	OPEN
TOP OF SLAB	OUTDOOR RUNS #3	161 SF	OPEN
TOP OF SLAB	OUTDOOR RUNS #4	161 SF	OPEN
OPEN		717 SF	
MEZZANINE HEIGHT			
ENCLOSED			
MEZZANINE HEIGHT	MEZZANINE	500 SF	ENCLOSED
MEZZANINE HEIGHT	STAIR	32 SF	ENCLOSED
MEZZANINE HEIGHT	STAIR	23 SF	ENCLOSED
ENCLOSED		555 SF	
Grand total		4238 SF	

FLORIDA PRODUCT APPROVALS				
CATEGORY	PRODUCT TYPE	MANUFACTURER	MODEL#/SERIES	FLORIDA PRODUCT APPROVAL #
EXTERIOR DOORS				
EXTERIOR WINDOWS				
GENERAL NOTES: 1. INCLUSION OF "APPROVED PRODUCTS" OR ASSOCIATED INFORMATION AND DOCUMENTATION ON THIS LIST OR BY REFERENCE IN THE CONSTRUCTION DOCUMENTS DOES NOT IMPLY THAT SHARP DESIGN STUDIO OR ITS SUBCONSULTANTS HAVE EITHER PRODUCED OR CREATED THE INFORMATION CONTAINED HEREIN. CONSEQUENTLY, SHARP DESIGN STUDIO AND ITS SUBCONSULTANTS ACCEPT NO RESPONSIBILITY FOR ANY INFORMATION GIVEN RELATIVE TO "APPROVED PRODUCTS." 2. RESPONSIBILITY FOR ANY PRODUCT'S PERFORMANCE RELATIVE TO STRUCTURAL INTEGRITY DURING HURRICANES BASED ON EVALUATIONS OF CODE COMPLIANCE CONDUCTED BY STATE APPROVED ENTITIES LIES SOLELY WITH THE MANUFACTURERS OF THE ABOVE LISTED PRODUCTS. 3. INCLUSION OF A PRODUCT IN THIS SCHEDULE DOES NOT IMPLY OR PRESUME THAT THE PRODUCT LISTED WILL BE INSTALLED IN THIS PROJECT. ALTERNATE PRODUCTS COMPLYING WITH CODE REQUIREMENTS MAY BE UTILIZED UPON EVALUATION, ACCEPTANCE, AND APPROVAL BY THE BUILDING DEPARTMENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT INFORMATION AND DOCUMENTATION THAT MAY BE REQUIRED BY THE BUILDING DEPARTMENT FOR THE ALTERNATE PRODUCT'S EVALUATION AND APPROVAL. 4. REFER TO PROJECT DATA ON STRUCTURAL SHEETS FOR APPLICABLE WIND SPEED CLASSIFICATION OF PROJECT.				

Diego Duran, AR99267
 Scott B. McClelland, AR93425

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CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
PETROPOLIS
PHASE 1

PROJECT ADDRESS:
PARCEL #: 4113200240040
& 4113200240050

DESIGN DEVELOPMENT

DRAWN BY:
R.SAEZ
ISSUE DATE:
8-7-2025

#	DESCRIPTION	DATE
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Diego Duran, AR99267
Scott B. McClelland, AR93425

PROJECT INFORMATION & NOTES

G001

GENERAL NOTES	
PERFORMANCE OF THE WORK:	
<p>1. ALL PARTIES PERFORMING WORK OF THE PROJECT SHALL COMPLY WITH ALL APPLICABLE NATIONAL, FEDERAL, STATE, REGIONAL, LOCAL, AND MUNICIPAL CODES, STANDARDS, AND ORDINANCES.</p> <p>2. POLICIES AND PROCEDURES OF THE OWNER.</p> <p>3. INVESTIGATE EXISTING CONDITIONS, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT. NOTIFY THE ARCHITECT IN WRITING OF ANY CONDITIONS CONTRARY TO THE CONTRACT DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.</p> <p>4. ACCEPTANCE OF THE WORK BY THE OWNER SHALL BE A CONDITION OF THE FULFILLMENT OF THE CONTRACT. MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS CLAUSE, PROTECTING THE OWNER AND THE ARCHITECT.</p> <p>5. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO REVIEW THESE PLANS. IF A CONFLICT EXISTS, THE GENERAL CONTRACTOR OR THE ARCHITECT OR ENGINEER OF RECORD IMMEDIATELY PRIOR TO THE BEGINNING OF ANY WORK TO RESOLVE THE CONFLICT. ADDITIONAL CONSTRUCTION COSTS AS A RESULT OF NON COMPLIANCE CANNOT BE USED AS A BASIS FOR BACK CHARGE.</p> <p>6. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY INFORMATION NOT CONTAINED WITHIN THESE DRAWINGS OR ANY ASSUMPTIONS MADE BY THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SAFETY TRAINING, EQUIPMENT AND PRECAUTIONS AS WELL AS METHODS AND SCHEDULING OF WORK ON-SITE.</p> <p>7. WORK MUST INCLUDE ALL REQUIRED PERMITS (IF PERMITTED BY OTHERS), LABOR AND MATERIALS TO COMPLETE ALL WORK INDICATED WITHIN THE DRAWINGS.</p> <p>8. ALL WALL PANELS AND BUILDING COMPONENTS SHALL BE PROTECTED FROM THE WEATHER AND DIRT OR MUD DURING ON-SITE STORAGE.</p> <p>9. THE GENERAL CONTRACTOR SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOIL REPORTS), ON THE STUDY OF THE PROPOSED SITE, TO THE STRUCTURAL ENGINEER. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOIL CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. THE GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THIS CRITERIA.</p> <p>10. ITEMS NOTED ON PLANS BY OTHERS ARE A DEFERRED SUBMITTAL UNTIL SHOP DRAWINGS ARE RECEIVED FROM THE MANUFACTURER, REVIEWED AND APPROVED BY THE ARCHITECT/ENGINEER, AND THE A/E.</p> <p>11. SEE THE GENERAL CONTRACTOR FOR SCOPE OF WORK AND/OR SPECIFICATIONS FOR ADDITIONAL INFORMATION.</p> <p>12. SEE STRUCTURAL SHEETS FOR GENERAL STRUCTURAL NOTES.</p> <p>13. ALL WALL CHASES TO BE CARVED AT WALL HEIGHT.</p> <p>14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE ERECTION PROCEDURES, MEANS AND METHODS AND SEQUENCE OF CONSTRUCTION.</p> <p>15. CONTRACTOR TO FURNISH AND INSTALL CONCEALED WOOD BLOCKING (WITHIN WALLS) AS REQUIRED TO FIRMLY SECURE WALL-MOUNTED EQUIPMENT AND/OR ACCESSORIES. ALL WOOD BLOCKING IN CONTACT WITH MASONRY IS TO BE PRESSURE TREATED.</p>	
BIDDING AND CONTRACT DOCUMENTS:	
<p>1. IT IS THE INTENT THAT THESE DRAWINGS BE IN CONFORMANCE WITH THE FLORIDA BUILDING CODE 8TH EDITION (2023), THE NEC 2020 AND ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND RESTRICTIVE COVENANTS GOVERNING THE SITE OF WORK.</p> <p>2. THE DRAWINGS SHALL BE ISSUED TOGETHER AND COMPLETELY AS A DOCUMENT SET FOR BIDDING AND CONSTRUCTION.</p> <p>3. THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, EACH TO THE OTHER, AND WHAT IS CALLED FOR BY ONE SHALL BE AS BINDING AS IF CALLED FOR BY BOTH. FOR MATERIALS IDENTIFIED ON THE DRAWINGS, SEE THE SPECIFICATIONS FOR GENERAL PRODUCT AND EXECUTION INFORMATION.</p> <p>4. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO INCLUDE EVERYTHING REQUISITE AND NECESSARY TO COMPLETE THE WORK EVEN IF EVERYTHING REQUIRED FOR SUCH WORK IS NOT SPECIFICALLY MENTIONED OR INDICATED.</p> <p>5. NOTES AND REFERENCES RELATIVE TO DIFFERENT CONSTRUCTION MATERIALS, DETAILS, ASSEMBLIES AND SYSTEMS APPEAR ON VARIOUS SHEETS. SUCH NOTES AND REFERENCES ON ANY ONE SHEET ARE APPLICABLE TO RELATED DRAWINGS THROUGHOUT THE SET.</p> <p>6. SHOULD A DISCREPANCY BETWEEN NOTES, DRAWINGS AND/OR TECHNICAL SPECIFICATIONS BE DISCOVERED, SUBMIT WRITTEN REQUEST TO THE ARCHITECT FOR RESOLUTION OF THE DISCREPANCY.</p> <p>7. KEYNOTES TAGGED TO THE DRAWINGS WITH NUMBERED OR LETTERED SYMBOLS ARE TYPICAL FOR ALL SIMILAR CONDITIONS WHETHER TAGGED OR NOT.</p> <p>8. DETAILS SHOWN ARE INDICATIVE OF PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE TYPICAL IN CHARACTER TO THOSE DETAILS SHOWN.</p> <p>9. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. PRINTED DRAWINGS MAY BE REPRODUCED AT A SCALE DIFFERENT THAN INTENDED BY THE ORIGINAL DRAWING. SUBMIT WRITTEN REQUEST TO THE ARCHITECT FOR RESOLUTION OF THE DISCREPANCY.</p> <p>10. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.</p> <p>11. VERIFY ALL DIMENSIONS, INCLUDING BUT NOT LIMITED TO EXISTING CONDITIONS, LAYOUT OF THE WORK, AND WORK AREAS INSTALLED BEFORE PROCEEDING WITH NEW WORK.</p> <p>12. ARCHITECTURAL DRAWINGS MUST ALWAYS BE USED IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND CONTRACT DOCUMENTS. ANY DISCREPANCY BETWEEN THESE DRAWINGS AND DOCUMENTS SHOULD BE REPORTED TO THE OWNER, ARCHITECT, OR ENGINEER FOR CLARIFICATION AND VERIFICATION. ARCHITECT MAY, AT TIMES, IDENTIFY CERTAIN BUILDING MATERIALS AND/OR SUPPLIERS AND/OR MANUFACTURERS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE FAILURE OF SUCH PRODUCTS OR ANY DEFECT IN SUCH PRODUCTS. CONTRACTOR SHALL BEAR RESPONSIBILITY TO INDEPENDENTLY ASCERTAIN THE PROPER INSTALLATION METHODOLOGY INCLUDING, WITHOUT LIMITATION, COMPLIANCE WITH ALL MANUFACTURERS' INSTRUCTIONS AND/OR ANY APPLICABLE BUILDING CODE.</p> <p>13. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY ACTS OR OMISSIONS BY THE CONTRACTOR, SUBCONTRACTORS, MATERIALS, EQUIPMENT SUPPLIERS, OR ANY OTHER AGENT OR EMPLOYEE NOT DIRECTLY WORKING ON BEHALF OF SHARP DESIGN STUDIO, LLC.</p> <p>14. FINAL PROJECT 3 RING BINDER OF ALL PERMITS, APPROVALS, TESTING AND SUB CONTRACTS CONTACT INFORMATION, FOR ALL PRODUCTS USED ON THE SITE THE MANUFACTURER'S CONTACTS, SPECS AND MANUALS SHALL BE PROVIDED IN BINDER FORMAT TO OWNER.</p>	
COORDINATION AND SUBSTITUTION:	
<p>1. COORDINATE WORK OF ALL TRADES WITH ONE ANOTHER IN ORDER TO AVOID INTERFERENCES, TO PRESERVE MAXIMUM HEAD ROOM AND TO AVOID OMISSIONS.</p> <p>2. ALL ADDITIONAL COSTS, INCLUDING ALTERATION COSTS OF WORK ALREADY INSTALLED, RESULTING FROM SUBMITTALS AND SHOP DRAWINGS NOT SUBMITTED IN A TIMELY MANNER, AND NOT ALLOWING RELATED WORK TO BE INSTALLED FOR THE PROPER INSTALLATION OF THE SUBJECT WORK, SHALL BE THE SUBMITTING CONTRACTOR'S RESPONSIBILITY.</p> <p>3. PROPOSED CHANGES TO ANY CONSTRUCTION MATERIALS, DETAILS, ASSEMBLIES AND SYSTEMS, ETC. SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT IN ACCORDANCE WITH THE PROJECT MANUAL.</p> <p>4. ACCEPTED SUBSTITUTIONS REQUIRE THAT THE CONTRACTOR RESPONSIBLE FOR THE PROPOSED CHANGE TO FULLY COORDINATE WITH ALL TRADES AFFECTED BY THE SUBSTITUTION WITH RESPECT TO, BUT NOT LIMITED TO, DIMENSIONS, CLEARANCES, CONNECTIONS, ETC. REQUIRED FOR A FULLY FUNCTIONAL INSTALLATION. SUBSTITUTING CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL RELATED COSTS ASSOCIATED WITH THE SUBSTITUTION INCLUDING RELATED COSTS OF OTHER TRADES OR ALTERATION COSTS TO ADAPT ANOTHER'S INSTALLED WORK.</p> <p>5. THE ARCHITECT IS NOT RESPONSIBLE FOR AN OWNER'S DECISION ON SUBSTITUTION MADE WITHOUT THE ARCHITECT'S KNOWLEDGE OR WRITTEN APPROVAL.</p> <p>6. ALL DRAWINGS CONTAINED WITHIN THIS SET, INCLUDING ARCHITECTURAL, MECHANICAL, AND ELECTRICAL, ARE BASED ON INFORMATION PROVIDED BY THE CLIENT/OWNER AND THEIR CONSULTANTS. ACTUAL ON-SITE CONDITIONS HAVE NOT BEEN VERIFIED BY THE ARCHITECT, MECHANICAL, OR ELECTRICAL ENGINEERS. THE CONTRACTOR, ALL SUB-CONTRACTORS, VENDORS, SUPPLIERS, AND TRADES WILL BE RESPONSIBLE TO FIELD VERIFY EXISTING CONDITIONS DURING BIDDING AND CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE OWNER AND SHARP DESIGN STUDIO'S ATTENTION IMMEDIATELY.</p> <p>7. SHOP DRAWINGS TO BE PROVIDED TO OWNER, AND OWNER'S ENGINEER & ARCHITECT FOR REVIEW.</p> <p>8. ALL BUILDING COMPONENTS SHALL COME FROM THE MANUFACTURER WITH LABELS ON EACH ITEM THAT IDENTIFIES THEM AS NOTED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS.</p> <p>9. G.G. TO COORDINATE UTILITY SERVICES PRIOR TO DEVELOPMENT.</p> <p>10. SITE DEVELOPMENT TO INCLUDE REMOVAL OF SUBSURFACE UTILITIES AND INFRASTRUCTURE ON PARCEL RELATED TO PRIOR DEVELOPMENT.</p>	
CONSTRUCTION PREMISES:	
<p>1. PROVIDE TEMPORARY FENCING AND PROTECTIONS AS REQUIRED BY THE NATIONAL, FEDERAL, STATE, REGIONAL, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.</p> <p>2. PROTECT ALL EXISTING SITE ELEMENTS TO REMAIN FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. REPAIR OR REPLACE TO THE SATISFACTION OF THE OWNER. ALL ELEMENTS DAMAGED DURING THE PROJECT. KEEP PREMISES IN A BROOM SWEEP FINISH CONDITION DURING ALL PHASES OF THE CONSTRUCTION. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR DEBRIS AND WASTE MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT IN A BROOM SWEEP FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THE WORK.</p> <p>3. CLEAN AND WASH ALL WINDOW GLASS, MIRRORS, FLOORS AND WALL TILES UPON COMPLETION OF THE PROJECT.</p>	

GENERAL NOTES	
MISCELLANEOUS:	
<p>1. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN.</p> <p>2. REFER TO DRAWINGS OF ALL DISCIPLINES FOR EQUIPMENT REQUIRING CONCRETE EQUIPMENT PADS. PROVIDE SUCH PADS, COORDINATING THEIR SIZES AND LOCATIONS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.</p> <p>3. COMPLETELY CONNECT ALL EQUIPMENT AND PROVIDE ALL NECESSARY APPENDAGES. COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL.</p> <p>4. FIELD VERIFY ALL DIMENSIONS BEFORE MANUFACTURING ANY MILLWORK, ETC.</p> <p>5. SUPPLY ALL FIXTURES COMPLETE WITH APPROPRIATE FITTINGS AND ACCESSORIES TO ENSURE PROPER FUNCTION OF ALL FIXTURES.</p> <p>6. PROVIDE FIRE EXTINGUISHERS WITHIN 75 FEET TRAVEL DISTANCE OF ALL POINTS OF OCCUPANCY. EXTINGUISHERS MUST BE MOUNTED AT A MINIMUM OF 48" FROM THE TOP TO FINISHED FLOOR.</p> <p>7. FLUSH CONTROLS ARE TO BE LOCATED ON ACCESSIBLE SIDE OF THE TOILET.</p> <p>8. PER ADA, ONE LAVATORY MUST MEET ADA SPECIFICATIONS AND NOT BE IN A STALL.</p> <p>9. ALL SINK RIMS SHOULD BE MOUNTED AT 2'-10" MAXIMUM.</p> <p>10. CLEAR FLOOR SPACES OF 30"x48" SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY MINIMUM OF 29" VERTICAL, 8" HORIZONTAL, AND 17" HORIZONTAL DEPTH AT FLOOR.</p> <p>11. WHERE TOWEL, SANITARY NAPKINS, WASTE RECEPTACLES, AND OTHER SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE SHALL BE LOCATED WITH ALL OPERABLE PARTS WITHIN 48" MAXIMUM FROM FINISHED FLOOR.</p> <p>12. ALL DOORS MUST COMPLY WITH ADA REQUIREMENTS FOR CLEAR AREA ON DOOR STRIKE SIDE OF THE DOOR BASED ON LOCATION, ORIENTATION, AND APPROACH TO THE DOOR.</p> <p>13. ANY CHANGE IN LEVEL BELOW 1/4" ARE PERMISSIBLE. CHANGES GREATER THAN 1/4" BUT LESS THAN 1/2" MUST BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" MUST BE RAMPED PER ADA. APPROVED ADA THRESHOLDS MUST BE USED WHERE A THRESHOLD IS REQUIRED.</p> <p>14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL PATHWAYS ARE COMPLIANT WITH ADA AND NFPA.</p> <p>15. ALL ELECTRICAL SITE AND BUILDING, VIDEO SURVEILLANCE & SECURITY WIRING TO BE IN CONDUIT.</p> <p>16. ANY FOUNDATION WORK SHALL BE SEALED WITHIN 24 HOURS AND SAW CUTS SHALL BE COMPLETED WITHIN 24 HOURS OF FOUNDATION CONSTRUCTION.</p> <p>17. DEFERRED SUBMITTAL NOTICE: IN ACCORDANCE WITH CHAPTER 1, SECTION 107.34.1 OF THE 2023 FLORIDA BUILDING CODE, BUILDING, EIGHTH EDITION, WE WILL BE APPLYING THE DEFERRED SUBMITTAL RULE TO THE TRUSS ENGINEERING LAYOUTS AND PROFILES. THESE DOCUMENTS WILL BE PROVIDED BY THE MANUFACTURER AND SUBMITTED FOR REVIEW AND APPROVAL BY THE AUTHORITY HAVING JURISDICTION (AHJ) PRIOR TO INSTALLATION. WE WILL ENSURE COMPLIANCE WITH ALL NECESSARY REQUIREMENTS AS OUTLINED IN THE CODE.</p>	
TERMITE PROTECTION:	
<p>1. PROTECTION AGAINST TERMITES SHALL ADHERE TO ALL GUIDELINES SET IN SECTION R318 OF THE FLORIDA RESIDENTIAL BUILDING CODE.</p> <p>2. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR REINSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.</p> <p>3. CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM THE BUILDING SIDEWALLS.</p> <p>4. IRRIGATION/SPRINKLER SYSTEMS INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING SIDEWALL.</p> <p>5. TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES. EXCEPTION: PAINT OR DECORATIVE CEMENTITIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL.</p> <p>6. INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE.</p> <p>7. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED.</p> <p>8. BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC. SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT.</p> <p>9. MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED.</p> <p>10. CONCRETE OVERPOUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT.</p> <p>11. SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1' - 0" OF THE STRUCTURE SIDEWALLS.</p> <p>12. AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE, INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED.</p> <p>13. ALL BUILDINGS ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT.</p> <p>14. A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES".</p> <p>15. AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1' - 0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL.</p> <p>16. NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC. SHALL BE BURIED WITHIN 15' - 0" OF ANY BUILDING OR PROPOSED BUILDING.</p> <p>17. SOIL IS TO BE COMPACTED TO 95% MODIFIED PROCTOR AS DEFINED BY ASTM D 1557-91</p>	

ABBREVIATIONS			
AC	AIR CONDITIONING	HT	HEIGHT
AD	AREA DRAIN	INCL	INCLUDED
AFF	ABOVE FINISH FLOOR	INSUL	INSULATION
AGGR	AGGREGATE	JT	JOINT
ALT	ALTERNATE	KS	KITCHEN SINK
ALUM	ALUMINUM	L CL	LINEN CLOSET
APPROX	APPROXIMATE	LAM	LAMINATE
ARCH	ARCHITECTURAL	LAV	LAVATORY
ASF	ABOVE STRUCTURAL FLOOR	LL	LIVE LOAD
AVG	AVERAGE	LPT	LOW POINT
B or BO	BOTTOM OF	LV	LOW VOLTAGE
BD	BOARD	MASY	MASONRY
BITUM	BITUMINOUS	MAX	MAXIMUM
BLDG	BUILDING	MC	MEDICINE CABINET
BSMT	BASEMENT	MECH	MECHANICAL
CAB	CABINET	MFR	MANUFACTURER
CEM	CEMENT	MIN	MINIMUM
CFM	CUBIC FEET PER MINUTE	MISC	MISCELLANEOUS
CL	CENTER LINE	MO	MASONRY OPENING
CLS	CEILING	MTL	METAL
CLR	CLEAR	MW	MICROWAVE
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
COD	CO DETECTOR	NO	NUMBER
COL	COLUMN	NOM	NOMINAL
CONC	CONCRETE	NTS	NOT TO SCALE
CONST	CONSTRUCTION	OC	ON CENTER
CONT	CONTINUOUS	OSD	OPEN SITE DRAIN
CPT	CARPET	PAN	PANTRY
CT	CERAMIC TILE	PL	PLATE
D	DEEP	PLAM	PLASTIC LAMINATE
DBL	DOUBLE	PT	PAINT
DEPT	DEPARTMENT	QT	QUARRY TILE
DIA	DIAMETER	R	RADIUS
DIM	DIMENSION	REF	REFRIGERATOR
DL	DEAD LOAD	REQD	REQUIRED
DN	DOWN	REV	REVISION
DS	DOWNSPOUT	RNG	RANGE
DW	DISHWASHER	RO	ROUGH OPENING
DWG	DRAWING	SC	SOLID CORE
EACH	EACH	SD	SMOKE DETECTOR
EL	ELEVATION	SF	SQUARE FEET
ELEC	ELECTRICAL	SH	SHELF
ELEV	ELEVATOR	SST	STAINLESS STEEL
EMER	EMERGENCY	ST	STAINED
EQ	EQUAL	STD	STANDARD
EQPT	EQUIPMENT	STL	STEEL
EXIST	EXISTING	T&G	TONGUE AND GROOVE
EXT	EXTERIOR	THK	THICKNESS
FDTN	FOUNDATION	TYP	TYPICAL
FL	FLOOR DRAIN	UNO	UNLESS NOTED OTHERWISE
FP	FIRE PLACE	VERT	VERTICAL
FURN	FURNACE	VIF	VERIFY IN FIELD
G DISP	GARBAGE DISPOSAL	W	WIDE
GA	GAGE OF GAUGE	WD	WASHER / DRYER
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WC	WATER CLOSET
GYP BD	GYPNUM BOARD	WD	WOOD
HC	HOLLOW CORE	WH	WATER HEATER
HM	HOLLOW METAL	WIC	WALK-IN CLOSET
HORIZ	HORIZONTAL	WP	WATERPROOF
HPT	HIGH POINT	WWF	WELED WIRE FABRIC

SYMBOL LEGEND	
	DETAIL SHEET NUMBER
	DETAIL CALLOUT
	ELEVATION TAG
	SECTION SHEET NUMBER
	WINDOW TAG
	DOOR TAG
	KEYNOTE TAG
	ASSEMBLY TAG
	REVISION TAG
	LIGHT TAG

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PROJECT NUMBER:
22-1433

PROJECT NAME:
**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

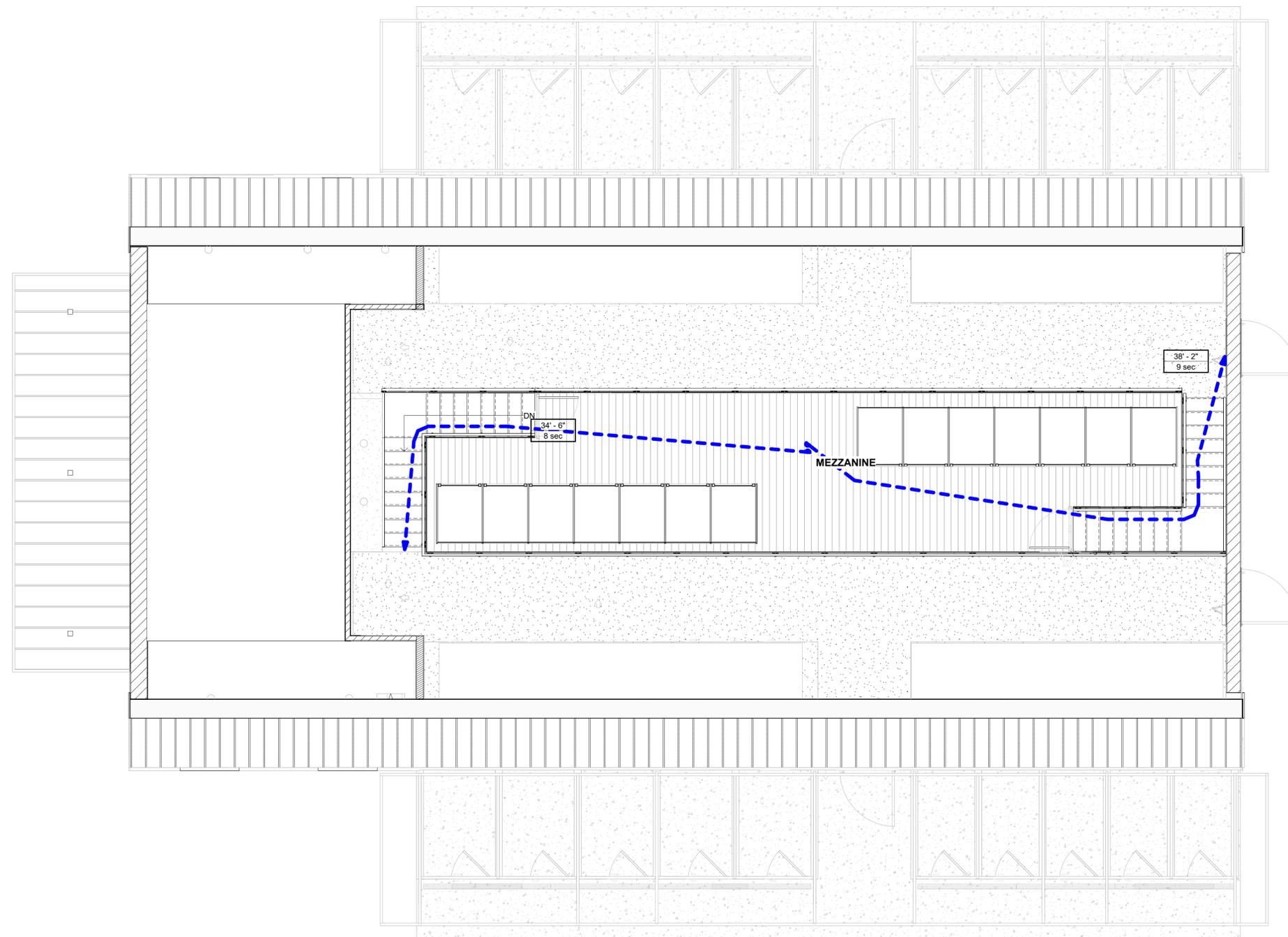
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DIEGO DURAN, AIA
AR99267

LIFE SAFETY
PLAN MEZZANINE

G004

LEGEND	
	PATH OF EGRESS, INDICATE DIRECTION OF MAXIMUM TRAVEL DISTANCE
	ILLUMINATED EXIT SIGN
	2-A FIRE EXTINGUISHER 75 FT MAX. TRAVEL DISTANCE
	TACTILE EXIT SIGN
	MAXIMUM OCCUPANCY SIGN
	ROOM SIGNAGE
	FIRE DEPT. MALTESE CROSS, INSTALL PER LOCAL F.D. REGULATIONS
	30X48 CLEAR FLOOR SPACE, DOES NOT APPLY TO DOOR CLEARANCES



1 MEZZANINE HEIGHT
1/4" = 1'-0"



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DRAWN BY:
R.SAEZ
ISSUE DATE:
8-7-2025

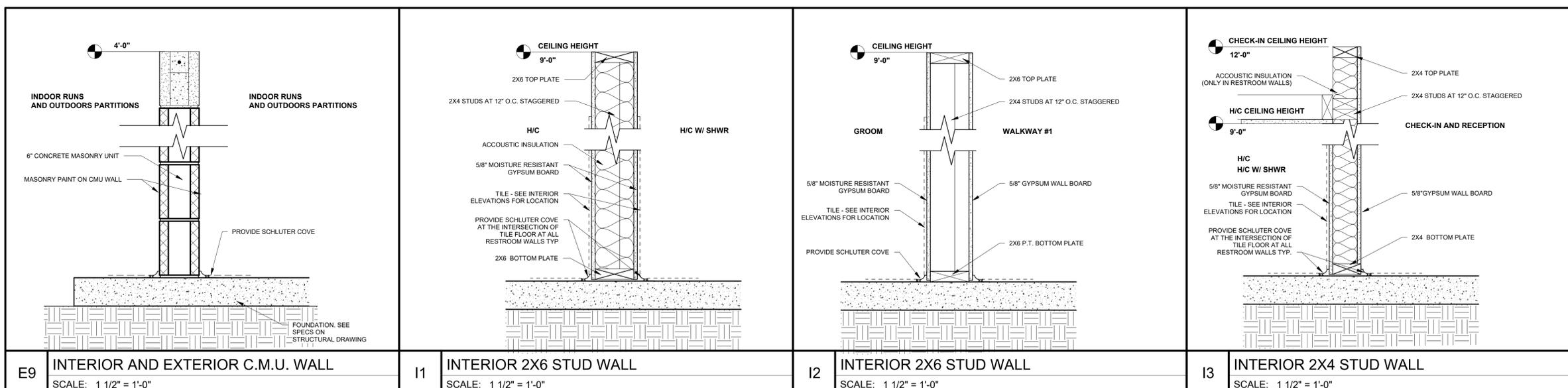
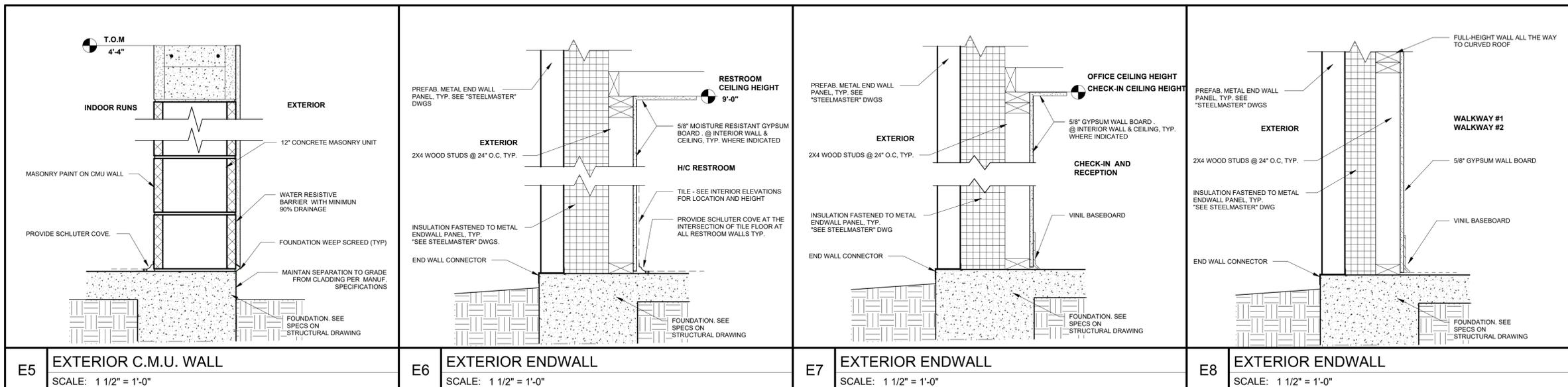
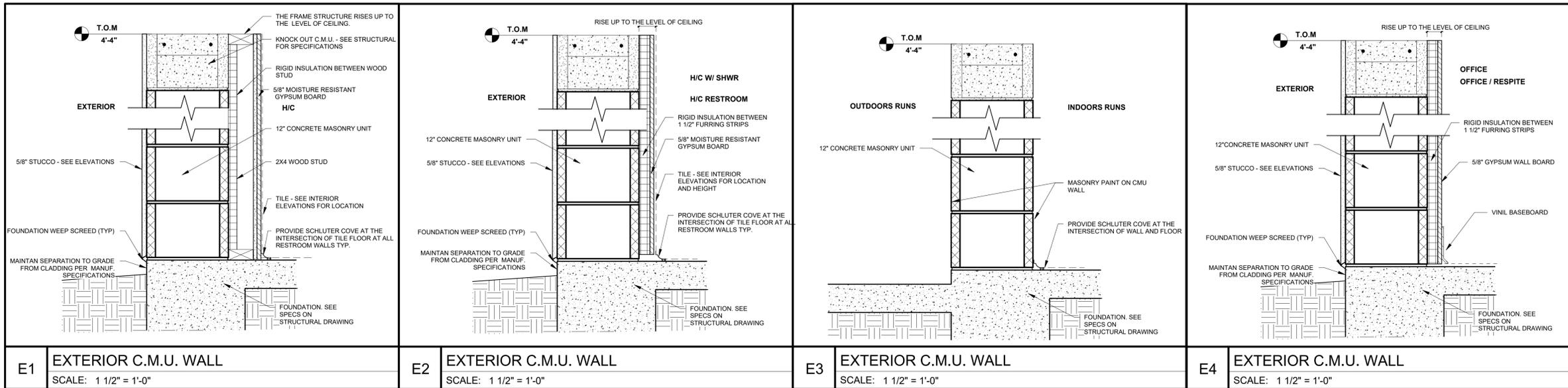
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SCOTT B. McCLELLAND, AR93425

WALL PARTITION

G005

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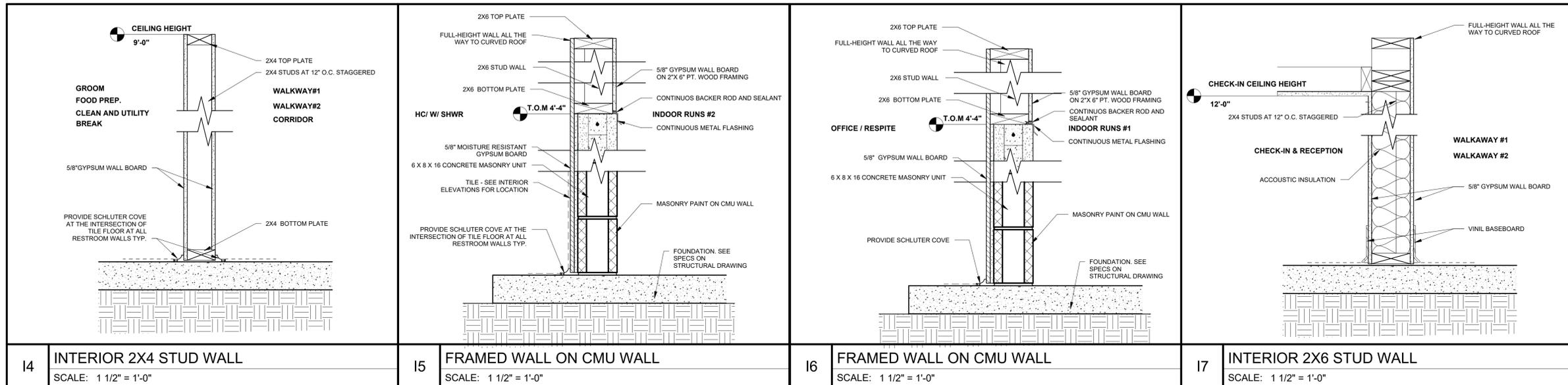
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WALL PARTITION

G006

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14 INTERIOR 2X4 STUD WALL
SCALE: 1 1/2" = 1'-0"

15 FRAMED WALL ON CMU WALL
SCALE: 1 1/2" = 1'-0"

16 FRAMED WALL ON CMU WALL
SCALE: 1 1/2" = 1'-0"

17 INTERIOR 2X6 STUD WALL
SCALE: 1 1/2" = 1'-0"

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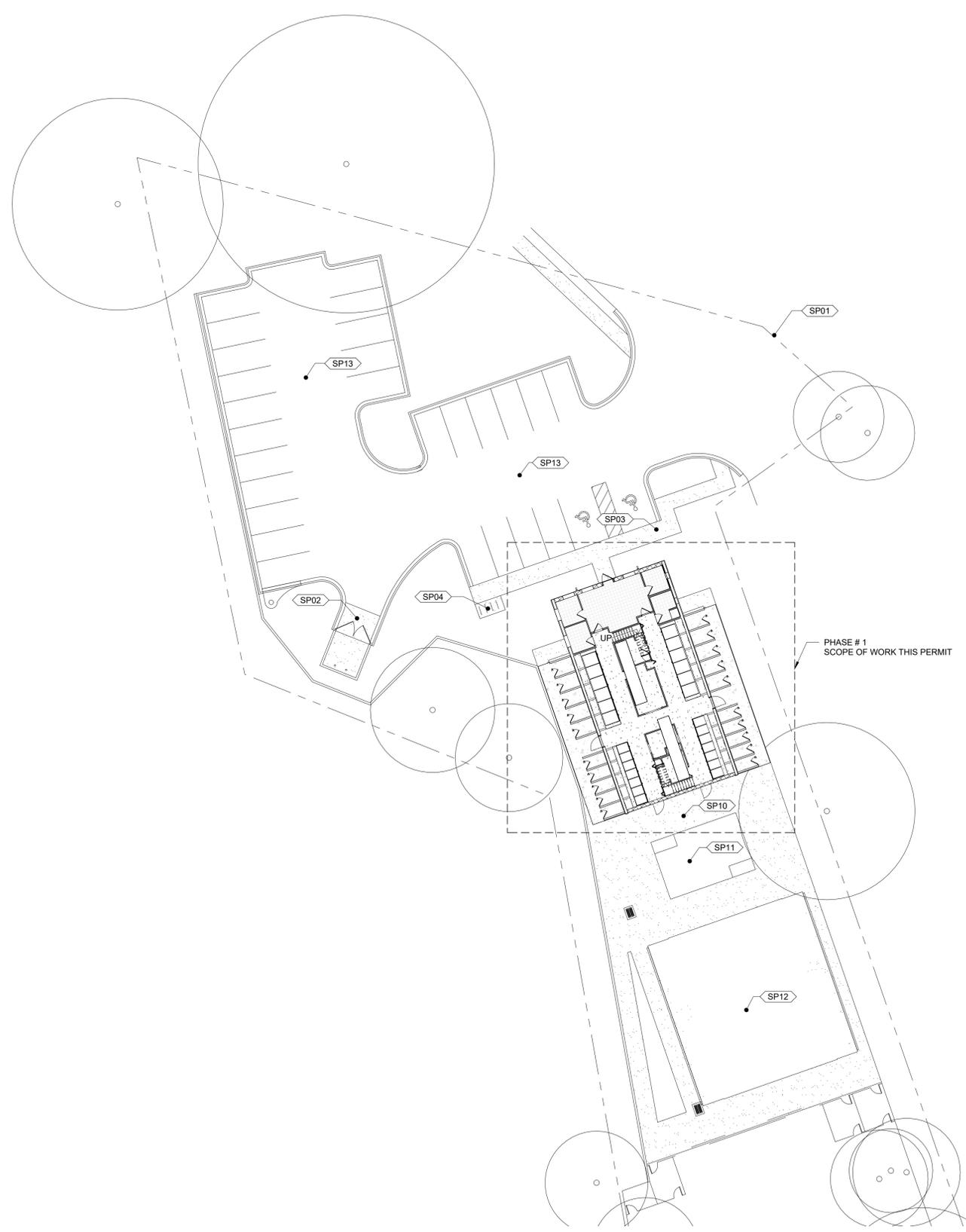
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SITE PLAN NOTES	
1.	FIRST FLOOR ELEVATION IS BASED ON ASSUMED 0' - 0"
2.	G.C. TO COORDINATE ALL INCOMING UTILITIES.
3.	SITE INFORMATION IS FOR REFERENCE ONLY. SEE LANDSCAPE AND CIVIL DRAWINGS FOR MORE SPECIFIC DETAILS REGARDING HARD AND SOFT SCAPE.
4.	SEE LANDSCAPING PLANS FOR LOCATION OF POOL SHOWER. AT LEAST ONE SHOWER SHOULD BE NO FURTHER THAN 20' FROM WATER'S EDGE.

KEYNOTES - SITE PLAN	
Key Value	Keynote Text
SP01	PROPERTY LINE
SP02	DUMPSTER ENCLOSURE
SP03	SLIP RESISTANT, BROOM FINISH CONCRETE SIDEWALK. ENSURE SIDEWALK DOES NOT EXCEED MAX 5% SLOPE IN DIRECTION OF TRAVEL AND 2% SLOPE IN ALL DIRECTIONS.
SP04	4 BIKE SPACES
SP10	POOL DECK
SP11	POOL
SP12	PHASE #2
SP13	PARKING



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ARCH. SITE PLAN

A100

NOTE TO BIDDERS - THE CIVIL DWGS. SUPERCEDE THE ARCH. SITE PLAN, PLEASE REFER TO THEM FOR ALL SITE WORK ESTIMATION

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2 ARCHITECTURAL SITE PLAN
3/64" = 1'-0"



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KEYNOTES - SLAB PLAN	
Key Value	Keynote Text
SB01	2"x4" PLUMBING WALL (TYP.)
SB02	2"x6" PLUMBING WALL (TYP.)
SB03	FLOOR DRAIN. PROVIDE 1/8" - 1/2" SLOPE AT SLAB TO ALL FLOOR DRAIN LOCATIONS.
SB04	WATER HEATER
SB06	EDGE OF SLAB
SB07	SHOWER PAN
SB08	DISH WASHER LOCATION
SB09	WASHER & DRYERS LOCATION
SB10	FRIDGE LOCATION
SB11	DOG WASH TUB
SB12	4" KENNEL WASTE TROUGH (TYP.)
SB13	DOUBLE SINK, TYP.
SB14	UTILITY SINK, TYP.
SB15	MOP SINK, TYP.

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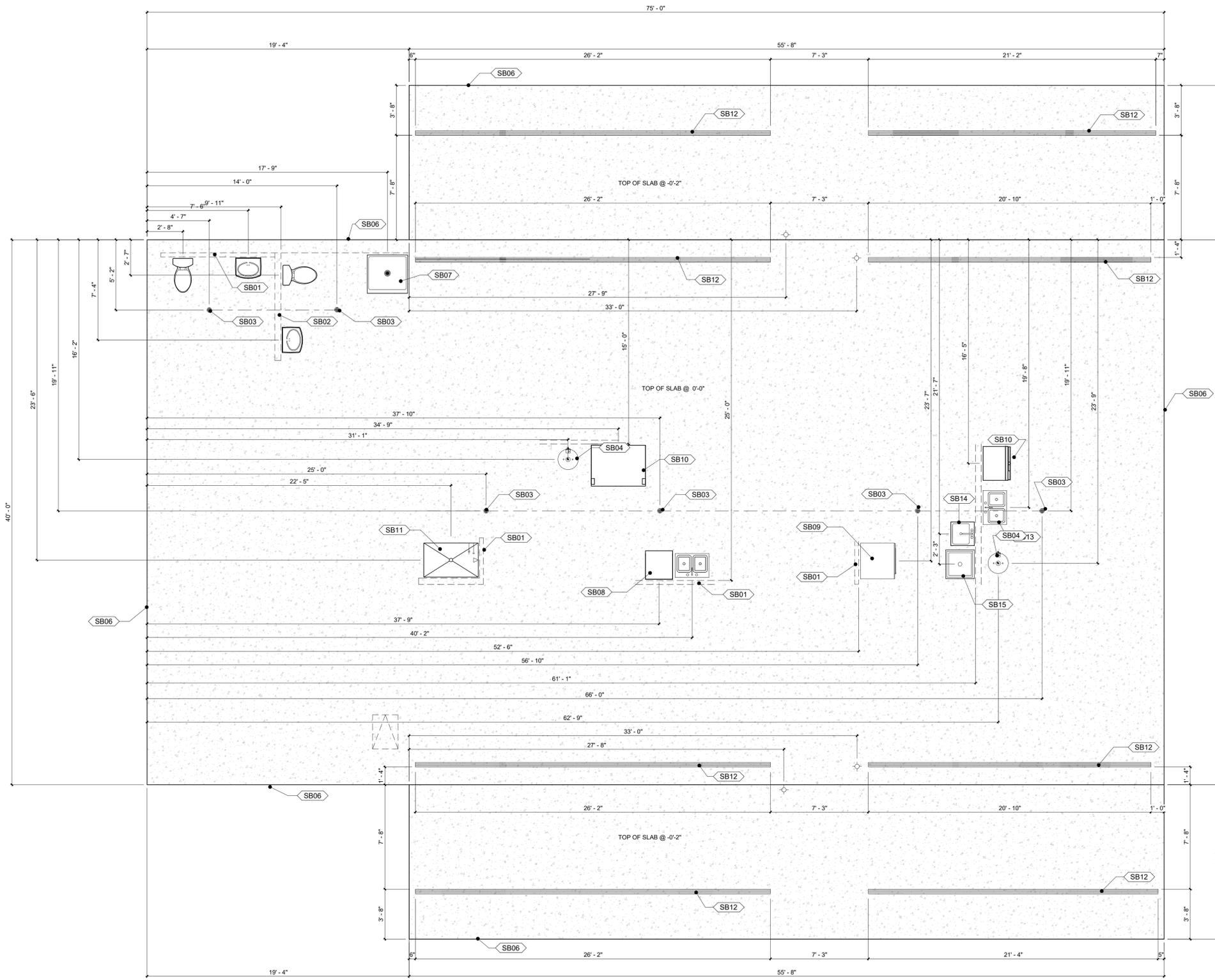
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PLUMBING SLAB
PLAN

A101



1 PLUMBING SLAB PLAN
1/4" = 1'-0"

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FLOOR PLAN GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL MASONRY OPENINGS AND COORDINATE ALL WINDOW SIZES WITH WINDOW MANUFACTURER PRIOR TO ORDERING MATERIALS. SHARP DESIGN STUDIO WILL NOT BE RESPONSIBLE FOR WINDOW/DOORS/OULVERS THAT HAVE NOT BEEN COORDINATED BY CONTRACTOR AND/OR INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- TILE AND PAVER PATTERNS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. TILE AND PAVER SPECIFICATIONS AND INSTALLATION PATTERN TO BE DETERMINED.
- ALL GUTTERS AND DOWNSPOUTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. DOWNSPOUT LOCATION SHALL BE COORDINATED WITH ELEVATIONS SO THERE IS NO CONFLICT BETWEEN ITS LOCATION AND ANY EXTERIOR FENESTRATION.
- LAMINATED VENEERED LUMBER (LVL) TO BE BOISE CASCADE VERSA LAM 3100 Fb = 3100 Pbl, E = 2000 Ksi
- ALL ENTRY DOORS TO HAVE ADA COMPLIANT THRESHOLDS. (TYP.) SEE SHEET A700 FOR DETAIL.
- DEFERRED SUBMITTAL NOTICE: IN ACCORDANCE WITH CHAPTER 1, SECTION 107.3.4.1 OF THE 2023 FLORIDA BUILDING CODE, BUILDING, EIGHTH EDITION, WE WILL BE APPLYING THE DEFERRED SUBMITTAL RULE TO THE TRUSS ENGINEERING LAYOUTS AND PROFILES. THESE DOCUMENTS WILL BE PROVIDED BY THE MANUFACTURER AND SUBMITTED FOR REVIEW AND APPROVAL BY THE AUTHORITY HAVING JURISDICTION (AHJ) PRIOR TO INSTALLATION. WE WILL ENSURE COMPLIANCE WITH ALL NECESSARY REQUIREMENTS AS OUTLINED IN THE CODE.

KEYNOTES - FLOOR PLAN

Key Value	Keynote Text
CP01	FLAT HEADER AT 9'-0" A.F.F.
CP02	INDOOR & OUTDOOR RUNS GATES, FENCE & SHADES STRUCTURE (BY OTHERS)
CP03	4" KENNEL WASTE TROUGH (TYP)
CP04	ADA COMPLIANT THRESHOLD
CP05	FLAT HEADER AT 7'-0" A.F.F.
CP06	FLOOR DRAIN. PROVIDE 1/8" - 12" SLOPE AT SLAB TO ALL FLOOR DRAIN LOCATIONS
CP09	ALIGN FINISHED FACE OF WALL WITH FINISHED FACE OF ADJACENT WALL

WALL LEGEND

	12" CMU WALL, 4'-4" HEIGHT. SEE SHEET G005 FOR WALL TYPE.
	12" CMU WALL, 4'-4" HEIGHT. SEE SHEET G005 FOR WALL TYPE.
	METAL END WALL AND INTERIOR FRAME WALL. SEE SHEET G005 FOR WALL TYPE.
	2"X 6" INT. FRAMING WALL. SEE SHEET G005 FOR WALL TYPE.
	2"X 4" INT. FRAMING WALL. SEE SHEET G005 FOR WALL TYPE.
	6" WALL, 4'-4" HEIGHT. SEE SHEET G005 IS & 16 WALL TYPE.
	6" CMU WALL, 4'-0" HEIGHT. SEE SHEET G005 FOR WALL TYPE.
	GIRDERS AND LEDGERS

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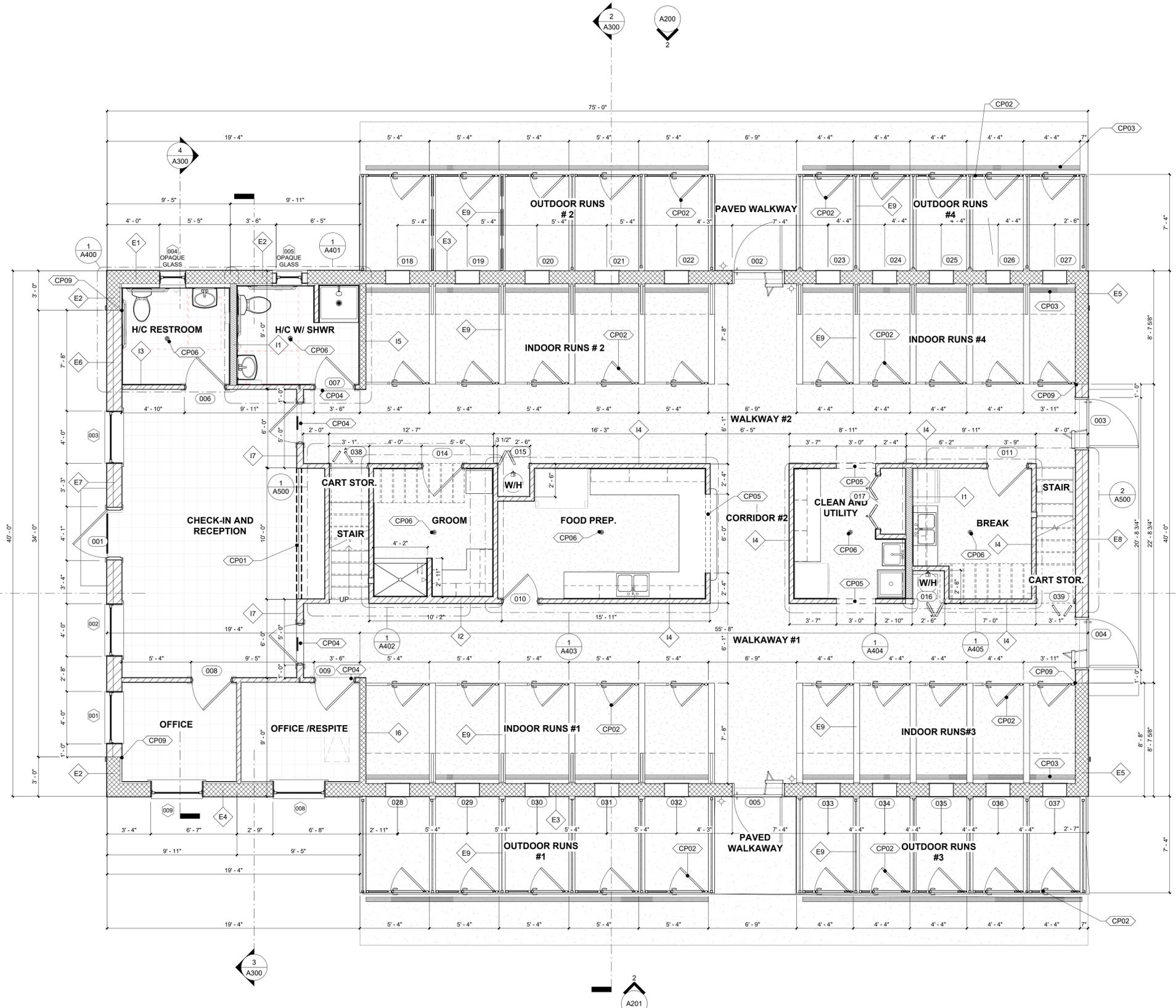
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DIEGO DURAN, AIA
AR99267

FLOOR PLAN
FIRST LEVEL

A102

BID SET - NOT FOR CONSTRUCTION



2 FLOOR PLAN FIRST LEVEL
1/4" = 1'-0"

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12/15/2025 11:37:23 AM
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FLOOR PLAN GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL MASONRY OPENINGS AND COORDINATE ALL WINDOW SIZES WITH WINDOW MANUFACTURER PRIOR TO ORDERING MATERIALS. SHARP DESIGN STUDIO WILL NOT BE RESPONSIBLE FOR WINDOW/DOORS/LOUVERS THAT HAVE NOT BEEN COORDINATED BY CONTRACTOR AND/OR INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- TILE AND PAVER PATTERNS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. TILE AND PAVER SPECIFICATIONS AND INSTALLATION PATTERN TO BE DETERMINED.
- ALL GUTTERS AND DOWNSPOUTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. DOWNSPOUT LOCATION SHALL BE COORDINATED WITH ELEVATIONS SO THERE IS NO CONFLICT BETWEEN ITS LOCATION AND ANY EXTERIOR FENESTRATION.
- LAMINATED VENEERED LUMBER (LVL) TO BE BOISE CASCADE VERSA LAM 3100 Fb = 3100 psi E = 2000 ksi
- ALL ENTRY DOORS TO HAVE ADA COMPLIANT THRESHOLDS. (TYP.) SEE SHEET A700 FOR DETAIL.
- DEFERRED SUBMITTAL NOTICE: IN ACCORDANCE WITH CHAPTER 1, SECTION 107.3.4.1 OF THE 2023 FLORIDA BUILDING CODE, BUILDING, EIGHTH EDITION, WE WILL BE APPLYING THE DEFERRED SUBMITTAL RULE TO THE TRUSS ENGINEERING LAYOUTS AND PROFILES. THESE DOCUMENTS WILL BE PROVIDED BY THE MANUFACTURER AND SUBMITTED FOR REVIEW AND APPROVAL BY THE AUTHORITY HAVING JURISDICTION (AHJ) PRIOR TO INSTALLATION. WE WILL ENSURE COMPLIANCE WITH ALL NECESSARY REQUIREMENTS AS OUTLINED IN THE CODE.

KEYNOTES -MEZZANINE FLOOR PLAN

Key Value	Keynote Text
MP01	4" CONCRETE SLAB OVER INDOOR PARTITIONS.
MP02	FRAME WALL INTERCEPTS THE VAULT.
MP03	42" HEIGHT GATE.

consultant logo

WALL LEGEND

	12" CMU WALL, 4'-4" HEIGHT. SEE SHEET G005 FOR WALL TYPE.
	12" CMU WALL, 4'-4" HEIGHT. SEE SHEET G005 FOR WALL TYPE.
	METAL END WALL AND INTERIOR FRAME WALL. SEE SHEET G005 FOR WALL TYPE.
	2" X 6" INT. FRAMING WALL. SEE SHEET G005 FOR WALL TYPE.
	2" X 4" INT. FRAMING WALL. SEE SHEET G005 FOR WALL TYPE.
	6" WALL, 4'-4" HEIGHT. SEE SHEET G005 15 & 16 WALL TYPE.
	6" CMU WALL, 4'-0" HEIGHT. SEE SHEET G005 FOR WALL TYPE.
	GIRDERS AND LEDGERS

CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

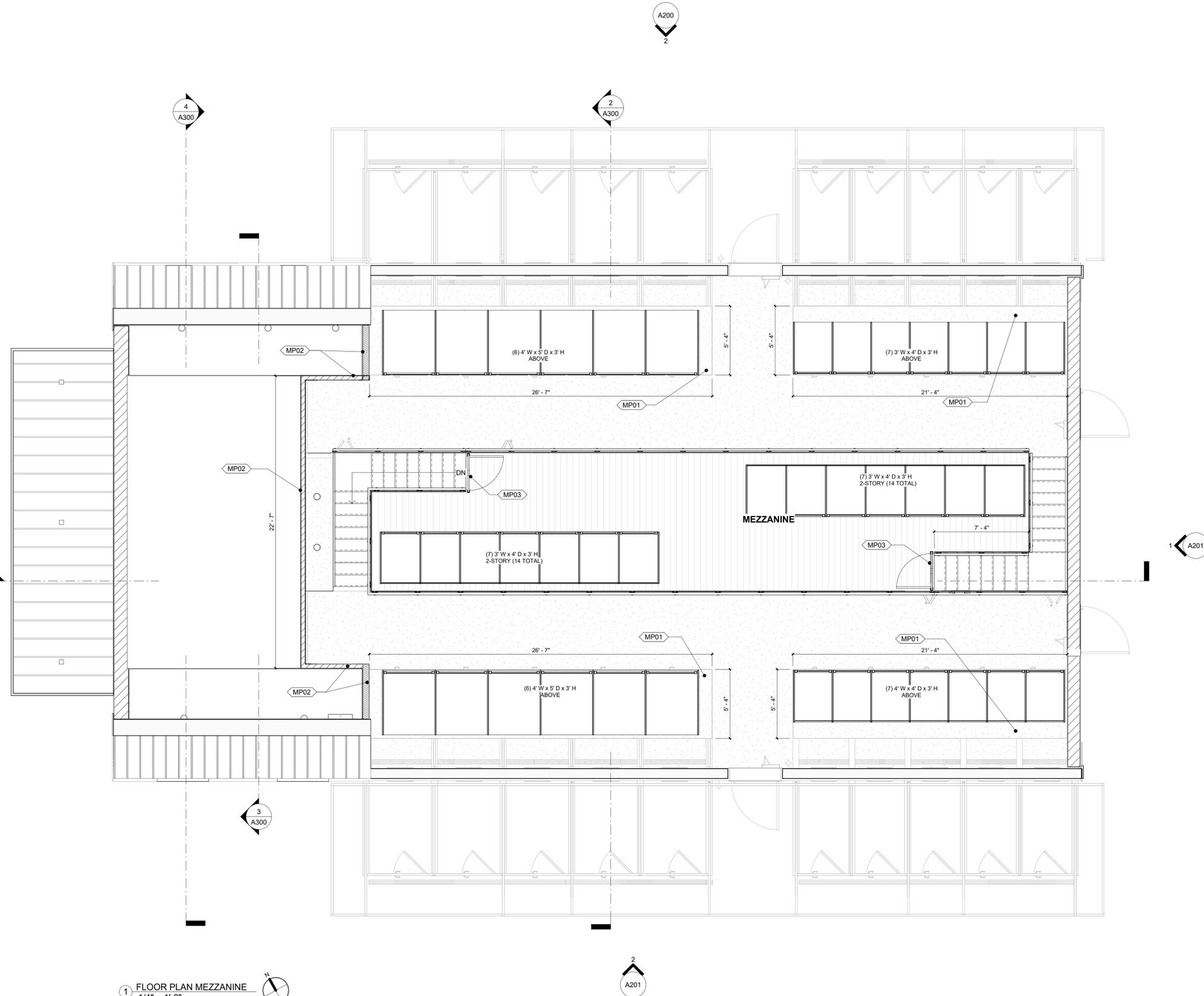
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DIEGO DURAN, AIA
AR99267

**FLOOR PLAN
MEZZANINE**

A103

BID SET - NOT FOR CONSTRUCTION



1 FLOOR PLAN MEZZANINE
1/4" = 1'-0"

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DIEGO DURAN, AIA
AR99267

REFLECTED
CEILING PLAN.
FIRST LEVEL.

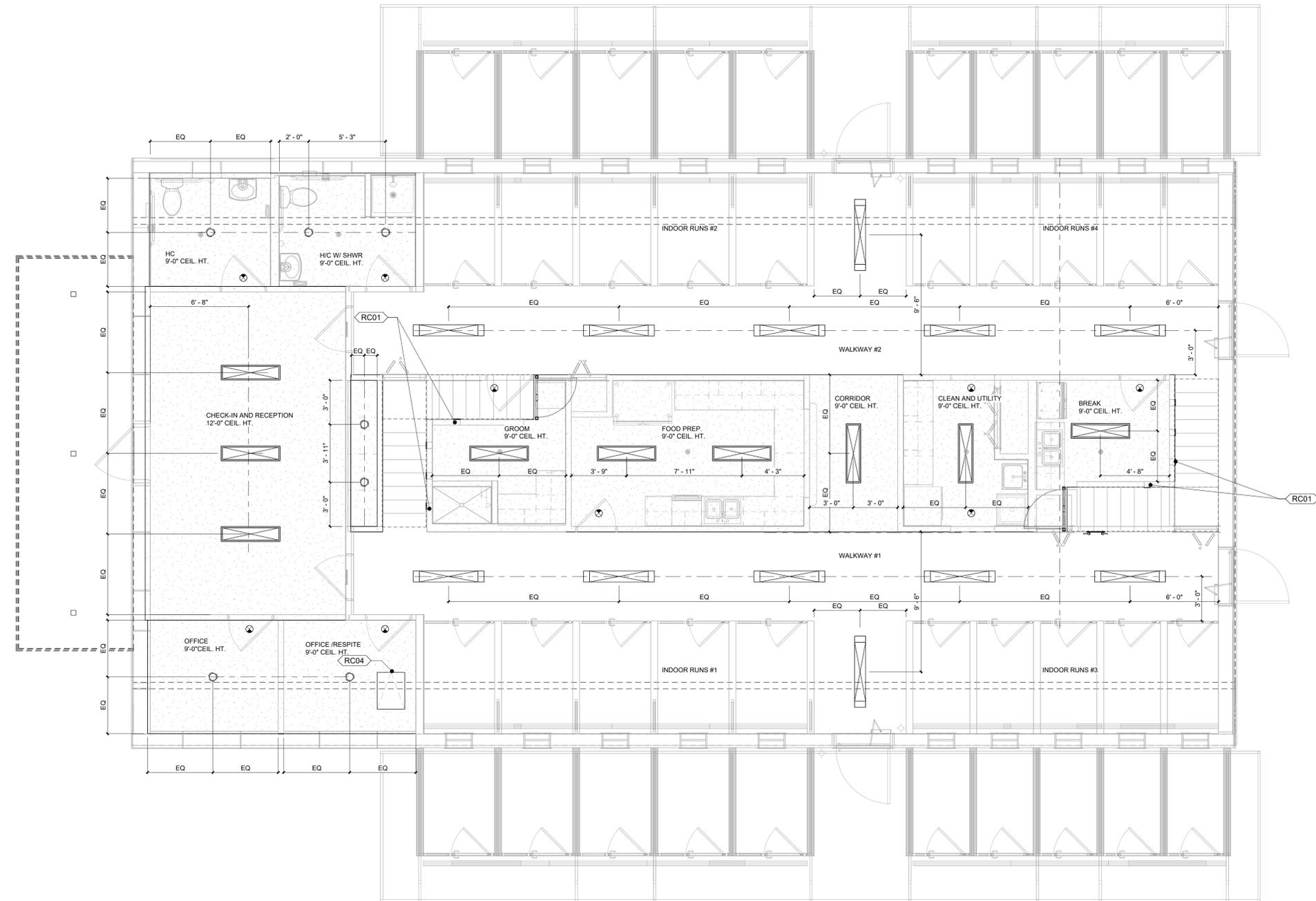
A104

GENERAL RCP NOTES

1. RECESSED LIGHTING INSTALLED IN INSULATED CEILINGS SHALL BE RATED FOR INSULATION CONTACT. ICAT-RATED AND LABELED AS AIRTIGHT TO THE STANDARDS PRESCRIBED BY THE RESIDENTIAL ENERGY CODE.
2. ALL 120V, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN A DWELLING UNIT SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
3. IN ALL AREAS SPECIFIED IN NEC 210.52, ALL 125 VOLT, 15 AND 20 AMPERE RECEPTACLES SHALL BE TAMPER RESISTANT.
4. PROVIDE AT LEAST TWO SEPARATE 20 AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, PANTRY, DINING ROOM AND SIMILAR AREAS, WITH NO OTHER OUTLETS ON THE CIRCUITS.
5. PROVIDE AT LEAST ONE 20 AMP CIRCUIT FOR BATHROOM OUTLETS, WITH NO OTHER OUTLETS ON THE CIRCUIT.
6. RECEPTACLES ARE TO BE LOCATED SO NO APPLIANCES ARE FURTHER THAN 2' FROM ANY PLUG. RECEPTACLES SHALL BE NO HIGHER THAN 20" ABOVE THE COUNTER.
7. PROVIDE SMALL APPLIANCE RECEPTACLES AT EACH KITCHEN COUNTER SPACE WIDER THAN 12", SUCH THAT NO POINT ALONG COUNTER WALL IS MORE THAN 24" FROM AN OUTLET.
8. THE MAXIMUM LENGTH FOR A GARBAGE DISPOSAL CORD IS 36" AND A DISHWASHER IS 48". MULTI-WIRE DUPLEX RECEPTACLES FOR GARBAGE DISPOSALS AND DISHWASHERS REQUIRE TIE-BARS ON THE BREAKER IN THE SERVICE PANEL.
9. IN BATHROOMS, RECEPTACLES TO BE LOCATED WITHIN 36" FROM THE EDGE OF THE SINK.
10. LIGHT FIXTURES LOCATED IN WET LOCATION MUST BE LISTED FOR WET LOCATION AND REQUIRE WATER RESISTANT TRIMS.
11. PROVIDE AT LEAST ONE NON-DEDICATED GFCI OUTLET IN GARAGE.
12. LUMINAIRES THAT ARE RECESSED INTO INSULATED CEILINGS ARE TO BE APPROVED IC LUMINAIRES AND ARE CERTIFIED AND LABELED AS AIRTIGHT TO THE STANDARDS PRESCRIBED BY THE RESIDENTIAL ENERGY CODE.
13. ALL RECESSED LIGHTING FIXTURES IN SPACES WHERE INSULATION IS REQUIRED SHALL BE IC RATED AND SHALL BE LABELED AIR TIGHT.
14. EXIT ACCESS ROUTES AND ACCESSIBLE ROUTES: MINIMUM CLEAR HEADROOM SHALL BE 6'-8" AT, INCLUDING BUT NOT LIMITED TO, ARCHITECTURAL FEATURES, CEILINGS, SIGNAGE, SOFFITS, EXPOSED STRUCTURE AND BUILDING SYSTEMS COMPONENTS, SUCH AS LIGHT FIXTURES AND EXIT SIGNS, ETC.
15. STAIRS: MINIMUM CLEAR HEADROOM SHALL BE 7'-0" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGE OF THE STAIRS, EXCEPT THAT MINIMUM CLEAR HEADROOM SHALL BE 6'-8" FOR STAIRS SERVING NO MORE THAN TWO DWELLING UNITS.
16. COORDINATE ARCHITECTURAL LAYOUT OF CEILINGS WITH BUILDING SYSTEMS WORK AND FINISH LOCATIONS OF EXPOSED COMPONENTS THEREOF. PRIOR TO INSTALLATION OF THE WORK, REFER DISCREPANCIES BETWEEN DRAWING LAYOUTS AND CONDITIONS OF INSTALLED STRUCTURAL WORK TO THE ARCHITECT FOR RESOLUTION.
17. CEILING ELEVATIONS ARE NOMINAL AND ARE DIMENSIONED FROM STRUCTURAL FLOOR OR SUBFLOOR ELEVATIONS (ASF), AS THICKNESS OF FLOOR FINISH MATERIALS MAY VARY.
18. PROVIDE CEILING GYPSUM BOARD CONTROL JOINTS AS SHOWN AND IN ACCORDANCE WITH INDUSTRY STANDARD BEST PRACTICE.
19. G.C. TO COORDINATE LIGHT FIXTURE SELECTIONS WITH ELECTRICAL DOCUMENTS.
20. G.C. TO PROVIDE POWER AND IN-WALL BLOCKING AS REQUIRED FOR ALL BUILDING SIGNAGE TYP. COORDINATE LOCATIONS AND REQUIREMENTS WITH OWNER'S SIGNAGE VENDOR.
21. ALL LIGHTING AND OUTLET JUNCTION BOXES, CONDUIT, ETC. ON MASONRY OR CONCRETE WALLS SHALL BE RECESSED FOR A FINISHED APPEARANCE. COORDINATE WITH ARCHITECT FOR ANY CONDITIONS WHERE THIS IS NOT FEASIBLE.
22. ALL FIXTURES SCHEDULED FOR INSTALLATION IN HIGH HUMIDITY OR WET ENVIRONMENTS (EXTERIOR OF BUILDING, NON-CONDITIONED SPACE, BATHROOMS, ETC) SHALL CARRY APPROPRIATE LOCATION RATING.
23. CEILING LAYOUT IS BASED ON TRUSS DESIGN AT THE TIME OF PERMITTING. SHOULD THE TRUSS DESIGN CHANGE, THE CEILING PLAN MAY NEED TO BE ADJUSTED TO ACCOMMODATE THE REVISED TRUSS LAYOUT. GC TO VERIFY BEFORE CONSTRUCTION.

KEYNOTES - CEILING PLAN	
Key Value	Keynote Text
RC01	HORIZONTAL LED MOTION SENSOR STEP LIGHT. LOCATED ON THE WALL SIDE OF THE STAIR. REFER TO ELEC.
RC03	FULL-HEIGHT WALL ALL THE WAY TO CURVED ROOF.
RC04	APPROXIMATE LOCATION OF 22" X 36" CEILING ATTIC ACCESS BELOW. CONTRACTOR TO COORDINATE FINAL LOCATION WITH FRAMING AND CEILING LIGHT LOCATION. CLEAR HEIGHT OF THE ATTIC SPACE AT THE PANEL LOCATION SHOULD BE 36" MIN.

CEILING PLAN LEGEND	
	LED 6" RECESSED DOWN LIGHT WITH 10W LED LAMP
	4" LED WRAPAROUND FIXTURE
	2" LED WRAPAROUND FIXTURE SUSPENDED
	HORIZONTAL LED MOTION SENSOR STEP LIGHT
	ILLUMINATED EXIT SIGN*



1 REFLECTED CEILING PLAN FIRST LEVEL
1/4" = 1'-0"

BID SET - NOT FOR CONSTRUCTION

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CLIENT

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22-1433

PROJECT NAME:
**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

#	DESCRIPTION	DATE

DIEGO DURAN, AIA
AR99267

**REFLECTED
CEILING PLAN.
MEZZANINE
(VAULT)**

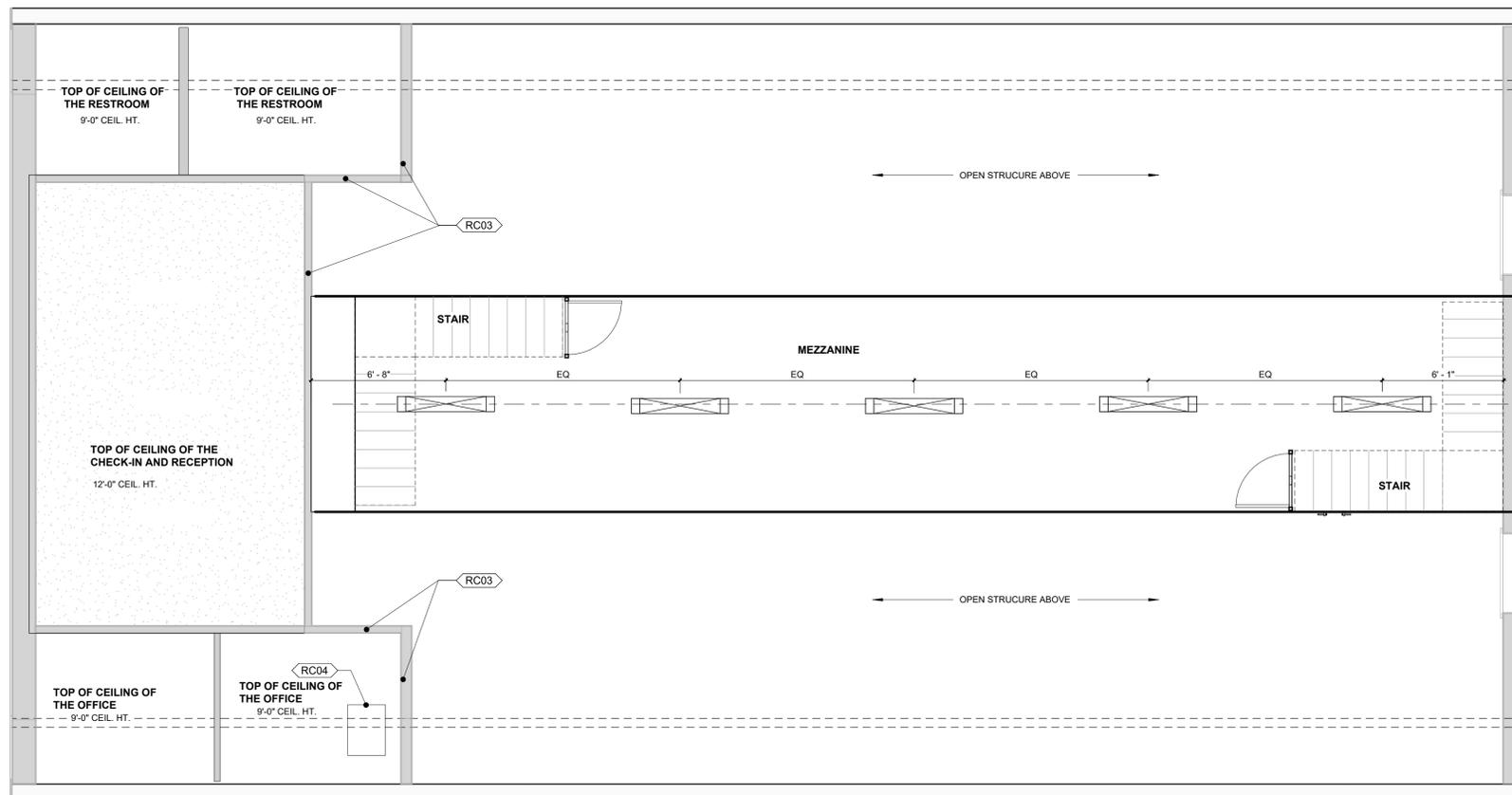
A105

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KEYNOTES -CEILING PLAN	
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CEILING PLAN LEGEND	
	LED 6" RECESSED DOWN LIGHT WITH 10W LED LAMP
	4" LED WRAPAROUND FIXTURE
	2" LED WRAPAROUND FIXTURE SUSPENDED
	HORIZONTAL LED MOTION SENSOR STEP LIGHT
	ILLUMINATED EXIT SIGN*



1 REFLECTED CEILING PLAN (VAULT)
1/4" = 1'-0"

BID SET - NOT FOR CONSTRUCTION

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CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
**4113200240040 &
4113200240050**

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

#	DESCRIPTION	DATE

DIEGO DURAN, AIA
AR99267

**FINISH PLAN &
SCHEDULES.
FIRST LEVEL**

A106

GENERAL NOTES - FINISH PLAN

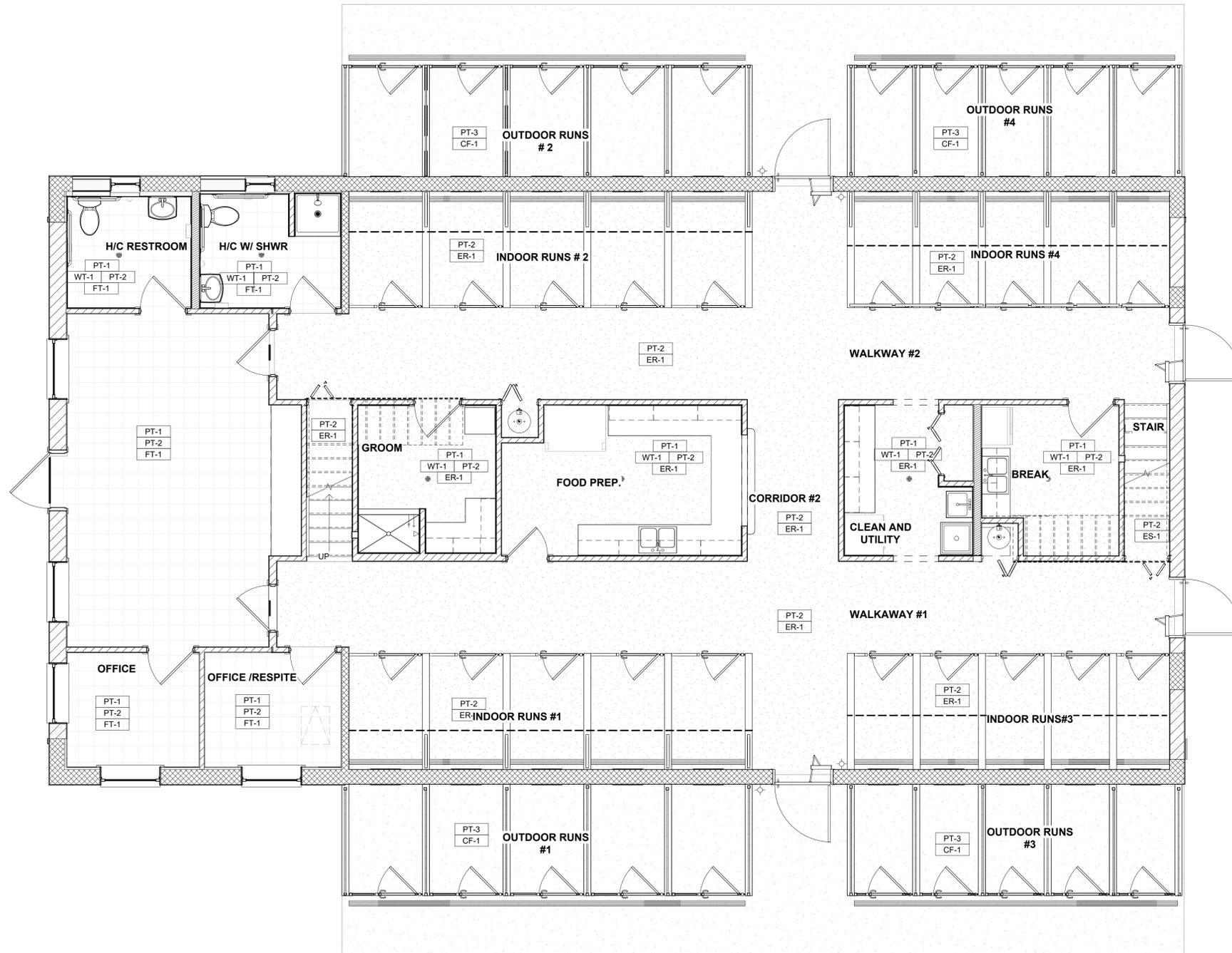
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK'S COMPLIANCE WITH ALL APPLICABLE LOCAL CODES, ORDINANCES, AND REGULATIONS, AS WELL AS WITH ALL TRADE STANDARDS OR PROFESSIONAL QUALITY WORKMANSHIP.
- SDS ARCHITECTS IS ONLY RESPONSIBLE FOR FINISHES SPECIFIED ON FINISH PLANS AND SPECIFICATIONS AS PREPARED BY SDS ARCHITECTS.
- ALL FINISH DESIGNATIONS ARE SHOWN MONUMENTALLY UNLESS KEYED SPECIFICALLY ON PLAN.
- ALL FINISHES ARE TO BE PROVIDED AND INSTALLED BY PROFESSIONAL CONTRACTORS, QUALIFIED TO INSTALL THE TYPE OF FINISH SPECIFIED. TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE TILE COUNCIL OF NORTH AMERICA GUIDELINES.
- CONTRACTOR(S) SHALL ADHERE TO ALL CURRENT MANUFACTURER WRITTEN SPECIFICATIONS FOR APPROVED INSTALLATION METHODS (FOR EXAMPLE, BUT NOT LIMITED TO, ADHESIVE TYPES, CUTTING METHODS, SEALERS AND PRIMERS) AND SHALL INFORM ARCHITECT SHOULD MANUFACTURER NOT HAVE SUCH WRITTEN MATERIAL.
- CONTRACTOR(S) SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE WHICH WILL IMPACT OR INTERFACE WITH HIS WORK AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND CONTRACT DOCUMENTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR TO PROVIDE ACTUAL SAMPLES OF ALL SPECIFIED FINISHES AND MATERIAL TO SDS ARCHITECTS FOR APPROVAL PRIOR TO ORDERING. SAMPLES SHALL BE SUBMITTED IN A TIMELY MANNER AS TO NOT IMPACT THE OVERALL PROJECT SCHEDULE.
- CONTRACTOR(S) SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT SURFACES DURING INSTALLATION AND TO PROTECT FINAL INSTALLED FINISH MATERIAL(S) FROM OTHER TRADES.
- EACH MATERIAL TO BE OF THE SAME DYE LOT.
- ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS FOR THE PARTICULAR SURFACE. TWO (2) FINISH COATS MINIMUM APPLICATION AFTER ONE PRIME COAT.
- ALL CHANGES IN FLOOR FINISH MATERIALS OCCURRING AT DOORWAYS SHALL BE AT THE CENTERLINE OF THE DOOR OR DOORWAY UNLESS NOTED OTHERWISE. ALL OTHER FLOOR FINISH TRANSITIONS SHALL BE ACCOMPLISHED SMOOTHLY TO THE SATISFACTION OF THE ARCHITECT AND BUILDING OWNER.
- CONTRACTOR TO NOTE THAT ALL FINISHES TO BE SUPPLIED PER SPECIFICATION - NO SUBSTITUTIONS ALLOWED.
- TILE AND PAVEMENT PATTERNS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. TILE AND PAVEMENT SPECIFICATIONS AND INSTALLATION PATTERN TO BE AS SHOWN ON FINISH MATERIAL SCHEDULE. TILE LAYOUT SHOULD ALWAYS BE CENTERED ON EACH WALL WHERE POSSIBLE.
- ANSI A108.02 SECTION 4.3.8 GROUT JOINT MINIMUM IS 1/8". WHEN INSTALLING IN RUNNING BOND/BRICK JOINT PATTERN, A MAXIMUM 30% OFFSET IS RECOMMENDED ALONG WITH 3/16" GROUT JOINT.

FINISH MATERIAL SCHEDULE

Key Name	MATERIAL TYPE	COMMENTS
CF-1	CONCRETE FLOOR	
ER-1	EPOXI RESIN	
ES-1	ENGINEERED STRUCTURAL FLOORING FOR INDUSTRIAL PLATFORMS	
FT-1	FLOOR TILE	GROUT
PT-1	PAINT	CEILING PAINT
PT-2	PAINT (INTERIOR)	GENERAL WALL / DRYWALL PAINT
PT-3	PAINT (EXTERIOR)	SIDING WALL STUCCO & COLUMN SHAFT
PT-4	PAINT (EXTERIOR)	CAPS, BANDS & TRIMS
WT-1	WALL TILE	MATTE

FINISH PLAN LEGEND

WT-1	WALL TILE
PT-1	CEILING FINISH
PT-2	WALL FINISH (INTERIOR)
PT-3	WALL FINISH (EXTERIOR)
PT-4	CAPS, BANDS & TRIMS FINISH
CF-1	CONCRETE FLOOR FINISH
FT-1	FLOOR TILE FINISH
ER-1	EPOXI RESIN
ES-1	ENGINEERED STRUCTURAL FLOORING FOR INDUSTRIAL PLATFORMS



1 FINISH PLAN FIRST LEVEL
1/4" = 1'-0"



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AR99267

**FINISH PLAN &
SCHEDULES.
MEZZANINE**

A107

GENERAL NOTES - FINISH PLAN

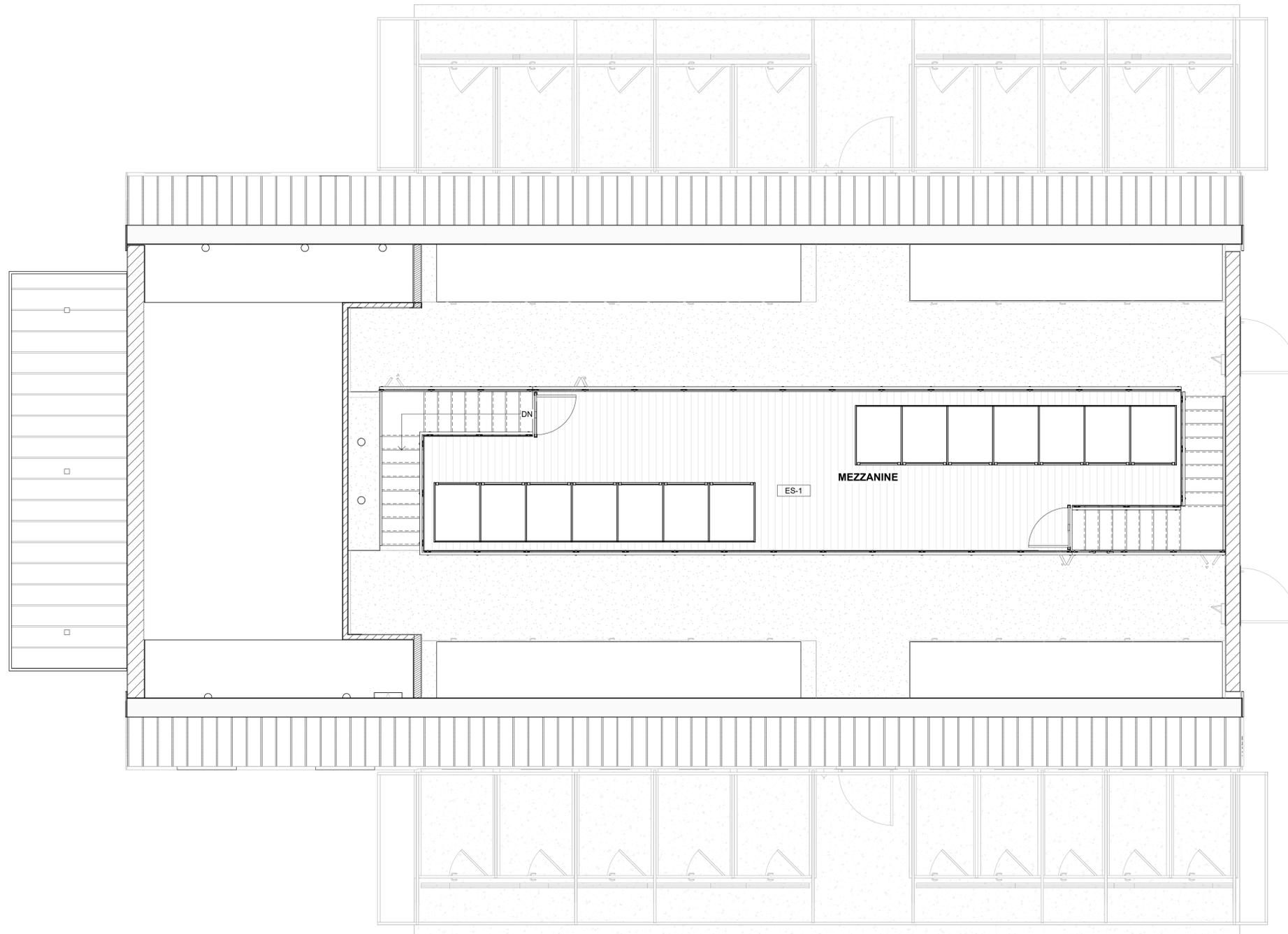
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- EACH MATERIAL TO BE OF THE SAME DYE LOT.
- ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS FOR THE PARTICULAR SURFACE. TWO (2) FINISH COATS MINIMUM APPLICATION AFTER ONE PRIME COAT.
- ALL CHANGES IN FLOOR FINISH MATERIALS OCCURRING AT DOORWAYS SHALL BE AT THE CENTERLINE OF THE DOOR OR DOORWAY UNLESS NOTED OTHERWISE. ALL OTHER FLOOR FINISH TRANSITIONS SHALL BE ACCOMPLISHED SMOOTHLY TO THE SATISFACTION OF THE ARCHITECT AND BUILDING OWNER.
- CONTRACTOR TO NOTE THAT ALL FINISHES TO BE SUPPLIED PER SPECIFICATION - NO SUBSTITUTIONS ALLOWED.
- TILE AND PAVER PATTERNS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. TILE AND PAVER SPECIFICATIONS AND INSTALLATION PATTERN TO BE AS SHOWN ON FINISH MATERIAL SCHEDULE. TILE LAYOUT SHOULD ALWAYS BE CENTERED ON EACH WALL WHERE POSSIBLE.
- ANSI A108.02 SECTION 4.3.8 GROUT JOINT MINIMUM IS 1/8" WHEN INSTALLING IN RUNNING BOND/BRICK JOINT PATTERN, A MAXIMUM 30% OFFSET IS RECOMMENDED ALONG WITH 3/16" GROUT JOINT.

FINISH MATERIAL SCHEDULE

Key Name	MATERIAL TYPE	COMMENTS
CF-1	CONCRETE FLOOR	
ER-1	EPOXI RESIN	
ES-1	ENGINEERED STRUCTURAL FLOORING FOR INDUSTRIAL PLATFORMS	
FT-1	FLOOR TILE	GROUT
PT-1	PAINT	CEILING PAINT
PT-2	PAINT (INTERIOR)	GENERAL WALL /DRYWALL PAINT
PT-3	PAINT (EXTERIOR)	SIDING, WALL STUCCO & COLUMN SHAFT
PT-4	PAINT (EXTERIOR)	CAPS, BANDS & TRIMS
WT-1	WALL TILE	MATTE

FINISH PLAN LEGEND

WT-1	WALL TILE
PT-1	CEILING FINISH
PT-2	WALL FINISH (INTERIOR)
PT-3	WALL FINISH (EXTERIOR)
PT-4	CAPS, BANDS & TRIMS FINISH
CF-1	CONCRETE FLOOR FINISH
FT-1	FLOOR TILE FINISH
ER-1	EPOXI RESIN
ES-1	ENGINEERED STRUCTURAL FLOORING FOR INDUSTRIAL PLATFORMS



1 FINISH PLAN MEZZANINE
1/4" = 1'-0"



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KEYNOTES - ROOF PLAN	
Key Value	Keynote Text
RF01	SHADE STRUCTURE (BY OTHERS)
RF02	PRE-MANUFACTURE VAULT METAL STRUCTURE

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CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

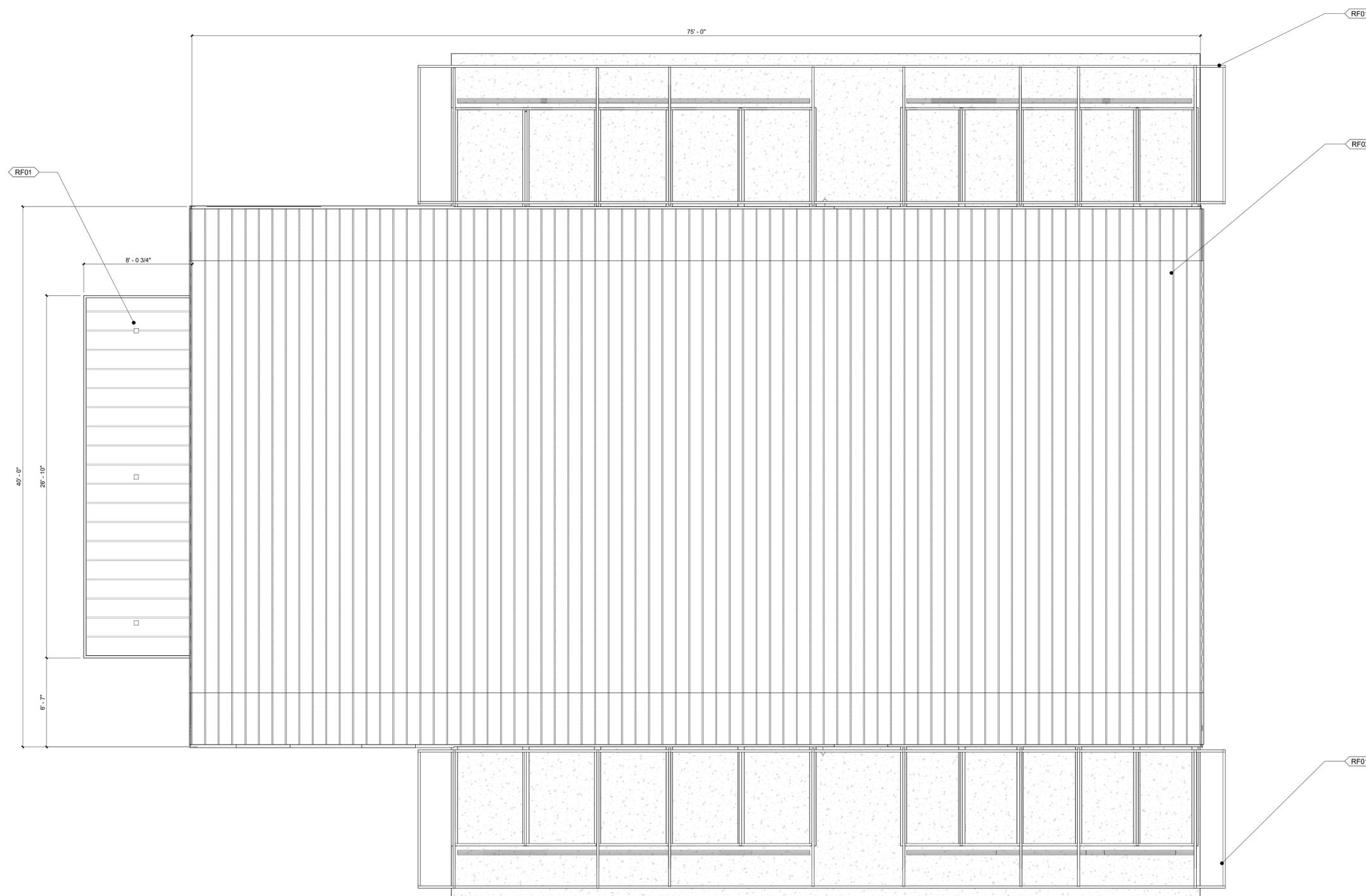
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DIEGO DURAN, AIA
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ROOF PLAN

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1 ROOF PLAN
1/4" = 1'-0"

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DIEGO DURAN, AIA
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**NORTH-WEST &
NORTH-EAST
ELEVATIONS**

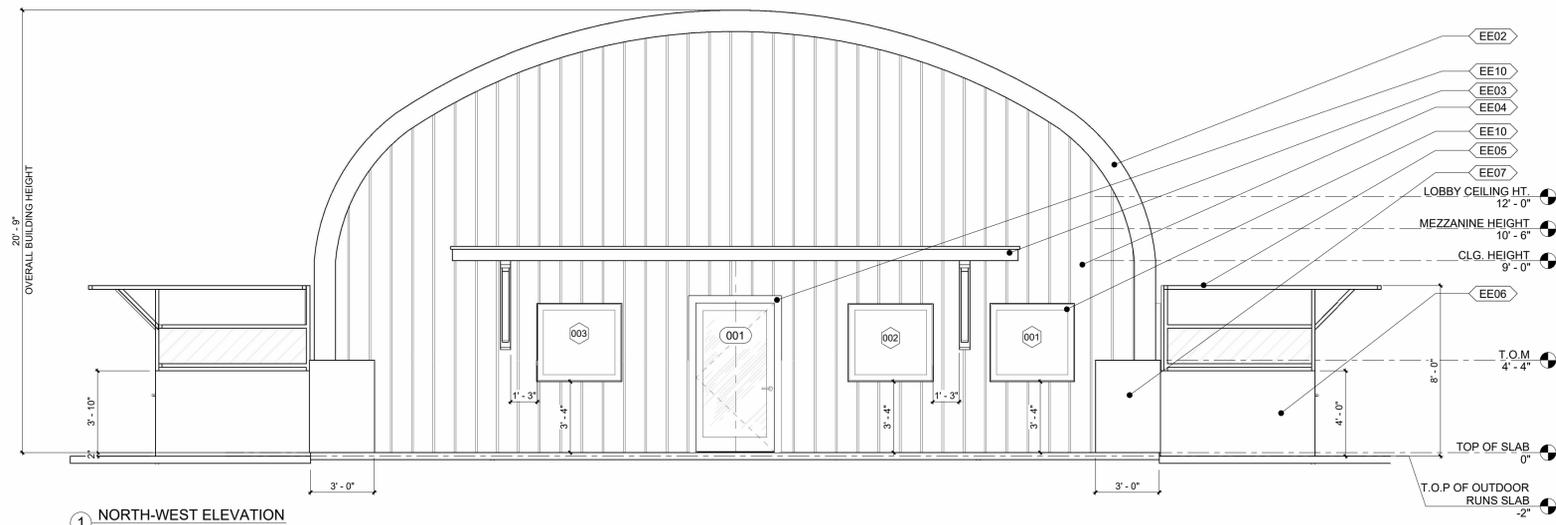
A200

EXTERIOR ELEVATION GENERAL NOTES

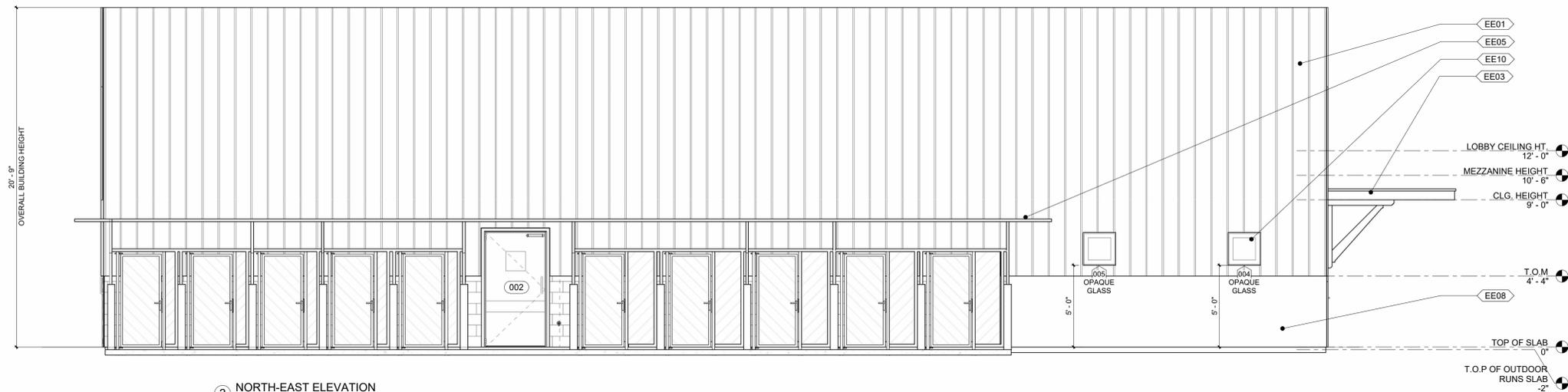
- CEMENT PLASTER FINISH OVER CONCRETE MASONRY SHALL BE 5/8" THICK TEXTURED.
- CEMENT PLASTER FINISH OVER WOOD FRAMED WALLS SHALL BE 7/8" (3-COAT) TEXTURED, OVER ASPHALT IMPREGNATED PAPER BACK WIRE LATH, OVER HOUSE WRAP OVER EXTERIOR SHEATHING PER STRUCTURAL DRAWINGS. LATH TO BE FURRED OUT FROM BACKING BY AN APPROVED METHOD, FLORIDA BUILDING CODE 8TH EDITION (2023).
- FRONT ELEVATIONS: BANDING, MOLDING, COLUMNS & TRIM SHALL RECEIVE A SAND FINISH. SEE ELEVATION FOR DEPTH OF RAISED BANDING.
- WEEP SCREED SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE 8TH EDITION (2023).
- FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, DECK AND WALL INTERSECTIONS, AT GUTTERS, AT ALL CHANGES IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.
- WINDOW PAN FLASHING SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE 8TH EDITION (2023).
- WALL HEIGHTS: VERIFY ALL BEARING WALL HEIGHTS WITH FINAL TRUSS LAYOUTS.

KEYNOTES - EXTERIOR ELEVATION

Key Value	Keynote Text
EE01	PRE-MANUFACTURE VAULT METAL STRUCTURE.
EE02	1" METAL FLASHING PER MANUF. SPEC.
EE03	PRE-ENGINEERED METAL CANOPY (BY OTHERS), DRAINAGE ON CANOPY PER SHOP DWGS.
EE04	END WALL PANEL.
EE05	FENCE AND SHADES STRUCTURE OVER C.M.U. (BY OTHERS).
EE06	5/8" STUCCO OVER 6" C.M.U. EXTERIOR OUTDOOR PARTITION SIDE.
EE07	5/8" STUCCO OVER 12" C.M.U. WALL RETURN.
EE08	5/8" STUCCO OVER 12" C.M.U. WALL.
EE10	INSTALL PER MANUFACTURER'S SPECIFICATION.



1 NORTH-WEST ELEVATION
1/4" = 1'-0"



2 NORTH-EAST ELEVATION
1/4" = 1'-0"

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PROJECT NUMBER:
22-1433

PROJECT NAME:
**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

#	DESCRIPTION	DATE

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AR99267

**SOUTH-EAST &
SOUTH-WEST
ELEVATIONS**

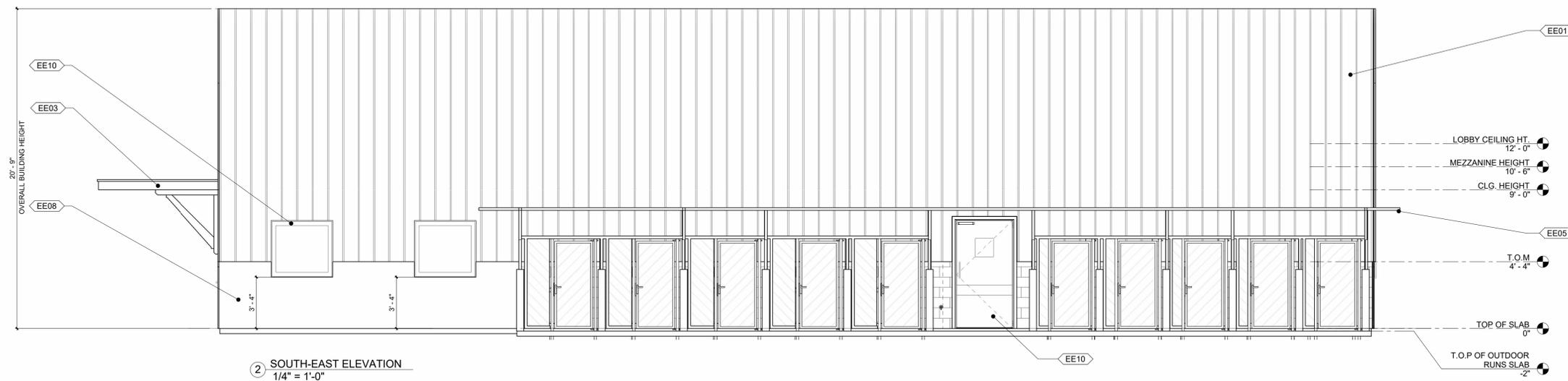
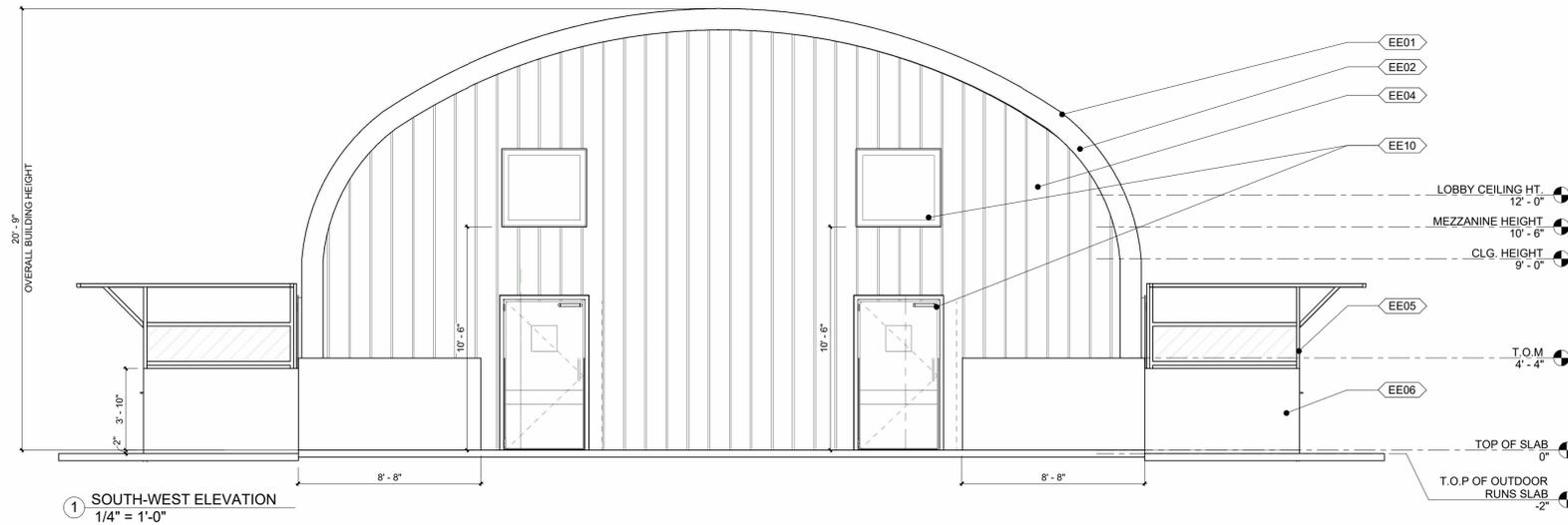
A201

EXTERIOR ELEVATION GENERAL NOTES

1. CEMENT PLASTER FINISH OVER CONCRETE MASONRY SHALL BE 5/8" THICK TEXTURED.
2. CEMENT PLASTER FINISH OVER WOOD FRAMED WALLS SHALL BE 7/8" (3-COAT) TEXTURED, OVER ASPHALT IMPREGNATED PAPER BACK WIRE LATH, OVER HOUSE WRAP OVER EXTERIOR SHEATHING PER STRUCTURAL DRAWINGS. LATHE TO BE FURRED OUT FROM BACKING BY AN APPROVED METHOD, FLORIDA BUILDING CODE 8TH EDITION (2023)
3. FRONT ELEVATIONS: BANDING, MOLDING, COLUMNS & TRIM SHALL RECEIVE A SAND FINISH. SEE ELEVATION FOR DEPTH OF RAISED BANDING.
4. WEEP SCREED SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE 8TH EDITION (2023)
5. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, DECK AND WALL INTERSECTIONS, AT GUTTERS, AT ALL CHANGES IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.
6. WINDOW PAN FLASHING SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE 8TH EDITION (2023)
7. WALL HEIGHTS: VERIFY ALL BEARING WALL HEIGHTS WITH FINAL TRUSS LAYOUTS

KEYNOTES -EXTERIOR ELEVATION

Key Value	Keynote Text
EE01	PRE-MANUFACTURE VAULT METAL STRUCTURE.
EE02	1" METAL FLASHING PER MANUFC SPEC.
EE03	PRE-ENGINEERED METAL CANOPY (BY OTHERS), DRAINAGE ON CANOPY PER SHOP DWGS
EE04	END WALL PANEL.
EE05	FENCE AND SHADES STRUCTURE OVER C.M.U (BY OTHERS)
EE06	5/8" STUCCO OVER 3" C.M.U EXTERIOR OUTDOOR PARTITION SIDE.
EE07	5/8" STUCCO OVER 12" C.M.U WALL RETURN.
EE08	5/8" STUCCO OVER 12" C.M.U WALL.
EE10	INSTALL PER MANUFACTURER'S SPECIFICATION.



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KEYNOTES - BUILDING SECTIONS	
Key Value	Keynote Text
BS01	4" THICK CONCRETE SLAB PER STRUCTURAL DRAWINGS.
BS04	4" CONCRETE SLAB. REFER TO STRUCTURE.
BS05	PRE-MANUFACTURE VAULT METAL STRUCTURE.
BS06	42" HIGH METAL RAILING (BY OTHERS).
BS07	12" C.M.U WALL. REFER TO STRUCTURE.
BS08	PRE-ENGINEERED METAL CANOPY (BY OTHERS). DRAINAGE ON CANOPY PER SHOP DWGS.
BS09	FLOOR JOIST FRAMING. REFER TO STRUCTURE.
BS10	END WALL PANEL (SEE WALL PARTITION).
BS11	INTERIOR WOOD FRAMING.
BS12	CEILING FRAMING STRUCTURE.
BS13	VERTICAL LED MOTION SENSOR STEP LIGHT. REFER TO ELEC.
BS14	FULL-HIGHT WALL TO UNDERSIDE OF CURVED ROOF.
BS15	FENCE, GATES & SHADOWS STRUCTURE OVER CMU WALL (BY OTHERS).
BS16	6" C.M.U WALL (RUNS PARTITIONS).
BS17	4"X 4" WASTE TRENCH. COORDINATE W/PLUMB.
BS18	METAL CAGES (TYPICAL).
BS20	FENCE STRUCTURE OVER C.M.U WALL (BY OTHER).
BS21	FRP PANEL ATTACHED TO THE INTERIOR FACE OF THE PRE-MANUFACTURED VAULT METAL STRUCTURE.

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CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
PETROPOLIS
PHASE 1

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

#	DESCRIPTION	DATE

DIEGO DURAN, AIA
AR99267

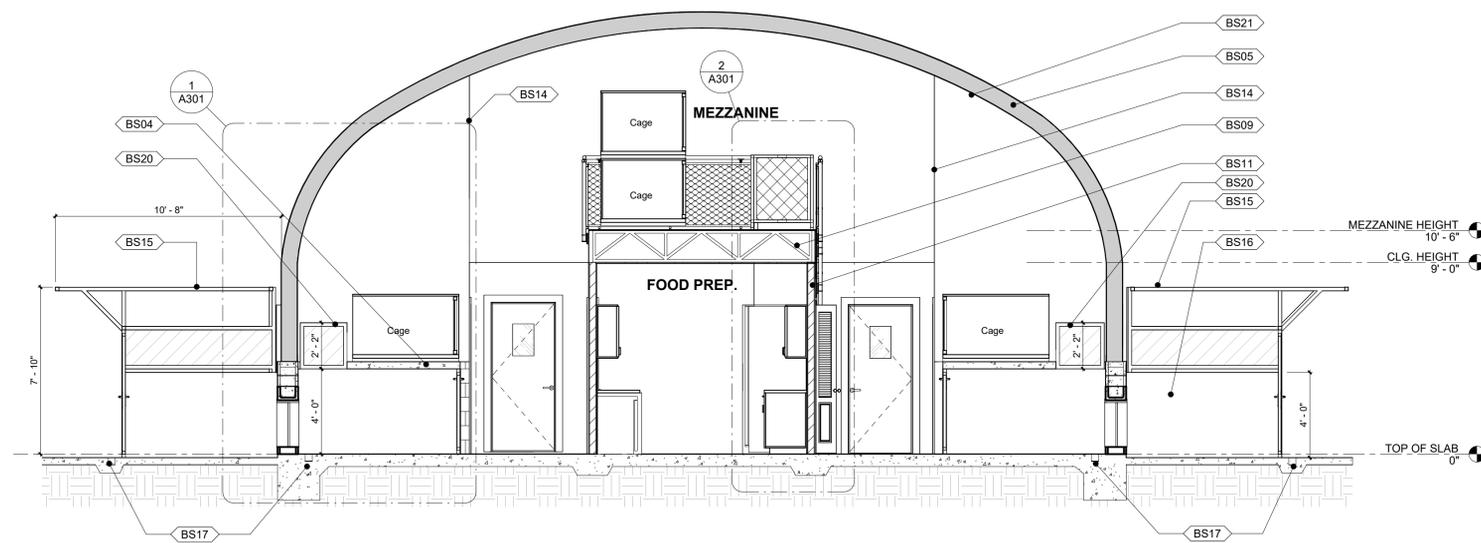
BUILDING
SECTIONS

A300

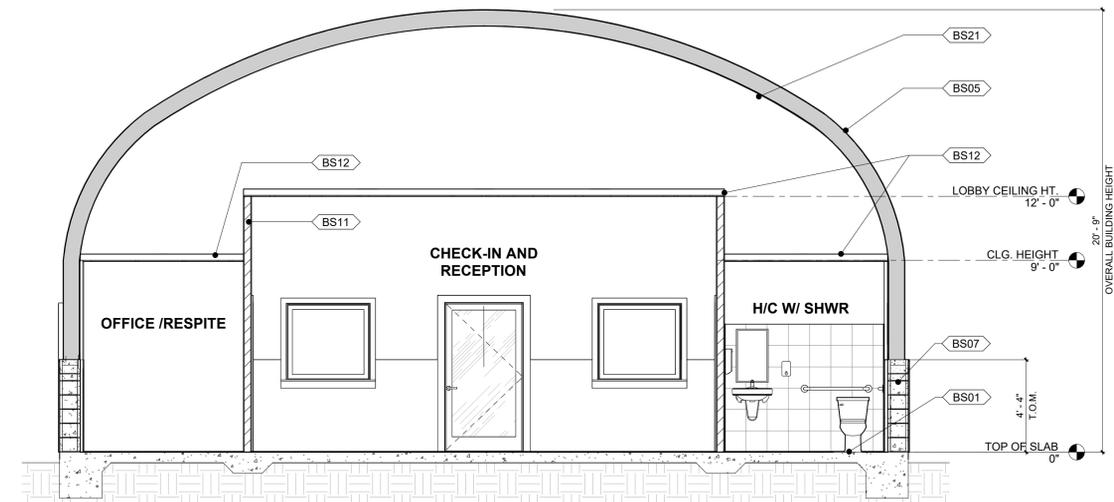
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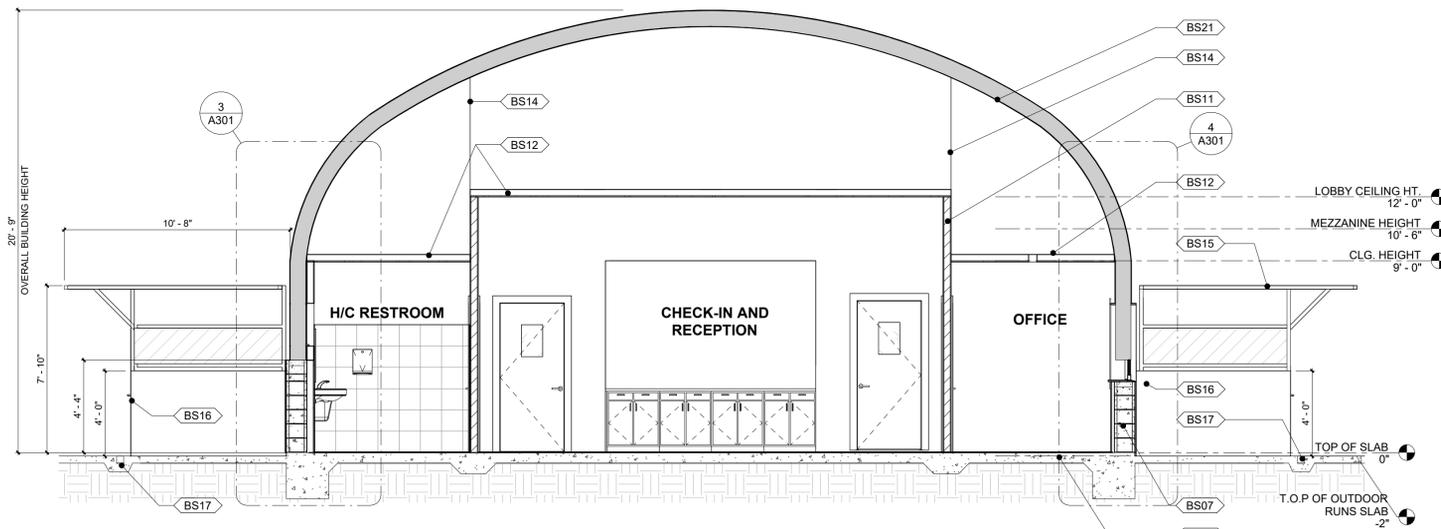
1 LONGITUDINAL SECTION
1/4" = 1'-0"



2 CROSS SECTION
1/4" = 1'-0"



3 CROSS SECTION-2
1/4" = 1'-0"



4 CROSS SECTION-3
1/4" = 1'-0"

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22-1433

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**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

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WALL SECTIONS

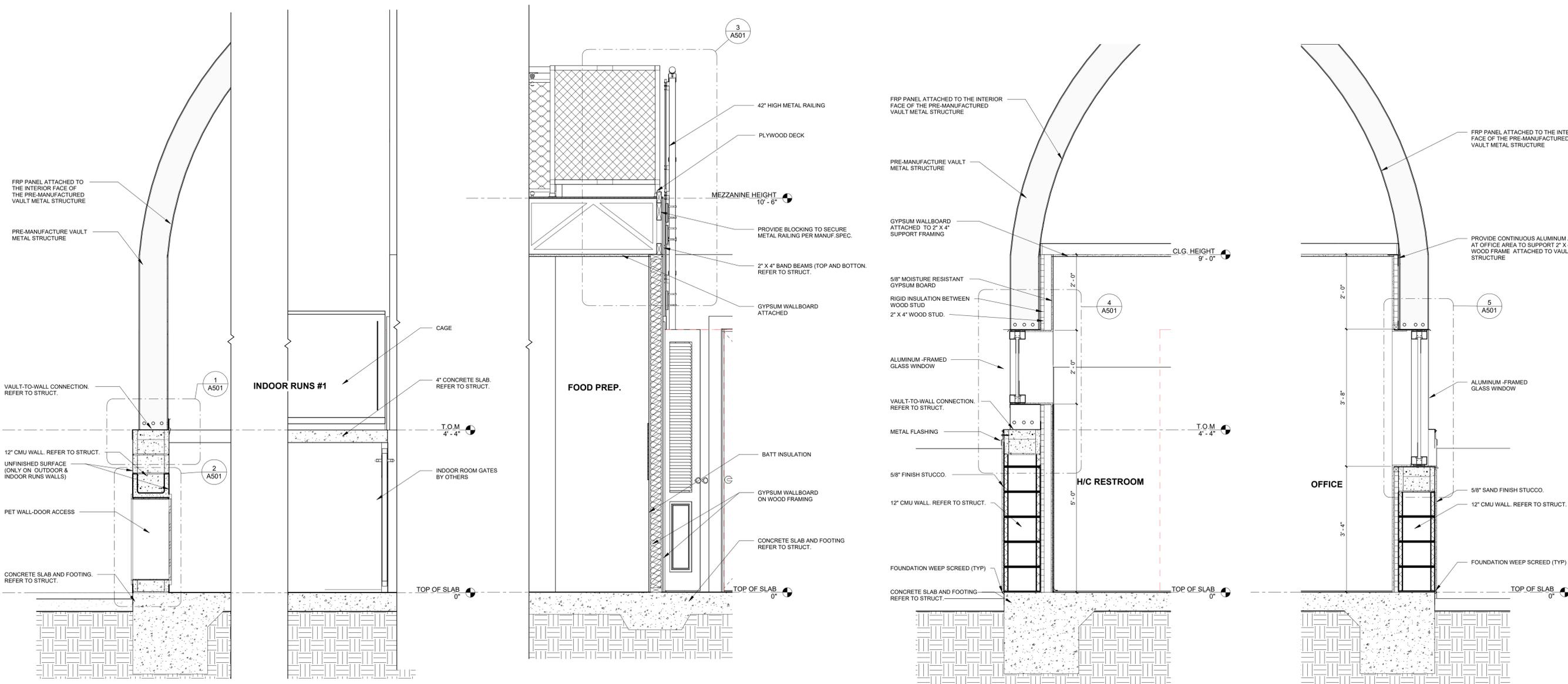
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1 WALL SECTION AT INDOOR RUNS #1
SCALE: 3/4" = 1'-0"

2 WALL SECTION AT FOOD PREP.
SCALE: 3/4" = 1'-0"

3 WALL SECTION AT H/C RESTROOM
SCALE: 3/4" = 1'-0"

4 WALL SECTION AT OFFICE
SCALE: 3/4" = 1'-0"

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4113200240050

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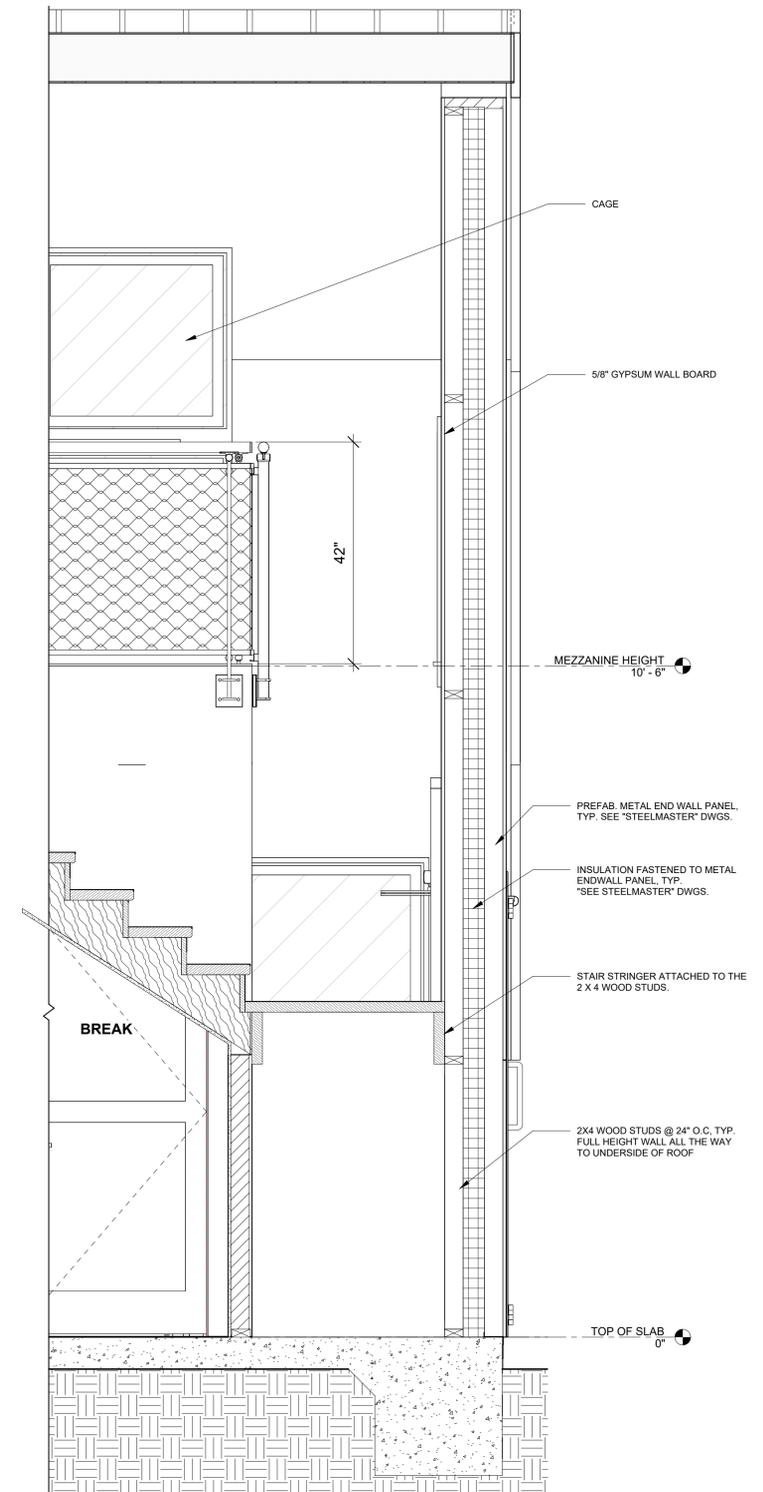
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AR99267

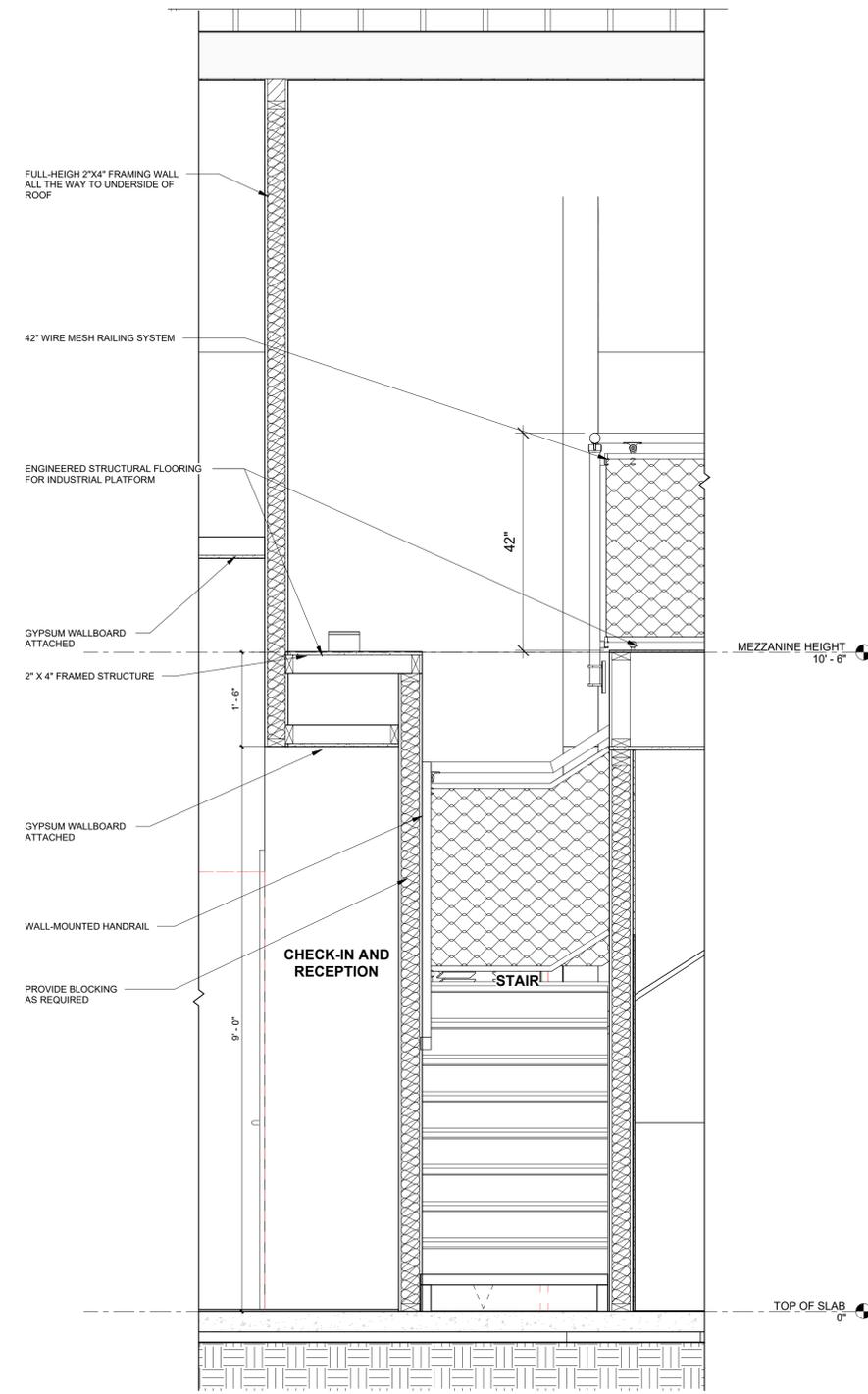
WALL SECTIONS

A302

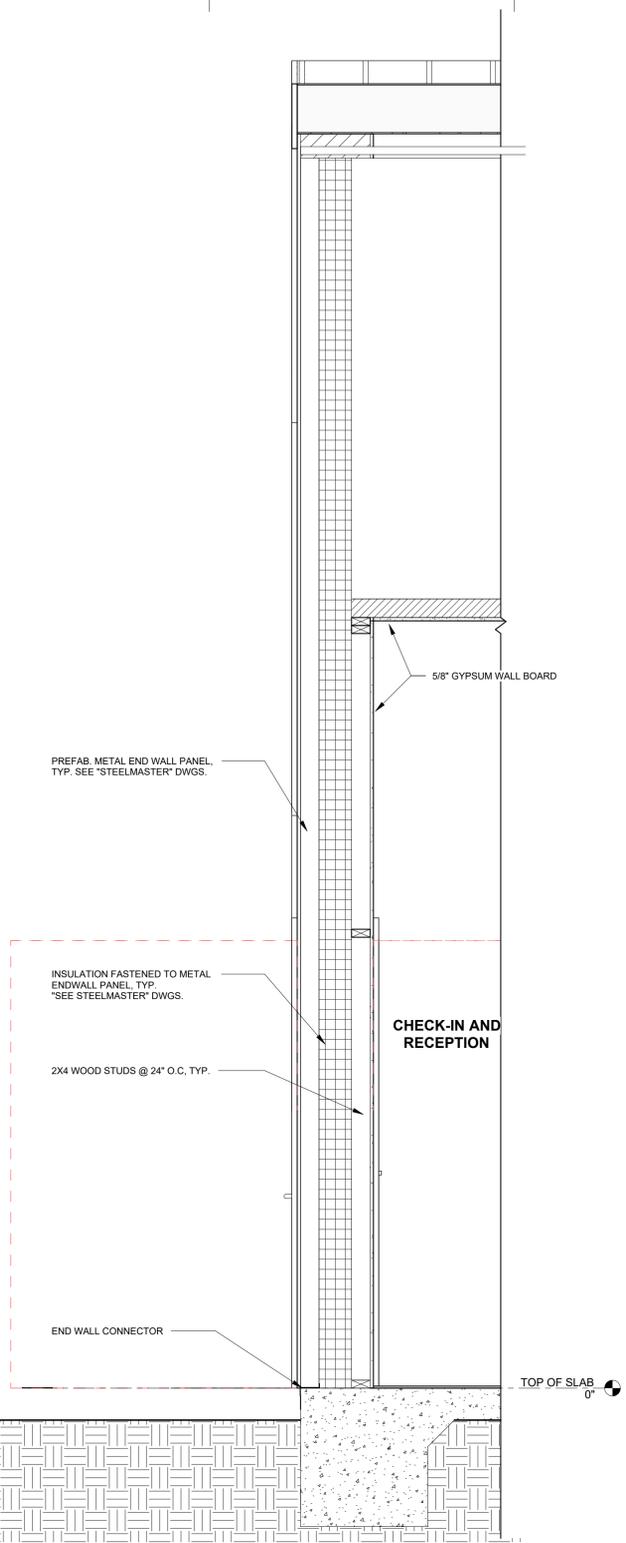
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3 WALL SECTION AT BREAK ROOM
SCALE: 3/4" = 1'-0"



2 WALL SECTION AT CHECK-IN/RECEPTION/STAIR
SCALE: 3/4" = 1'-0"



1 WALL SECTION AT CHECK-IN/RECEPTION
SCALE: 3/4" = 1'-0"

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DESCRIPTION DATE

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ENLARGED H/C

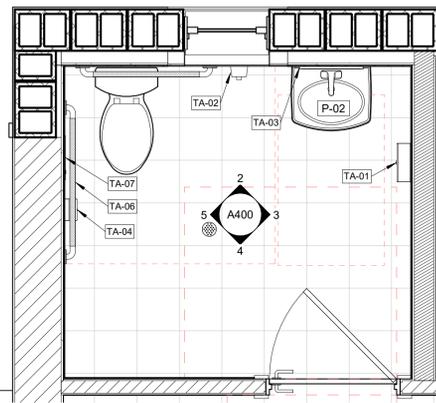
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GENERAL NOTES

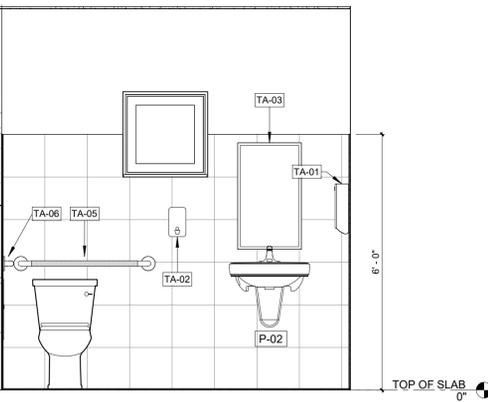
- SEE ACCESSIBILITY NOTES AND DIAGRAMS FOR DIMENSIONS GOVERNING SIZE AND LOCATION OF FIXTURES, APPLIANCES, ACCESSORIES, DOORS, AND CASEWORK.
- CONTRACTOR TO FURNISH AND INSTALL CONCEALED WOOD BLOCKING (WITHIN WALLS) AS REQUIRED TO FIRMLY SECURE WALL-MOUNTED EQUIPMENT AND/OR ACCESSORIES. ALL WOOD BLOCKING IN CONTACT WITH MASONRY IS TO BE PRESSURE TREATED.
- TILE AND PAVER PATTERNS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. TILE AND PAVER SPECIFICATIONS AND INSTALLATION PATTERN TO BE DETERMINED.

TOILET ACCESSORY SCHEDULE				
TAG	DESCRIPTION	COMMENTS	MANUFACTURER	MODEL
TA-01	SURFACE MTD PAPER TOWEL DISPENSER	WALL MOUNTED	BOBRICK	B-262
TA-02	SOAP DISPENSER	WALL MOUNTED	BOBRICK	B-2111
TA-03	MIRROR 18X30	WALL MOUNTED	BOBRICK	B-2908 1830
TA-04	TOILET TISSUE DISPENSER	DOUBLE ROLL VERTICAL	BOBRICK	B-2888
TA-05	36" GRAB BAR BEHIND TOILET	PROVIDE BLOCKING	BOBRICK	B-6806 X 36
TA-06	42" GRAB BAR @ SIDE OF TOILET	PROVIDE BLOCKING	BOBRICK	B-6806 X 42
TA-07	RECESSED SANITARY NAPKIN DISPOSAL	RECESSED	BOBRICK	B-353

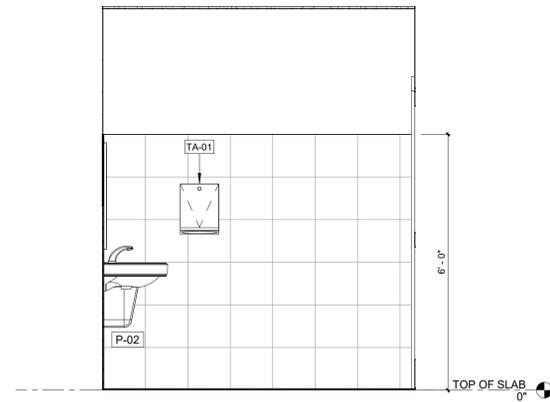
PLUMBING FIXTURE SCHEDULE			
TAG	DESC	COMMENTS	MANUFACTURER
P-01	<varies>	<varies>	Kohler
P-02	K-2035-1 PINOIR WALL-MOUNT SINK WITH SHROUD AND SINGLE FAUCET HOLE W K-103A36-ACCLIV TOUCHLESS SINGLE HOLE FAUCET	WHITE	Kohler
P-03	36" x 36" KOHLER SHOWER	WHITE	KOHLER Co.
P-04	30" X 21" DOUBLE SINK	STAINLESS STEEL	
P-05	SINGLE VOID SINK	STAINLESS STEEL	
P-06	FIAT MSB2424 MOP SINK	WHITE	Eagle Group
P-07	DOG GROOMING TUB	STAINLESS STEEL	
P-08	LAUNDRY & DRYER		



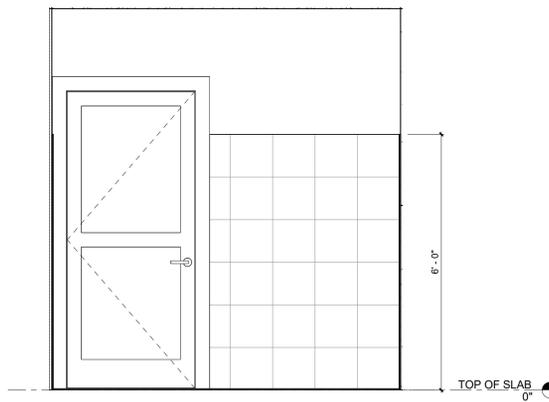
1 ENLARGED H/C RESTROOM PLAN
1/2" = 1'-0"



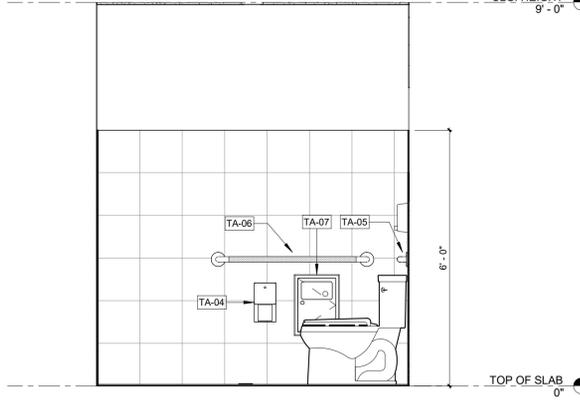
2 INTERIOR ELEVATION
1/2" = 1'-0"



3 INTERIOR ELEVATION
1/2" = 1'-0"



4 INTERIOR ELEVATION
1/2" = 1'-0"



5 INTERIOR ELEVATION
1/2" = 1'-0"

BID SET - NOT FOR CONSTRUCTION

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K:\Clients\PETropolis01 DWG\EXP\25-12-12 Revs. to Eng\8-15-2025_PETropolis.rvt

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consultant logo

CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
PETROPOLIS
PHASE 1

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

#	DESCRIPTION	DATE

DIEGO DURAN, AIA
AR99267

ENLARGED H/C W/
SHWR

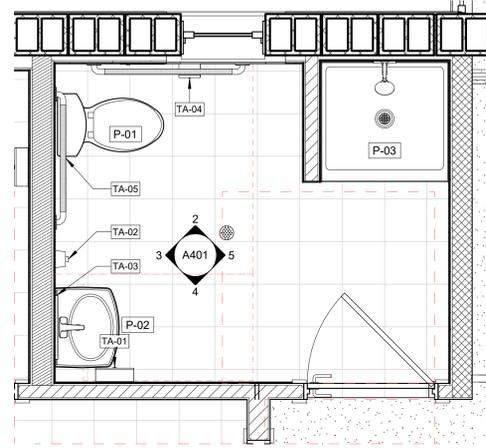
A401

GENERAL NOTES

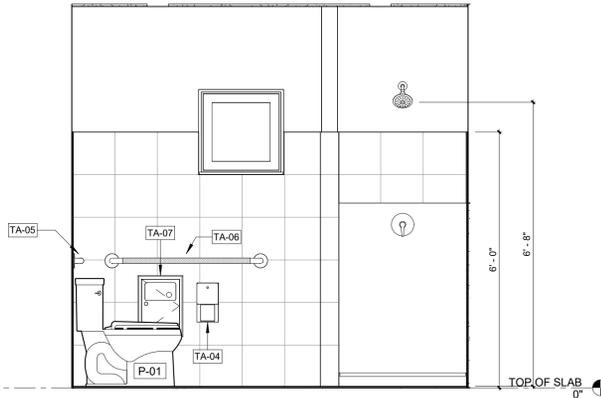
- SEE ACCESSIBILITY NOTES AND DIAGRAMS FOR DIMENSIONS GOVERNING SIZE AND LOCATION OF FIXTURES, APPLIANCES, ACCESSORIES, DOORS, AND CASEWORK.
- CONTRACTOR TO FURNISH AND INSTALL CONCEALED WOOD BLOCKING (WITHIN WALLS) AS REQUIRED TO FIRMLY SECURE WALL-MOUNTED EQUIPMENT AND/OR ACCESSORIES. ALL WOOD BLOCKING IN CONTACT WITH MASONRY IS TO BE PRESSURE TREATED.
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TOILET ACCESSORY SCHEDULE				
TAG	DESCRIPTION	COMMENTS	MANUFACTURER	MODEL
TA-01	SURFACE MTD PAPER TOWEL DISPENSER	WALL MOUNTED	BOBRICK	B-262
TA-02	SOAP DISPENSER	WALL MOUNTED	BOBRICK	B-2111
TA-03	MIRROR 18X30	WALL MOUNTED	BOBRICK	B-2908 1830
TA-04	TOILET TISSUE DISPENSER	DOUBLE ROLL VERTICAL	BOBRICK	B-2888
TA-05	36" GRAB BAR BEHIND TOILET	PROVIDE BLOCKING	BOBRICK	B-6806 X 36
TA-06	42" GRAB BAR @ SIDE OF TOILET	PROVIDE BLOCKING	BOBRICK	B-6806 X 42
TA-07	RECESSED SANITARY NAPKIN DISPOSAL	RECESSED	BOBRICK	B-353

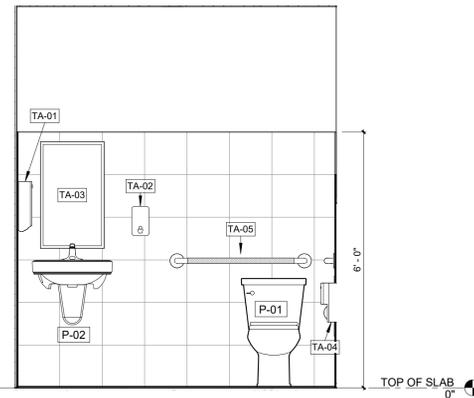
PLUMBING FIXTURE SCHEDULE			
TAG	DESC	COMMENTS	MANUFACTURER
P-01	<varies>	<varies>	Kohler
P-02	K-2035-1 PINOIR WALL-MOUNT SINK WITH SHROUD AND SINGLE FAUCET HOLE W	WHITE	Kohler
P-03	K-103A36-ACCLIV TOUCHLESS SINGLE HOLE FAUCET	WHITE	KOHLER Co.
P-04	36" x 36" KOHLER SHOWER	STAINLESS STEEL	
P-05	30" X 21" DOUBLE SINK	STAINLESS STEEL	
P-06	SINGLE VOID SINK	STAINLESS STEEL	
P-07	FIAT MSB2424 MOP SINK	WHITE	Eagle Group
P-08	DOG GROOMING TUB	STAINLESS STEEL	
P-09	LAUNDRY & DRYER		



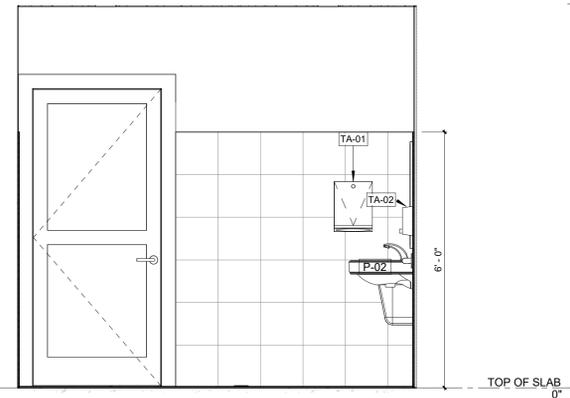
1 ENLARGED RESTROOM PLAN W/ C/C AND SHOWER
1/2" = 1'-0"



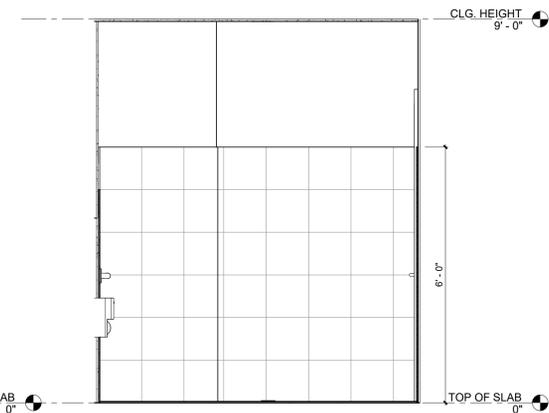
2 INTERIOR ELEVATION
1/2" = 1'-0"



3 INTERIOR ELEVATION
1/2" = 1'-0"



4 INTERIOR ELEVATION
1/2" = 1'-0"



5 INTERIOR ELEVATION
1/2" = 1'-0"

BID SET - NOT FOR CONSTRUCTION

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consultant logo

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PROJECT NAME:
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PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

#	DESCRIPTION	DATE

DIEGO DURAN, AIA
AR99267

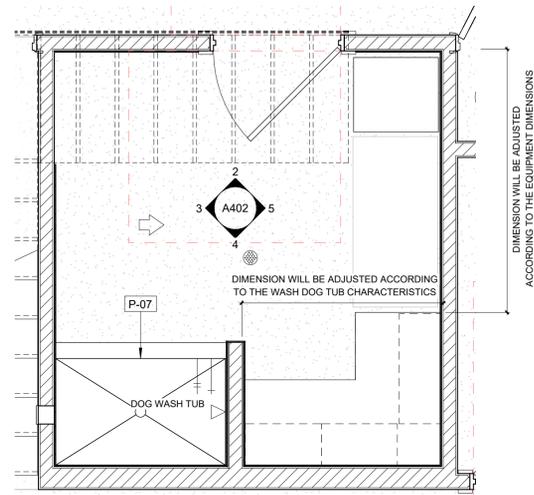
ENLARGED
GROOM LOCAL

A402

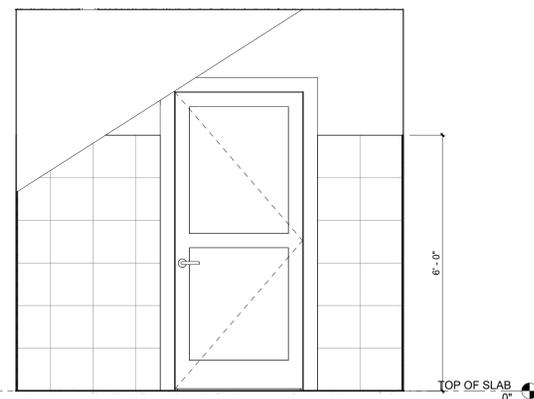
GENERAL NOTES

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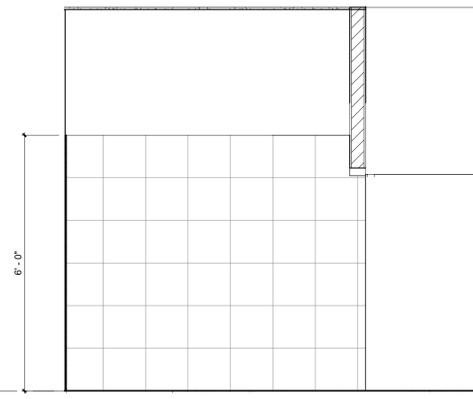
PLUMBING FIXTURE SCHEDULE			
TAG	DESC	COMMENTS	MANUFACTURER
P-01	<varies>	<varies>	Kohler
P-02	K-2035-1 PINOIR WALL-MOUNT SINK WITH SHROUD AND SINGLE FAUCET HOLE W K-103A36-ACCLIV TOUCHLESS SINGLE HOLE FAUCET	WHITE	Kohler
P-03	38" X 36" KOHLER SHOWER	WHITE	KOHLER Co.
P-04	30" X 21" DOUBLE SINK	STAINLESS STEEL	
P-05	SINGLE VOID SINK	STAINLESS STEEL	
P-06	FIAT MSB2424 MOP SINK	WHITE	Eagle Group
P-07	DOG GROOMING TUB	STAINLESS STEEL	
P-08	LAUNDRY & DRYER		



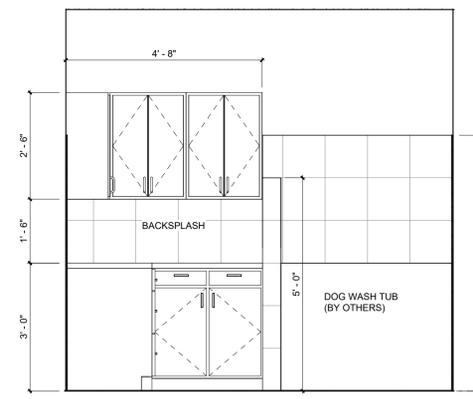
1 ENLARGED GROOM LOCAL PLAN
1/2" = 1'-0"



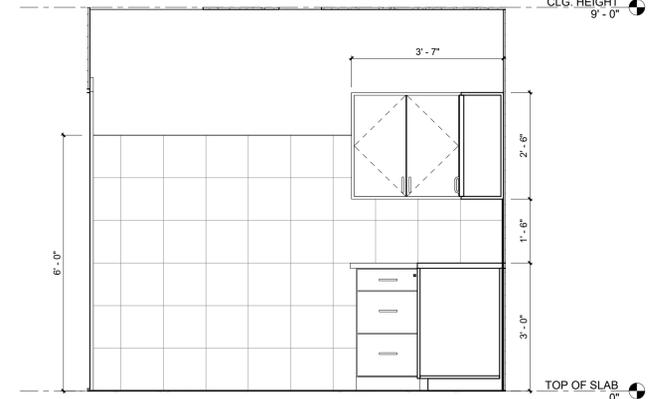
2 INTERIOR ELEVATION
1/2" = 1'-0"



3 INTERIOR ELEVATION
1/2" = 1'-0"



4 INTERIOR ELEVATION
1/2" = 1'-0"



5 INTERIOR ELEVATION
1/2" = 1'-0"

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PLUMBING FIXTURE SCHEDULE			
TAG	DESC	COMMENTS	MANUFACTURER
P-01	<u>varies</u>	<u>varies</u>	
P-02	K-2035-1 PINOIR WALL-MOUNT SINK WITH SHROUD AND SINGLE FAUCET HOLE W K-103A36-ACCLIV TOUCHLESS SINGLE HOLE FAUCET	WHITE	Kohler
P-03	36" x 36" KOHLER SHOWER	WHITE	KOHLER Co.
P-04	30" X 21" DOUBLE SINK	STAINLESS STEEL	
P-05	SINGLE VOID SINK	STAINLESS STEEL	
P-06	FIAT MSB2424 MOP SINK	WHITE	Eagle Group
P-07	DOG GROOMING TUB	STAINLESS STEEL	
P-08	LAUNDRY & DRYER		

consultant logo

CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

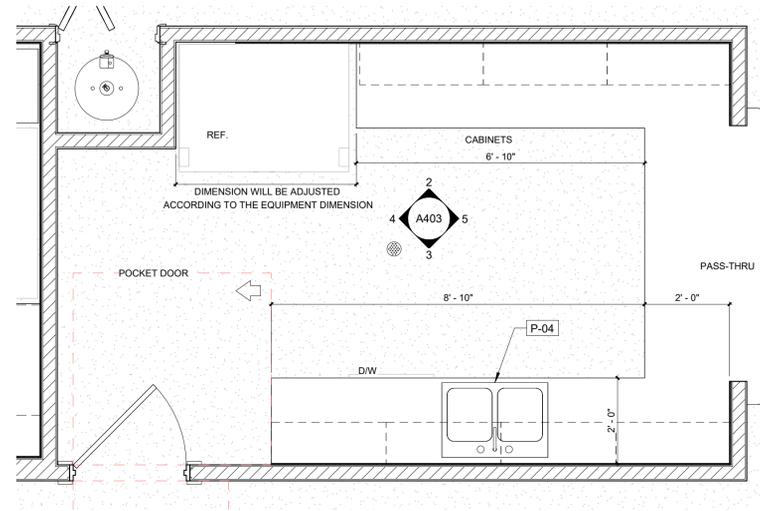
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DIEGO DURAN, AIA
AR99267

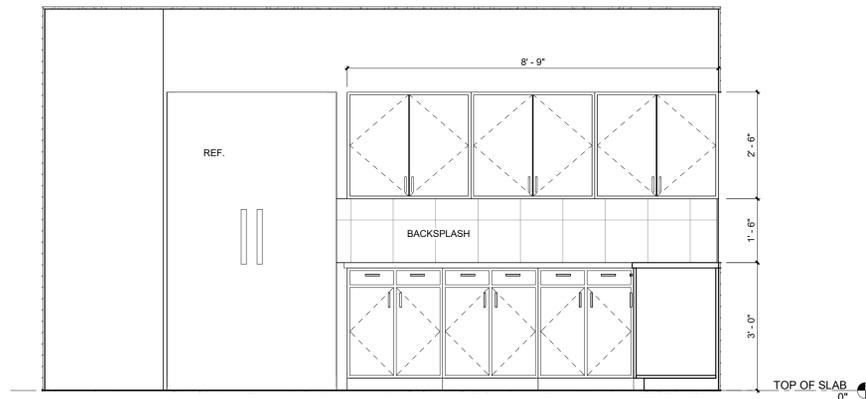
**ENLARGED FOOD
PREP.**

A403

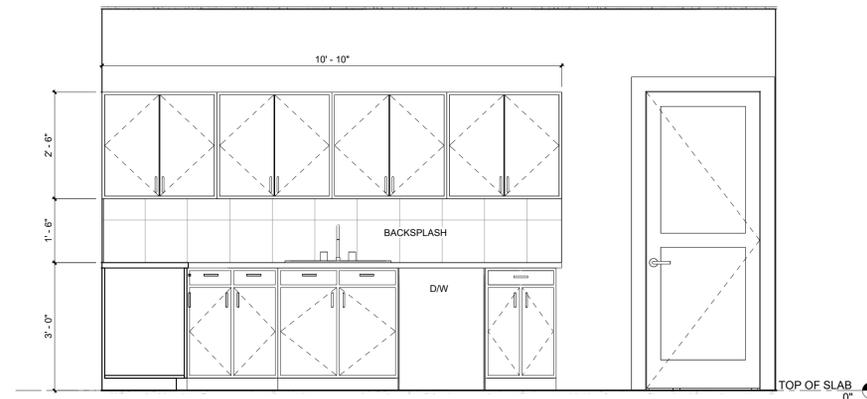
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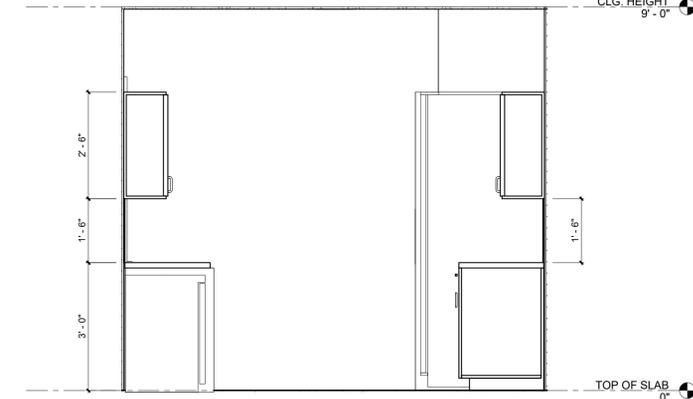
1 ENLARGED FOOD PREP. PLAN
1/2" = 1'-0"



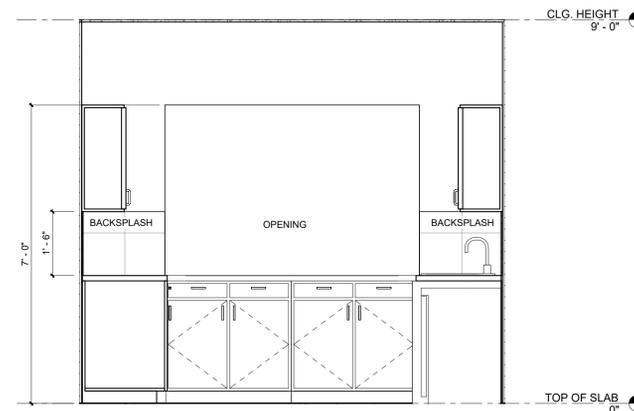
2 INTERIOR ELEVATION
1/2" = 1'-0"



3 INTERIOR ELEVATION
1/2" = 1'-0"



4 INTERIOR ELEVATION
1/2" = 1'-0"



5 INTERIOR ELEVATION
1/2" = 1'-0"

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PLUMBING FIXTURE SCHEDULE			
TAG	DESC	COMMENTS	MANUFACTURER
P-01	<varies>	<varies>	Kohler
P-02	K-2035-1 PINOIR WALL-MOUNT SINK WITH SHROUD AND SINGLE FAUCET HOLE W	WHITE	Kohler
P-03	K-103436-ACCLIV TOUCHLESS SINGLE HOLE FAUCET	WHITE	KOHLER Co.
P-04	36" X 36" KOHLER SHOWER	WHITE	KOHLER Co.
P-05	30" X 21" DOUBLE SINK	STAINLESS STEEL	
P-06	SINGLE VOID SINK	STAINLESS STEEL	
P-07	FIAT M582424 MOP SINK	WHITE	Eagle Group
P-08	DOG GROOMING TUB	STAINLESS STEEL	
P-09	LAUNDRY & DRYER		

consultant logo

CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

ISSUE DATE:
8-7-2025

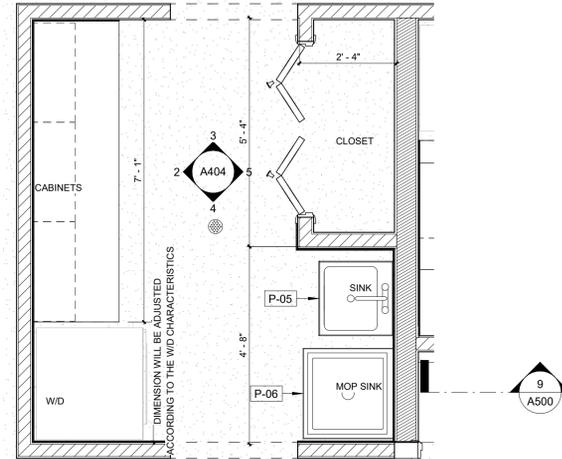
#	DESCRIPTION	DATE

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AR99267

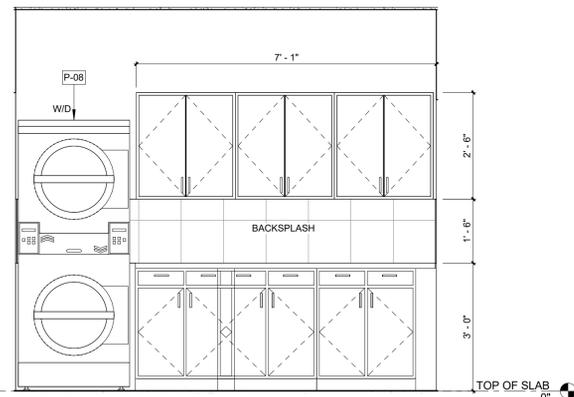
ENLARGED
CLEAN / UTILITY

A404

BID SET - NOT FOR CONSTRUCTION



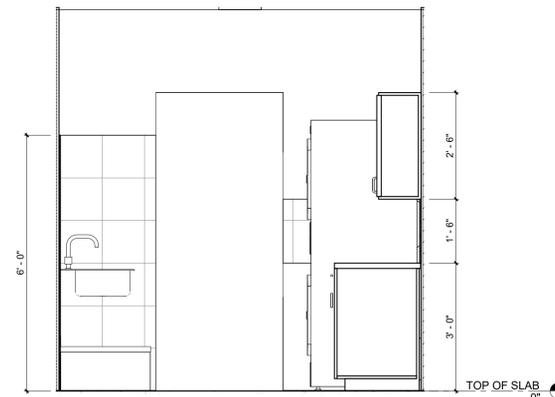
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1/2" = 1'-0"



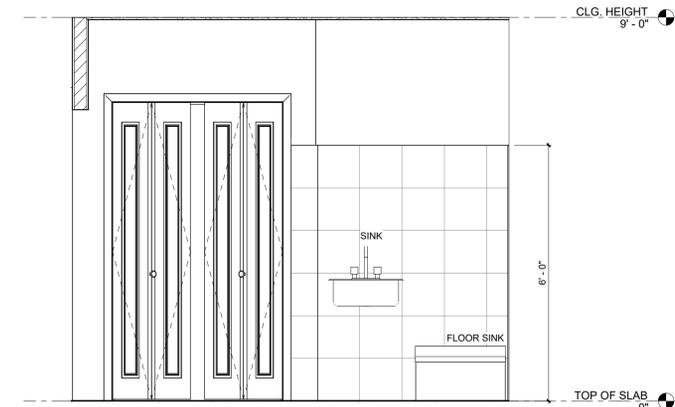
2 INTERIOR ELEVATION
1/2" = 1'-0"



3 INTERIOR ELEVATION
1/2" = 1'-0"



4 INTERIOR ELEVATION
1/2" = 1'-0"



5 INTERIOR ELEVATION
1/2" = 1'-0"

K:\Clients\PETropolis\01 DWG\EXP\25-12-12 Revs. to Eng\8-15-2025_PETropolis.rvt
12/15/2025 11:38:04 AM

GENERAL NOTES

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P-03	36" x 36" KOHLER SHOWER	WHITE	KOHLER Co.
P-04	30" X 21" DOUBLE SINK	STAINLESS STEEL	
P-05	SINGLE VOID SINK	STAINLESS STEEL	
P-06	FIAT MSB2424 MOP SINK	WHITE	Eagle Group
P-07	DOG GROOMING TUB	STAINLESS STEEL	
P-08	LAUNDRY & DRYER		

consultant logo

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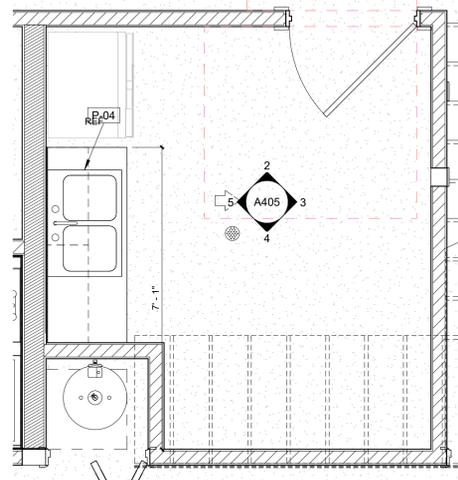
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DIEGO DURAN, AIA
AR99267

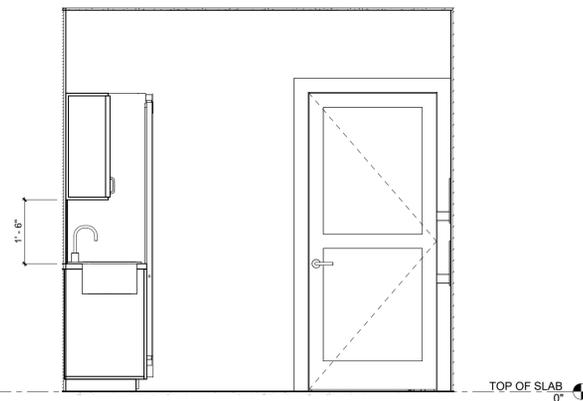
**ENLARGED
BREAK ROOM**

A405

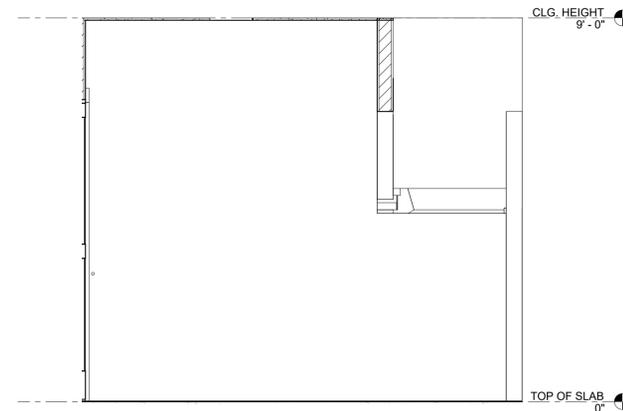
BID SET - NOT FOR CONSTRUCTION



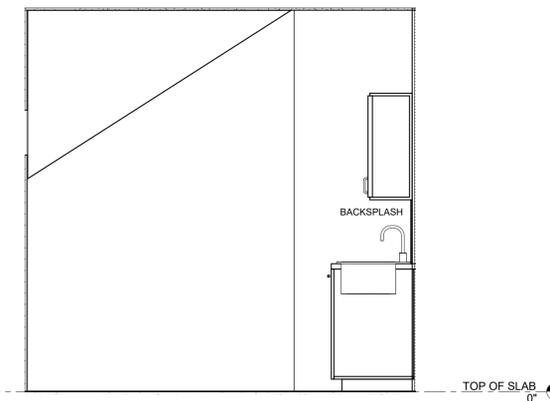
① ENLARGED BREAK ROOM PLAN
1/2" = 1'-0"



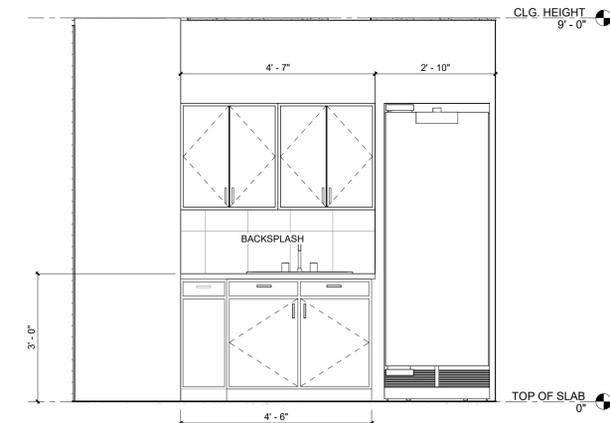
② INTERIOR ELEVATION
1/2" = 1'-0"



③ INTERIOR ELEVATION
1/2" = 1'-0"



④ INTERIOR ELEVATION
1/2" = 1'-0"



⑤ INTERIOR ELEVATION
1/2" = 1'-0"

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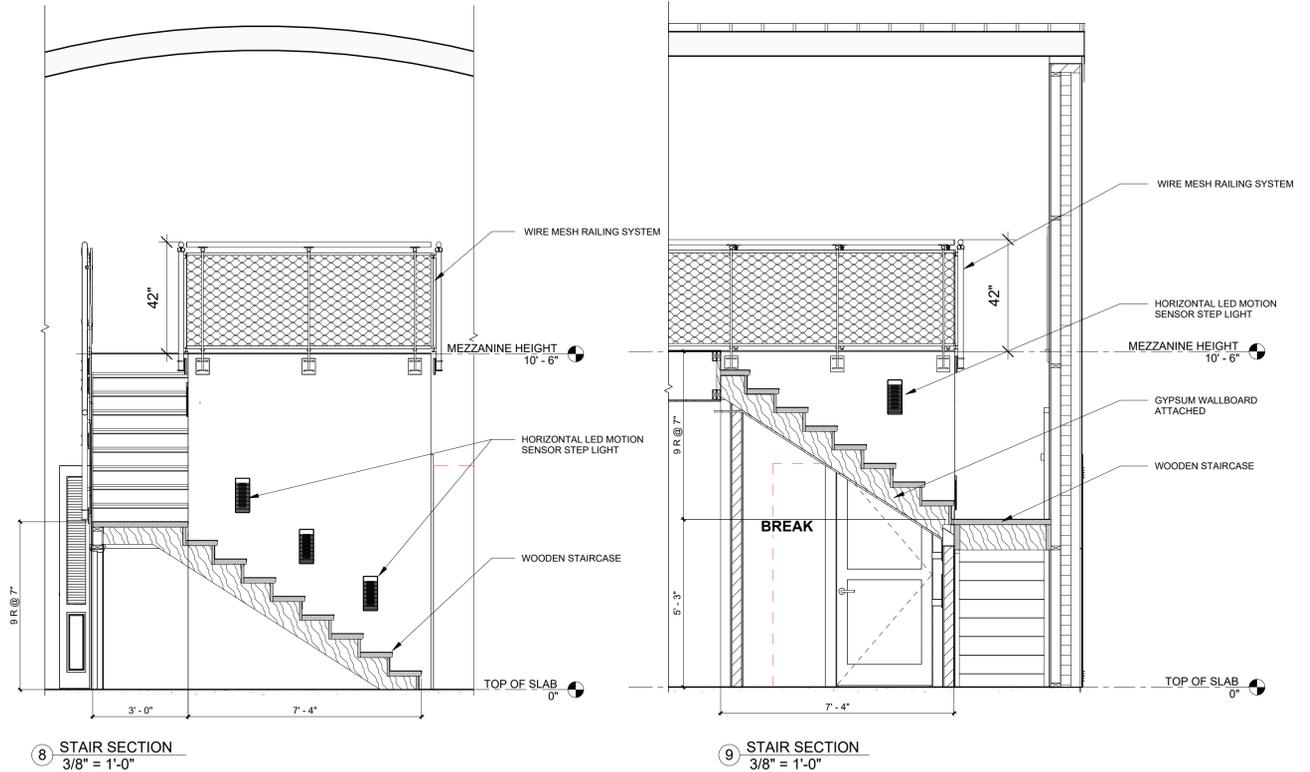
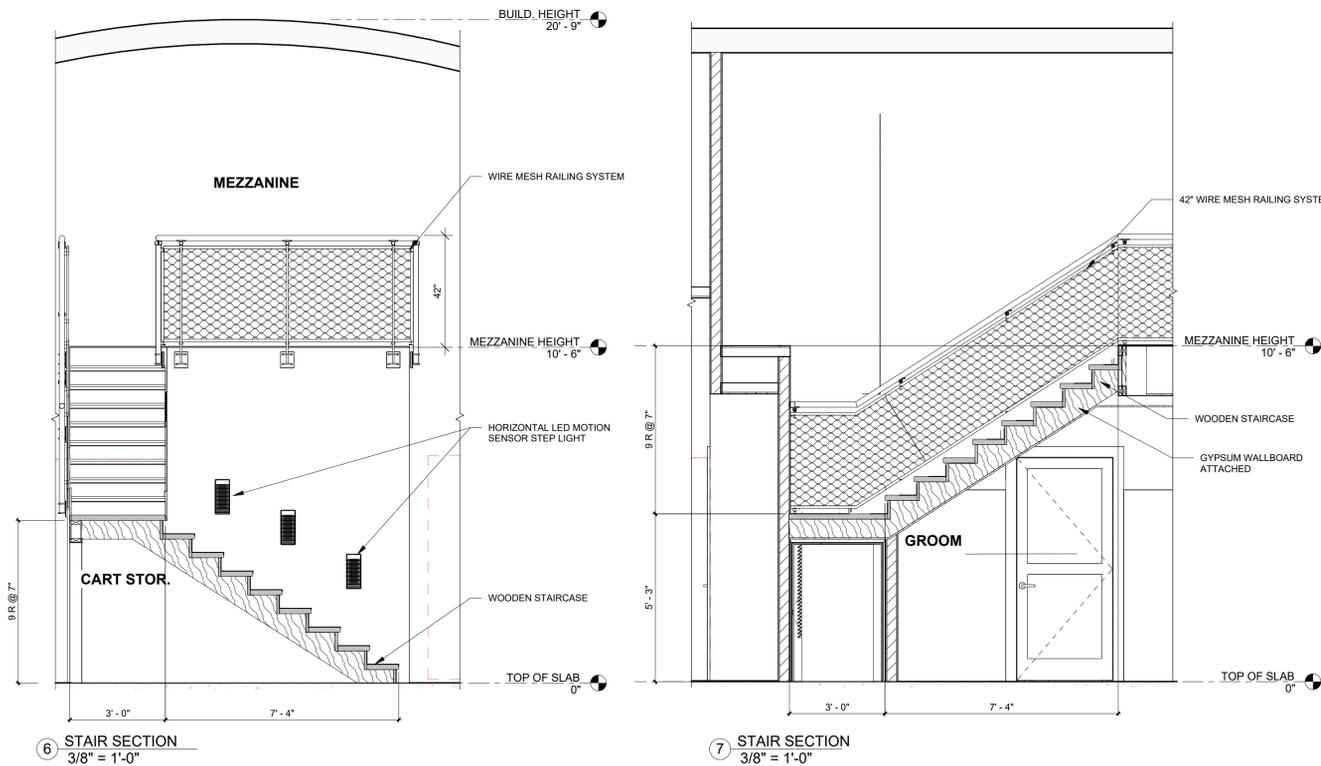
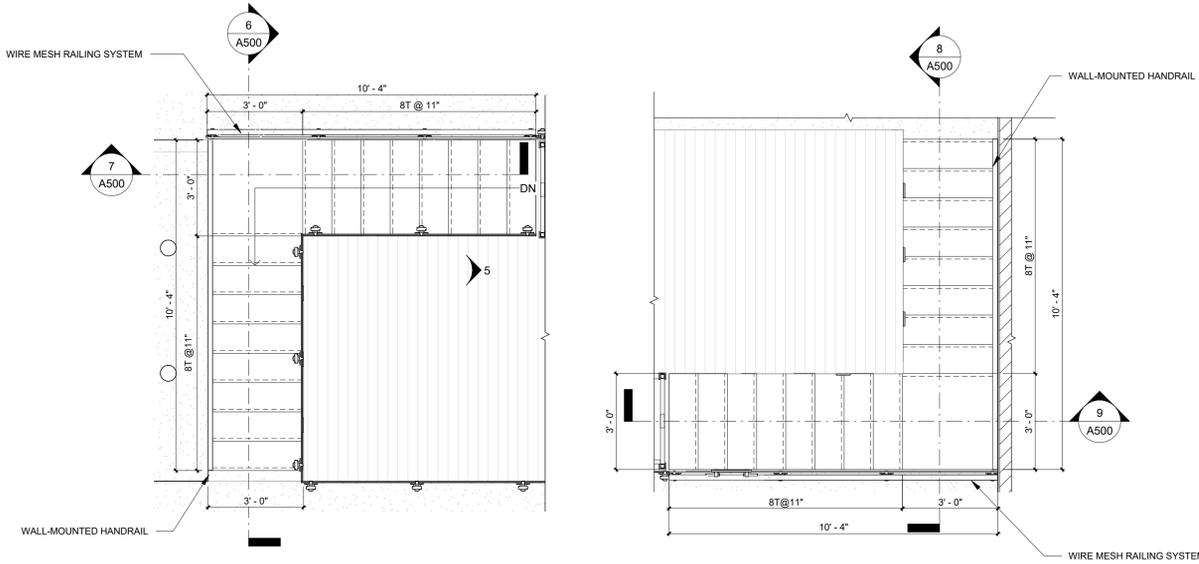
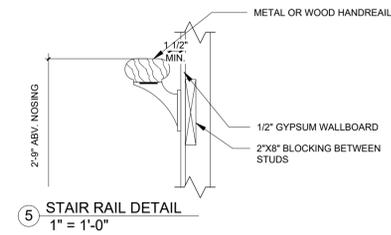
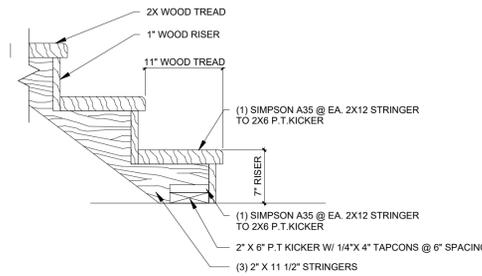
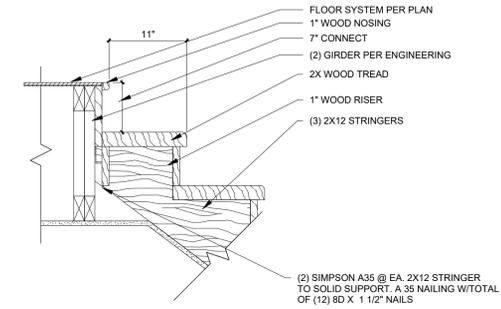
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DIEGO DURAN, AIA
AR99267

PLAN DETAILS

A500

BID SET - NOT FOR CONSTRUCTION



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CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
**PETROPOLIS
PHASE 1**

PROJECT ADDRESS:
PARCEL #:
4113200240040 &
4113200240050

DESIGN
DEVELOPMENT

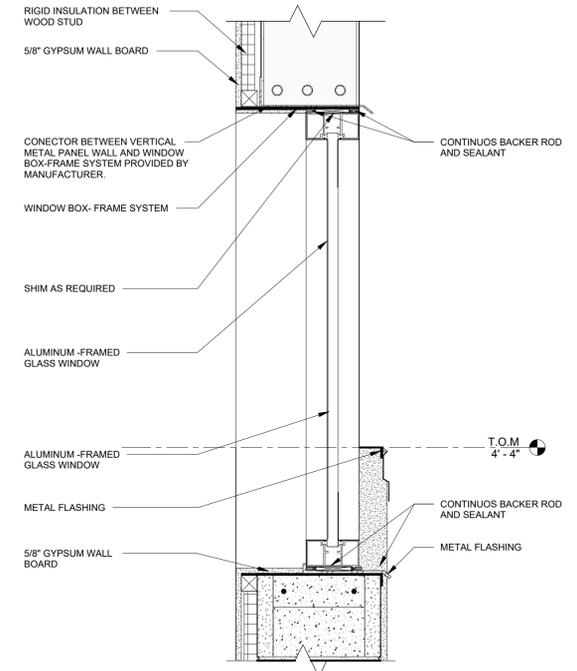
ISSUE DATE:
8-7-2025

#	DESCRIPTION	DATE
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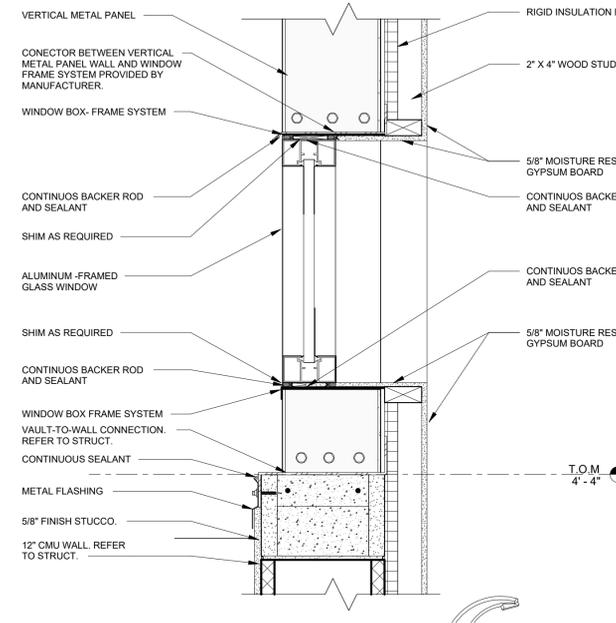
DIEGO DURAN, AIA
AR99267

MISC. DETAILS

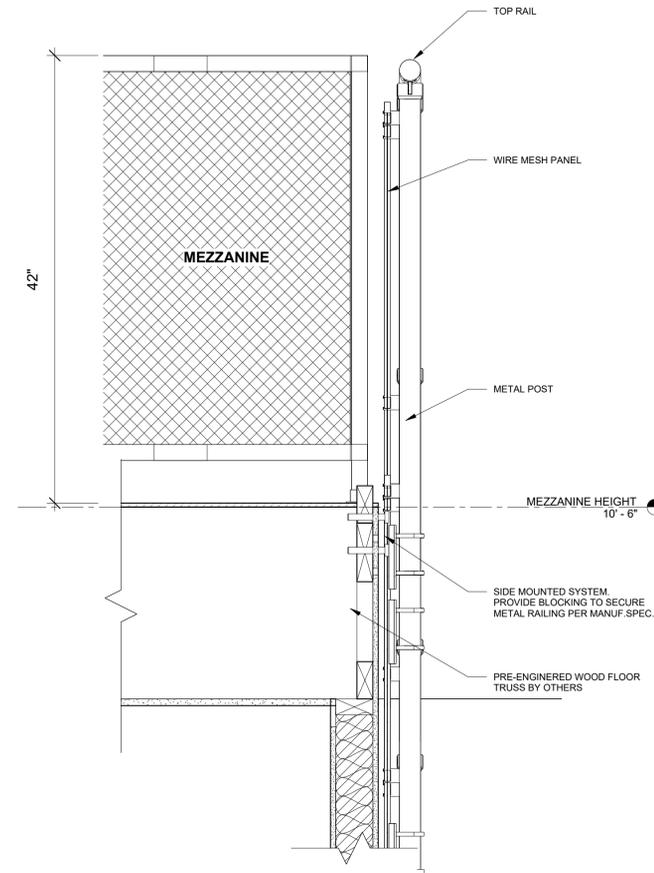
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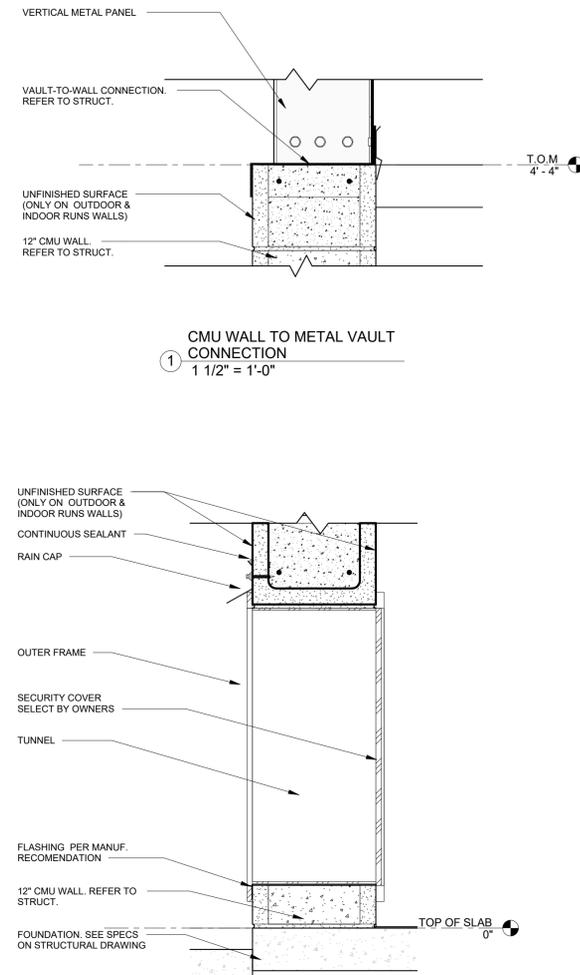
5 WALL SECTION AT OFFICE WINDOW
1 1/2" = 1'-0"



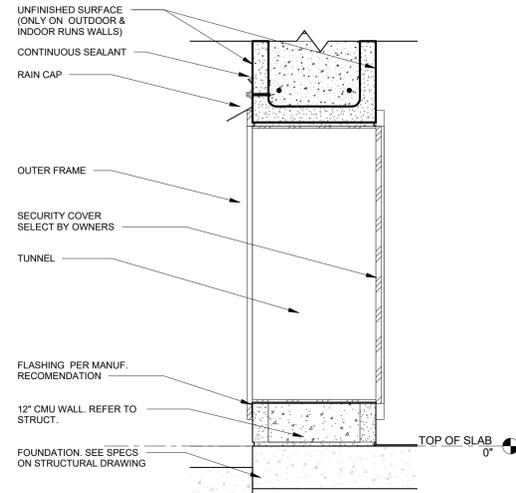
4 WALL SECTION AT H/C RESTROOM WINDOW
1 1/2" = 1'-0"



3 RAILING DETAIL AT MEZZANINE
1 1/2" = 1'-0"



1 CMU WALL TO METAL VAULT CONNECTION
1 1/2" = 1'-0"



2 WALL SECTION AT PET WALL-DOOR ACCESS
1 1/2" = 1'-0"

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CLIENT

PROJECT NUMBER:
22-1433

PROJECT NAME:
PETROPOLIS PHASE 1

PROJECT ADDRESS:
 PARCEL #:
 4113200240040 &
 4113200240050

DESIGN DEVELOPMENT

ISSUE DATE:
 8-7-2025

DESCRIPTION DATE

DIEGO DURAN, AIA
 AR99267

DOOR & WINDOW SCHEDULES

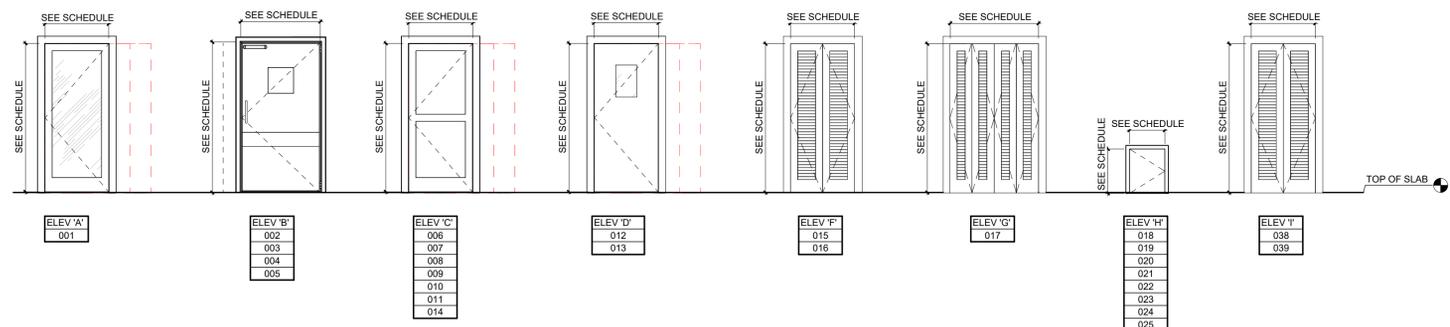
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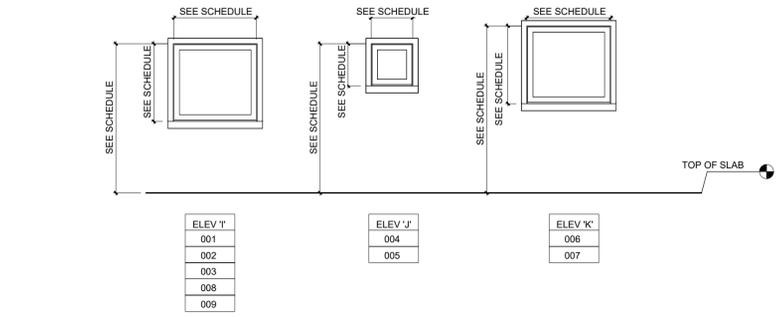
GENERAL - DOOR SCHEDULE-2									
TAG	TYPE	ROOM		DOOR		FRAME MATERIAL	ELEVATION	HARDWARE	NOTES
		FROM	TO	WIDTH	HEIGHT				
001	DR_SINGLE SWING DOOR ENTRANCE	CHECK-IN AND RECEPTION	PARKING ACCESS	3'-8"	7'-0"	METAL & GLASS	ELEV 'A'	SET-1	
002	DR_SWING DOOR (GLASS LITE WINDOWS)	WALKWAY #2	PAVED WALKWAY	3'-8"	7'-0"	METAL & GLASS	ELEV 'B'	SET-1	
003	DR_SWING DOOR (GLASS LITE WINDOWS)	WALKWAY #2	PAVED WALKWAY	3'-8"	7'-0"	METAL & GLASS	ELEV 'B'	SET-1	
004	DR_SWING DOOR (GLASS LITE WINDOWS)	PAVED WALKWAY	WALKWAY #1	3'-8"	7'-0"	METAL & GLASS	ELEV 'B'	SET-1	
005	DR_SWING DOOR (GLASS LITE WINDOWS)	WALKWAY #1	PAVED WALKWAY	3'-8"	7'-0"	METAL & GLASS	ELEV 'B'	SET-1	
006	DR_SINGLE SWING DOOR	CHECK-IN AND RECEPTION	H/C RESTROOM	3'-0"	7'-0"	WOOD	ELEV 'C'	SET-4	
007	DR_SINGLE SWING DOOR	WALKWAY #2	H/C W/ SHWR	3'-0"	7'-0"	WOOD	ELEV 'C'	SET-4	
008	DR_SINGLE SWING DOOR	CHECK-IN AND RECEPTION	OFFICE	3'-0"	7'-0"	WOOD	ELEV 'C'	SET-2	
009	DR_SINGLE SWING DOOR	WALKWAY #1	OFFICE /RESPIRE	3'-0"	7'-0"	WOOD	ELEV 'C'	SET-2	
010	DR_SINGLE SWING DOOR	WALKWAY #1	FOOD PREP	2'-8"	7'-0"	WOOD	ELEV 'C'	SET-2	
011	DR_SINGLE SWING DOOR	WALKWAY #2	BREAK	3'-0"	7'-0"	WOOD	ELEV 'C'	SET-2	
012	DR_SINGLE SWING DOOR W/ VISOR	WALKWAY #2	CHECK-IN AND RECEPTION	3'-0"	7'-0"	WOOD & GLASS	ELEV 'D'	SET-3	
013	DR_SINGLE SWING DOOR W/ VISOR	WALKWAY #1	CHECK-IN AND RECEPTION	3'-0"	7'-0"	WOOD & GLASS	ELEV 'D'	SET-3	
014	DR_SINGLE SWING DOOR	WALKWAY #2	GROOM	3'-0"	7'-0"	WOOD	ELEV 'C'	SET-2	
015	DR_BIFOLD DOOR (TWO PANEL)	W/H	WALKWAY #2	2'-4"	7'-0"	WOOD	ELEV 'F'	SET-6	
016	DR_BIFOLD DOOR (TWO PANEL)	W/H	WALKWAY #1	2'-4"	7'-0"	WOOD	ELEV 'F'	SET-6	
017	DR_BIFOLD DOOR (FOUR PANEL)		CLEAN AND UTILITY	4'-0"	7'-0"	WOOD	ELEV 'G'	SET-6	
018	DR_PET WALL-DOOR	OUTDOOR RUNS # 2	INDOOR RUNS # 2	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
019	DR_PET WALL-DOOR	OUTDOOR RUNS # 2	INDOOR RUNS # 2	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
020	DR_PET WALL-DOOR	OUTDOOR RUNS # 2	INDOOR RUNS # 2	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
021	DR_PET WALL-DOOR	OUTDOOR RUNS # 2	INDOOR RUNS # 2	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
022	DR_PET WALL-DOOR	OUTDOOR RUNS # 2	INDOOR RUNS # 2	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
023	DR_PET WALL-DOOR	OUTDOOR RUNS #4	INDOOR RUNS #4	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
024	DR_PET WALL-DOOR	OUTDOOR RUNS #4	INDOOR RUNS #4	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
025	DR_PET WALL-DOOR	OUTDOOR RUNS #4	INDOOR RUNS #4	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
026	DR_PET WALL-DOOR	OUTDOOR RUNS #4	INDOOR RUNS #4	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
027	DR_PET WALL-DOOR	OUTDOOR RUNS #4	INDOOR RUNS #4	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
028	DR_PET WALL-DOOR	INDOOR RUNS #1	OUTDOOR RUNS #1	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
029	DR_PET WALL-DOOR	INDOOR RUNS #1	OUTDOOR RUNS #1	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
030	DR_PET WALL-DOOR	INDOOR RUNS #1	OUTDOOR RUNS #1	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
031	DR_PET WALL-DOOR	INDOOR RUNS #1	OUTDOOR RUNS #1	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
032	DR_PET WALL-DOOR	INDOOR RUNS #1	OUTDOOR RUNS #1	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
033	DR_PET WALL-DOOR	INDOOR RUNS#3	OUTDOOR RUNS #3	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
034	DR_PET WALL-DOOR	INDOOR RUNS#3	OUTDOOR RUNS #3	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
035	DR_PET WALL-DOOR	INDOOR RUNS#3	OUTDOOR RUNS #3	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
036	DR_PET WALL-DOOR	INDOOR RUNS#3	OUTDOOR RUNS #3	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
037	DR_PET WALL-DOOR	INDOOR RUNS#3	OUTDOOR RUNS #3	1'-8"	2'-1"	METAL & VINYL FLAPS	ELEV 'H'		XX LARGE
038	DR_BIFOLD DOOR (TWO PANEL)	CART STOR.	WALKWAY #2	2'-10"	4'-4"	WOOD	ELEV 'T'	SET-6	
039	DR_BIFOLD DOOR (TWO PANEL)	CART STOR.	WALKWAY #1	2'-10"	4'-4"	WOOD	ELEV 'T'	SET-6	

HARDWARE SCHEDULE	
SET 1	EXTERIOR DOORS 3 HINGES - N.P.R. 1 DOOR PULL 1 PANIC HARDWARE (HANDICAP ACCESSIBLE) 1 LEVER ENTRANCE LOCK 1 CLOSER - PARALLEL ARM 1 ASTRAGAL - STEEL 1 WEATHERSTRIP 1 THRESHOLD - BARRIER FREE
SET 2	3 HINGES 1 OFFICE FUNCTION LOCK (HANDICAP ACCESSIBLE) 1 CLOSER
SET 3	3 HINGES 1 DOOR PULL / PUSH (HANDICAP ACCESSIBLE) 1 CLOSER
SET 4	3 HINGES 1 PRIVACY LEVER LOCKSET (HANDICAP ACCESSIBLE) 1 CLOSER 1 STOP
SET 5	POCKET DOOR LATCH
SET 6	BIFOLD DOOR HARDWARE

WINDOW SCHEDULE						
TAG	WINDOW		MATERIAL	HEAD HEIGHT	NOTES	ELEVATION
	WIDTH	HEIGHT				
001	4'-0"	3'-8"	ALUMINUM & GLASS	7'-0"		ELEV 'T'
002	4'-0"	3'-8"	ALUMINUM & GLASS	7'-0"		ELEV 'T'
003	4'-0"	3'-8"	ALUMINUM & GLASS	7'-0"		ELEV 'T'
004	2'-0"	2'-0"	ALUMINUM & GLASS	7'-0"	OPAQUE GLASS	ELEV 'J'
005	2'-0"	2'-0"	ALUMINUM & GLASS	7'-0"	OPAQUE GLASS	ELEV 'J'
006	4'-0"	3'-8"	ALUMINUM & GLASS	3'-8"		ELEV 'K'
007	4'-0"	3'-8"	ALUMINUM & GLASS	3'-8"		ELEV 'K'
008	4'-0"	3'-8"	ALUMINUM & GLASS	7'-0"		ELEV 'T'
009	4'-0"	3'-8"	ALUMINUM & GLASS	7'-0"		ELEV 'T'



DOOR LEGEND
 SCALE: 1/4" = 1'-0"



WINDOW LEGEND
 SCALE: 1/4" = 1'-0"

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