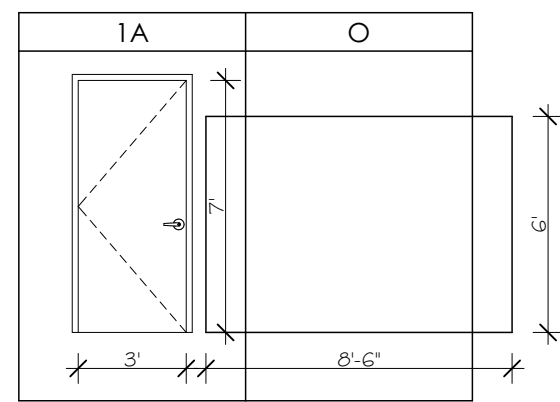


ROOM NAME	ROOM #	APPROX. SF	APPROX. PERIMETER	FLOORING	BASE	WALL FINISH				CEILING		REMARKS
						NORTH	EAST	SOUTH	WEST	CEILING	FINISH	
MEN	120	194	67'-8"	F1	B1	P1 / F2	P1	P1 / F2	P1 / F2	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
MEN	220	194	67'-8"	F1	B1	P1 / F2	P1	P1 / F2	P1 / F2	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
MEN	320	194	67'-8"	F1	B1	P1 / F2	P1	P1 / F2	P1 / F2	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
MEN	420	197	68'-2"	F1	B1	P1 / F2	P1	P1 / F2	P1 / F2	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
MEN	520	197	75'-9"	F1	B1	P1 / F2	P1	P1 / F2	P1 / F2	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
MEN	620	197	68'-1"	F1	B1	P1 / F2	P1	P1 / F2	P1 / F2	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
MEN	B20	194	65'	F1	B1	P1 / F2	P1	P1 / F2	P1 / F2	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
MEN	G20	193	67'-8"	F1	B1	P1 / F2	P1	P1 / F2	P1 / F2	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
VESTIBULE M	100	41	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	200	41	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	300	41	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	400	41	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	500	41	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	600	42	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	B00	42	23'-11"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	G00	41	23'-11"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	100	40	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	200	42	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	300	42	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	400	43	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	500	41	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	600	42	76'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	B00	42	23'-11"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	G00	41	23'-11"	F1	B2	P3	P3	P3	P3	8'	ACT	
WOMEN	136	231	74'-7"	F1	B1	P1 / F2	P1	P1	P1	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
WOMEN	236	230	73'-9"	F1	B1	P1 / F2	P1	P1	P1	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
WOMEN	336	232	74'-5"	F1	B1	P1 / F2	P1	P1	P1	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
WOMEN	436	270	97'-2"	F1	B1	P1 / F2	P1	P1	P1	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
WOMEN	536	228	96'-8"	F1	B1	P1 / F2	P1	P1	P1	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
WOMEN	636	270	97'-2"	F1	B1	P1 / F2	P1	P1	P1	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
WOMEN	B36	231	95'-6"	F1	B1	P1 / F2	P1	P1	P1	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.
WOMEN	G36	233	74'-6"	F1	B1	P1 / F2	P1	P1	P1	8'	ACT	SEE AG00 FOR EXTENT OF WALL TILE FINISH.

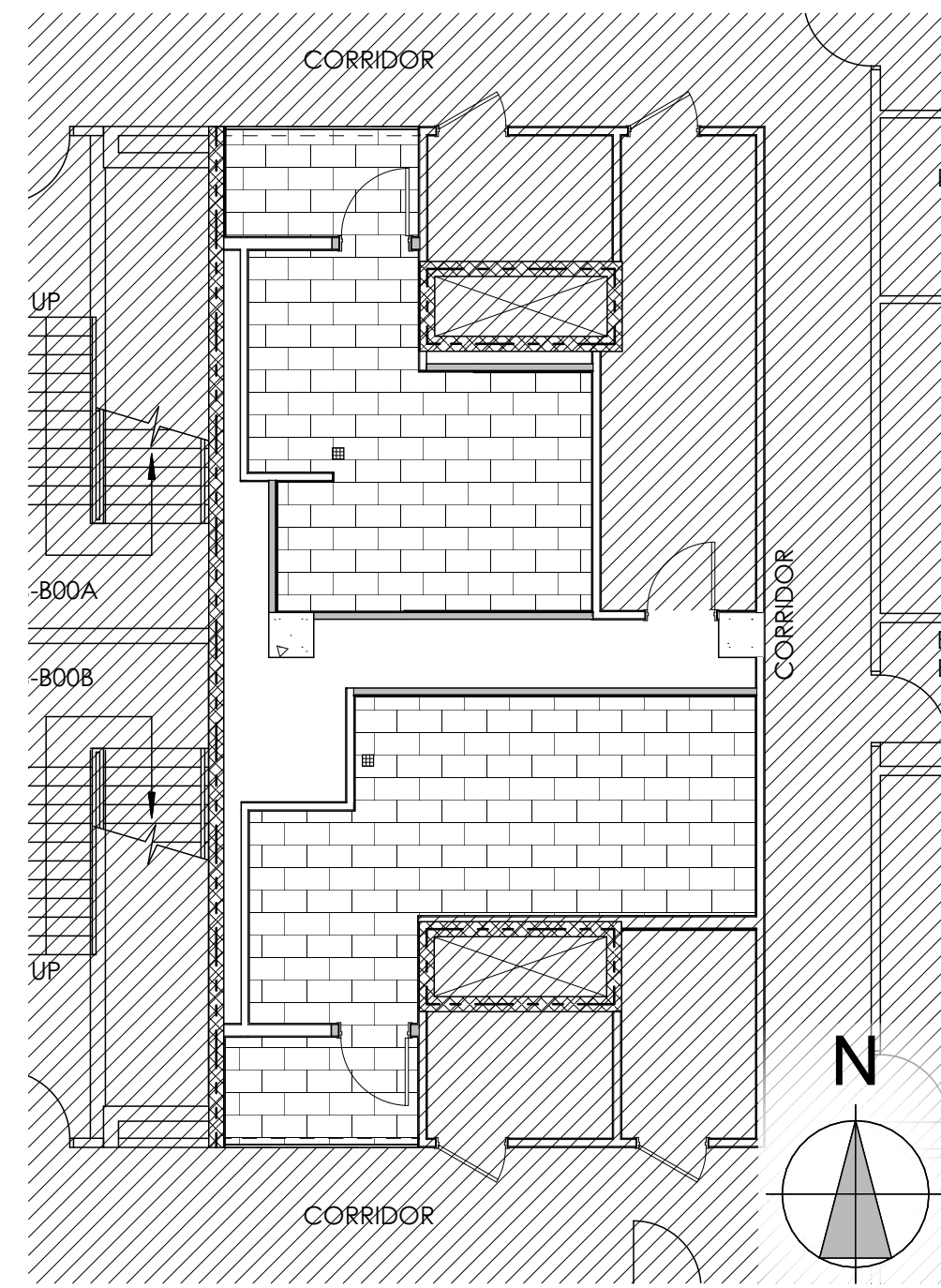
1 FINISH SCHEDULE
A000

DOOR# / HARDWARE	LOCATION	QUAN.	FIRE RATING	UNIT SIZE		DOOR		FRAME		GLAZING	NOTES
				WIDTH	HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH		
1A	RESTROOMS	16	---	3'	7'	HM	P2	HM	P2	---	

2 DOOR SCHEDULE
A000



3 DOOR ELEVATION
A000 SCALE: 1/4" = 1'-0"



4 FLOORING PATTERN PLAN
A000 SCALE: 1/8" = 1'-0"

FINISH SCHEDULE NOTES

NOTES

- PATCH AND LEVEL EXISTING FLOOR PRIOR TO INSTALLATION OF NEW FLOORING MATERIAL.
- SEE FLOORING PLANS AND ELEVATIONS FOR TILE PATTERNS AND LOCATIONS.
- FINISHES NOTED ARE BASIS OF DESIGN.
- INSTALL TILE TRANSITIONS:
 - COORDINATE TILE THICKNESS AND TRANSITION SIZES.
 - FINISH TO BE SATIN NICKLE ANODIZED ALUMINUM UNLESS OTHERWISE NOTED.
 - SCHLUTER RENO-L - BETWEEN TILE AND CARPET/VCT
 - SCHLUTER JOLLY- EXPOSED VERTICAL WALL TILE EDGES.
- ENSURE TILE INSTALLERS HAVE BEEN TRAINED TO USE SPECIFIED GROUT. APPLICATION IS UNLIKE TYPICAL CEMENTITIOUS PRODUCTS.
- PRIME AND PAINT ALL WALLS TWO COATS MIN. EACH.
- REPLACE CORRIDOR FINISHES AS NEEDED TO MATCH EXISTING. PATCH IN FLOORING, PAINT FROM CORNER TO CORNER, FLOOR TO CEILING. REPLACE WALL BASE FROM CORNER TO FRAMES.

FINISHES

FLOOR / WALL

- * SEE A103 FOR FLOORING PATTERN AND AG00 ELEVATIONS FOR WALL TILE PATTERNS.
- * SEE NOTE 4 ABOVE.

- F1 - FLOOR TILE - SHAW, VARIETAL, 12 X 24 MATTE, 00900 MIDNIGHT
GROUT: CUSTOM BUILDING PRODUCTS, FUSION PRO, 185 NEW TAUPE
- F2 - WALL TILE - CROSSVILLE, COLOR BY NUMBERS, 4X8, WT03 THREE HOUR TOUR, GLOSS
GROUT: CUSTOM BUILDING PRODUCTS, FUSION PRO, 545 BLEACHED WOOD
- F3 - CARPET - PATCH CORRIDORS AS NEEDED TO MATCH EXISTING; COORDINATE MATERIAL WITH BUILDING MANAGER / DMS

CEILING

- C1 - ACOUSTICAL CEILING TILE - USG, MILLENIA CLIMAPLUS, 24"x24"x3/4", WHITE, SLT 76705 WITH DOWN DX GRID
- EX - MATCH EXISTING

WALL BASE

- B1 - TILE - SHAW, VARIETAL, MATTE, 00900 MIDNIGHT, 3 x 12 BULLNOSE AND 12 x24 CUT TO 3 X 12 IN FULLY TILED PORTIO OF WALLS

- GROUT: CUSTOM BUILDING PRODUCTS, FUSION PRO, 185 NEW TAUPE
- B2 - VINYL BASE - MATCH EXISTING, COORDINATE MATERIAL WITH BUILDING MANAGER / DMS

PAINTS

- P1 - WALLS, RESTROOMS
SW 763 I CITY LOFT, EPOXY, EGG SHELL
- P2 - DOORS AND DOOR FRAMES
VESTIBULE SIDE - MATCH EXISTING ADJACENT DOORS, COORDINATE COLOR WITH BUILDING MANAGER / DMS
RESTROOM SIDE - PPG 0998-7 UNDERCOVER, SEMIGLOSS
- P3 - WALLS - MATCH EXISTING (VESTIBULES, HALLS AND HEADERS)

MILLWORK / LAVATORIES

- QUARTZ - COSENTINO, SILESTONE, LAGOON, POLISHED, 2CM
- LAMINATE - WILSONART, 8208K-16 FAWN CYPRESS, CASUAL RUSTIC FINISH

TOILET PARTITIONS

- HDPE - SCRANTON PRODUCTS / HINY HIDERS, BRONZE, HAMMERED
- FLOOR MOUNTED OVERHEAD BRACED
- 66" HIGH PANELS + DOORS, 9" A.F.F., W/OCCUPANCY INDICATOR LATCHES
- HEADRAIL 83" A.F.F.
- CONTINUOUS BRACKETS, SHIFLAP EDGE, AND NO SIGHT/GAP DOOR OPTION.
- DOG HOUSE PANELS
- ADA STALL DOORS W/SELF-CLOSING HINGES AND MIN. 32" CLEAR OPENINGS.
- CLEAR DOOR SILENCERS, THREE PER DOOR

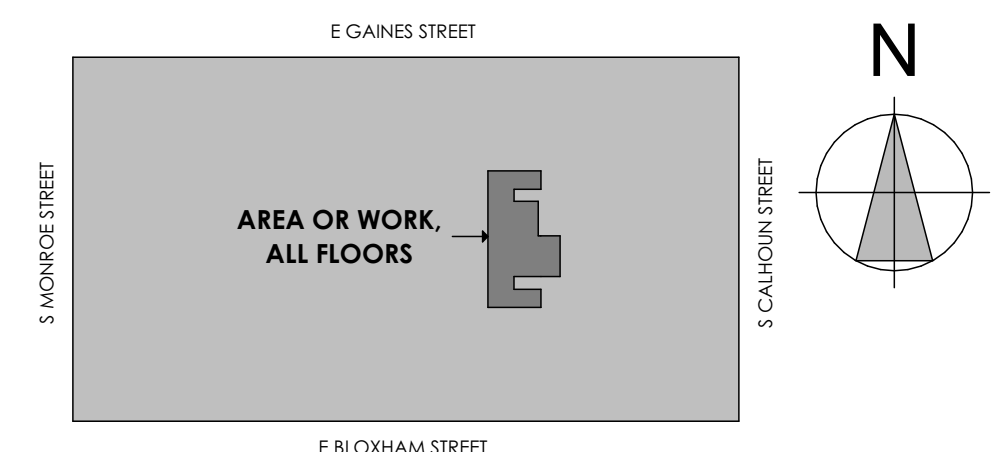
HARDWARE SCHEDULE

A	DOOR 1 - TO RESTROOMS				
3 EA	HINGE	BB1279	4 1/2"x4 1/2"	626	HAGER
1 EA	PULL HANDLE	BF156	12" CTC	630	ROCKWOOD
1 EA	PUSH PLATE	70RCB	3 1/2"x15"	630	ROCKWOOD
1 EA	CLOSER	4040XP RW/PA	----	689	LCN
1 EA	KICK PLATE	K1050	8" x 34"	630	ROCKWOOD
1 EA	WALL STOP	405	----	626	ROCKWOOD
3 EA	SILENCERS	608	----	----	ROCKWOOD

DOOR NOTES

NOTE: FIELD VERIFY ALL DOOR DIMENSIONS PRIOR TO ORDERING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.

KEY PLAN



BUILDING DATA

AREA OF WORK - CENTRAL RESTROOM STACKS
 OCCUPANCY: BUSINESS (B)
 PROJECT SF: 6,011 SF
 CONSTRUCTION TYPE: TYPE II-A, SPRINKLERED
 ALTERATIONS TO EXISTING BUILDING: LEVEL II

LARSON BUILDING
 OCCUPANCY: BUSINESS (B)
 BUILDING SF: 223,897 SF.
 SPRINKLERED
 7 STORIES + BASEMENT

OCCUPANT LOAD

NOT APPLICABLE - UNOCCUPIED SUPPORT SPACES ONLY

TABLE 403.1 - MINIMUM NUMBER OF REQUIRED FIXTURES (SEE SECTIONS 403.1.1 AND 403.2)

CLASSIFICATION / DESCRIPTION	WATER CLOSETS (URNALS- SEE SECTION 424.2)		LAVATORIES		BATHTUBS / SHOWERS	DRINKING FOUNTAIN (SEE SECTION 410)	OTHER
	MALE	FEMALE	MALE	FEMALE			
BUSINESS	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	---	---	---	1 PER 100	1 SERVICE SINK
LARSON: 26,936 SF PER FLOOR / 150 GROSS OCCUPANTS 90 MEN / 90 WOMEN	90/50 = 40 (2) + 40/50 = 8 (1) 3 REQUIRED 4 PROVIDED	90/80 = 10 (3) 3 REQUIRED 4 PROVIDED	---	---	---	EXTING NOT IN SCOPE	1 EXISTING
FLETCHER: 27,582 SF PER FLOOR / 150 GROSS OCCUPANTS 92 MEN / 92 WOMEN	92/50 = 42 (2) + 42/50 = 8 (1) 3 REQUIRED 6 PROVIDED	92/80 = 12 (3) 3 REQUIRED 4 PROVIDED	---	---	---	EXTING NOT IN SCOPE	1 EXISTING

ABBREVIATIONS

- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- EX. EXISTING
- WD. WOOD
- HM. HOLLOW METAL
- ST. STAIN

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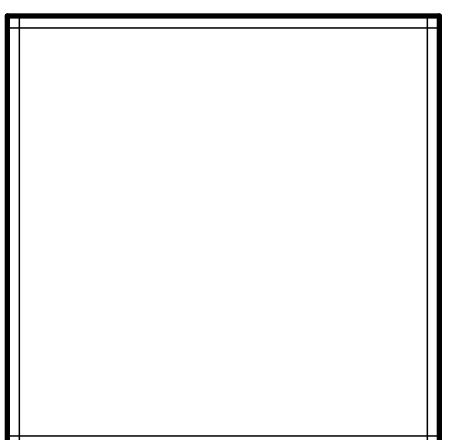
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SCHEDULES & NOTES

A000

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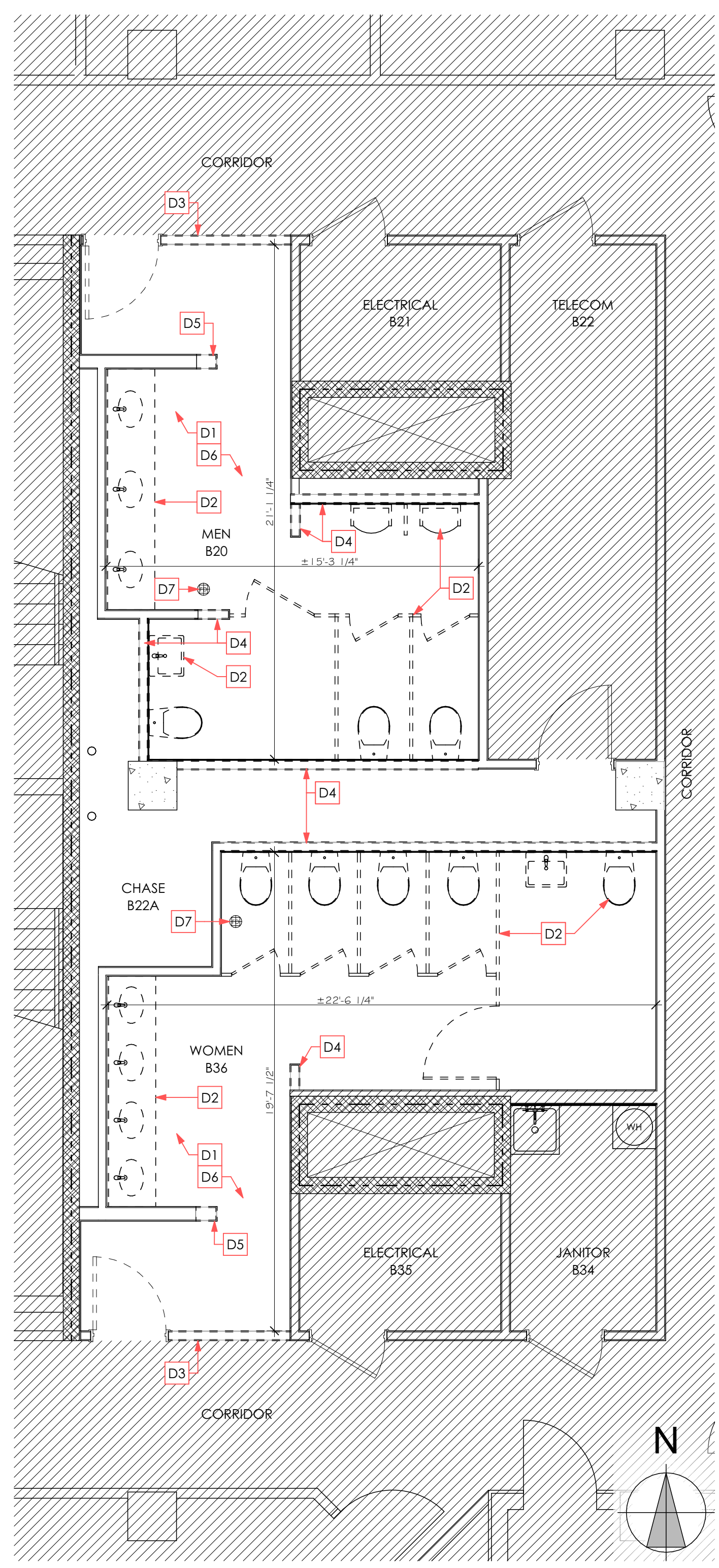
DEMOLITION PLANS
A100

LEGEND

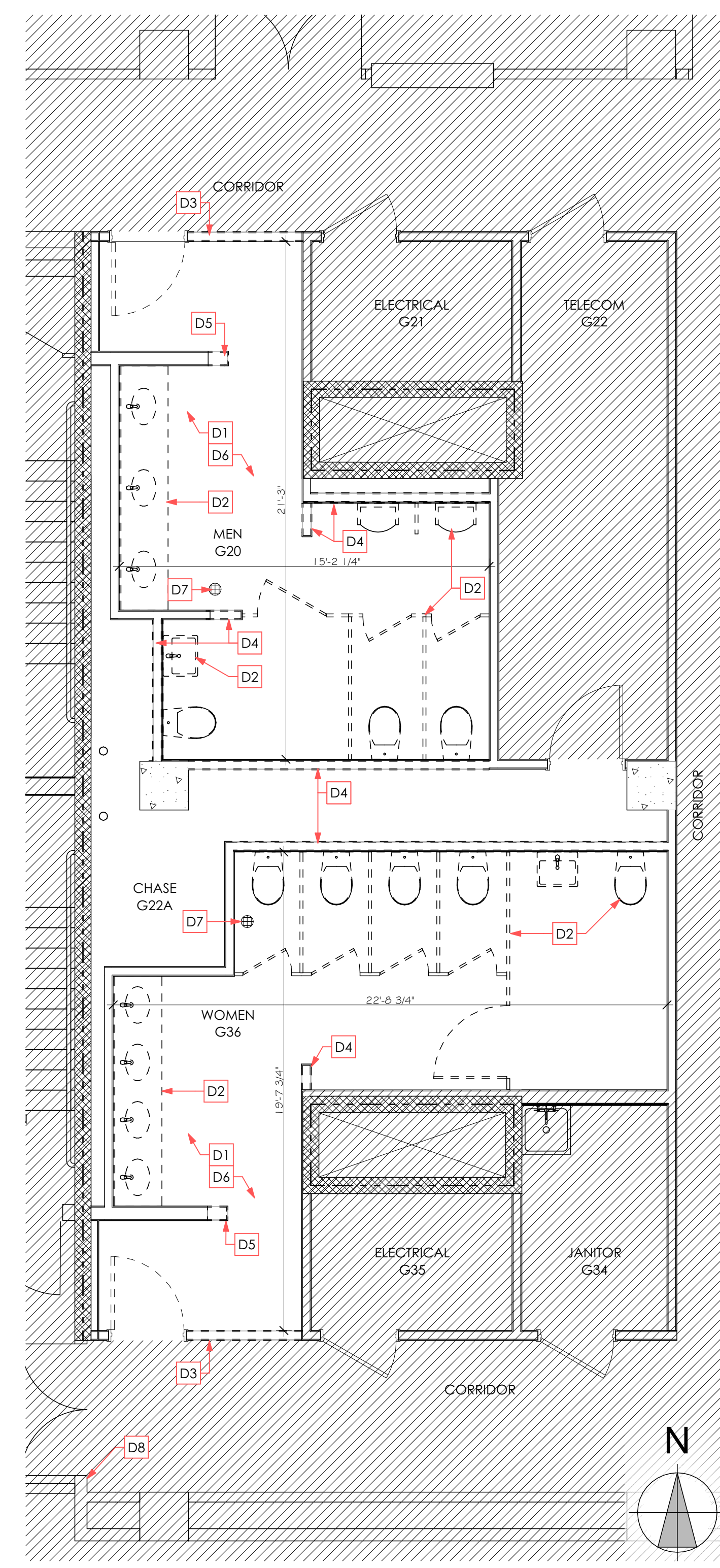
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- EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS
- EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS
- ELEVATION/SECTION NUMBER
A500 SHEET NUMBER
- ROOM 000 ROOM NAME, NUMBER
- REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS

DEMOLITION NOTES

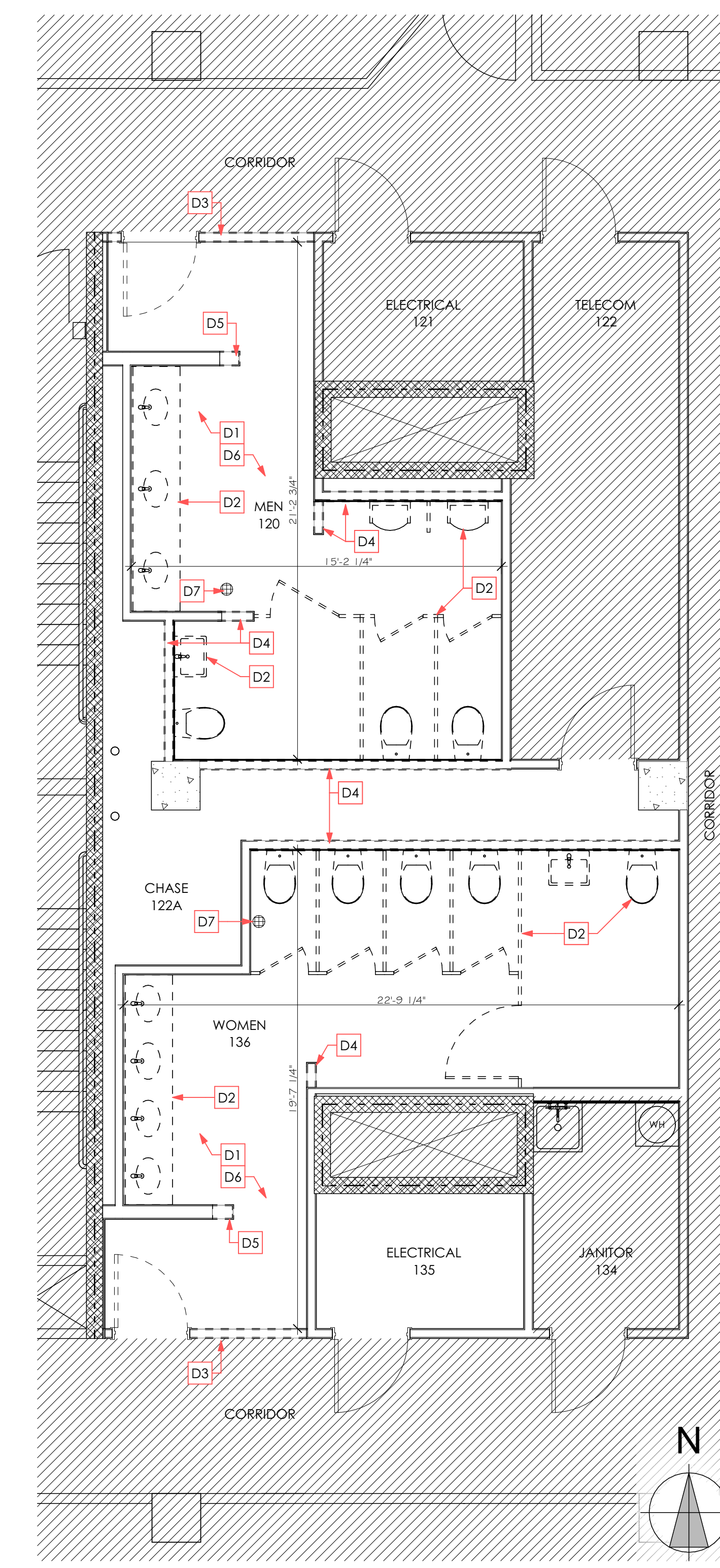
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 - D3** REMOVE LOWER PORTION OF EXISTING PARTITION. CREATE HEADER TO FINISH OUT AT 7'-10" ABOVE FINISHED FLOOR. COORDINATE WITH REFLECTED CEILING PLANS. IF CEILING IN HALL REQUIRES REMOVAL, SALVAGE TILES FOR REINSTALLATION AND REPAIR GRID.
 - D4** REMOVE EXISTING PARTITION PORTION OF EXISTING PARTITION. PROTECT ADJACENT SURFACES TO REMAIN. COORDINATE WITH RENOVATION PLANS.
 - D5** REMOVE PORTION OF EXISTING PARTITION AS NEEDED TO EXTEND WALL AND ADD NEW DOOR. PROTECT ADJACENT SURFACES TO REMAIN. COORDINATE WITH RENOVATION PLANS.
 - D6** REMOVE EXISTING FLOORING AND TILE WALL BASE DOWN TO SOUND SUBSTRATE. PREP SUBSTRATE TO RECEIVE NEW MATERIALS. WHEN REMOVING TILE, USE APPROPRIATE REMOVAL METHOD TO PROTECT INTEGRITY OF EXISTING PRECAST CONCRETE SLAB.
 - D7** EXISTING ROUND FLOOR DRAIN TO BE CHANGED TO A SQUARE DRAIN. SEE P SHEETS.
 - D8** CONFIRM LOCATION OF EXISTING WALLS. IF LOCATION CONFLICTS WITH NEW OPENING CONTACT ARCHITECT TO DETERMINE ADJUSTMENTS REQUIRED.



1 BASEMENT DEMOLITION PLAN
 A100 SCALE: 1/4" = 1'-0" 0 2 4 8

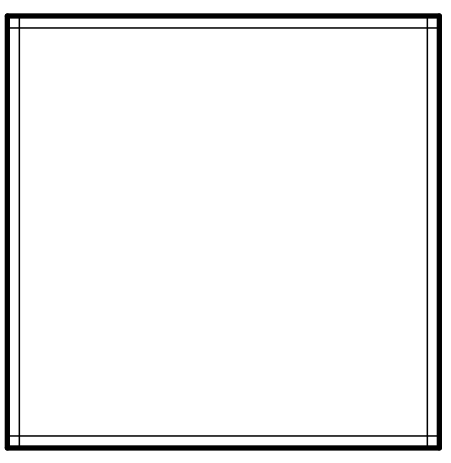


2 GROUND FLOOR DEMOLITION PLAN
 A100 SCALE: 1/4" = 1'-0" 0 2 4 8



3 FIRST FLOOR DEMOLITION PLAN
 A100 SCALE: 1/4" = 1'-0" 0 2 4 8

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DEMOLITION PLANS

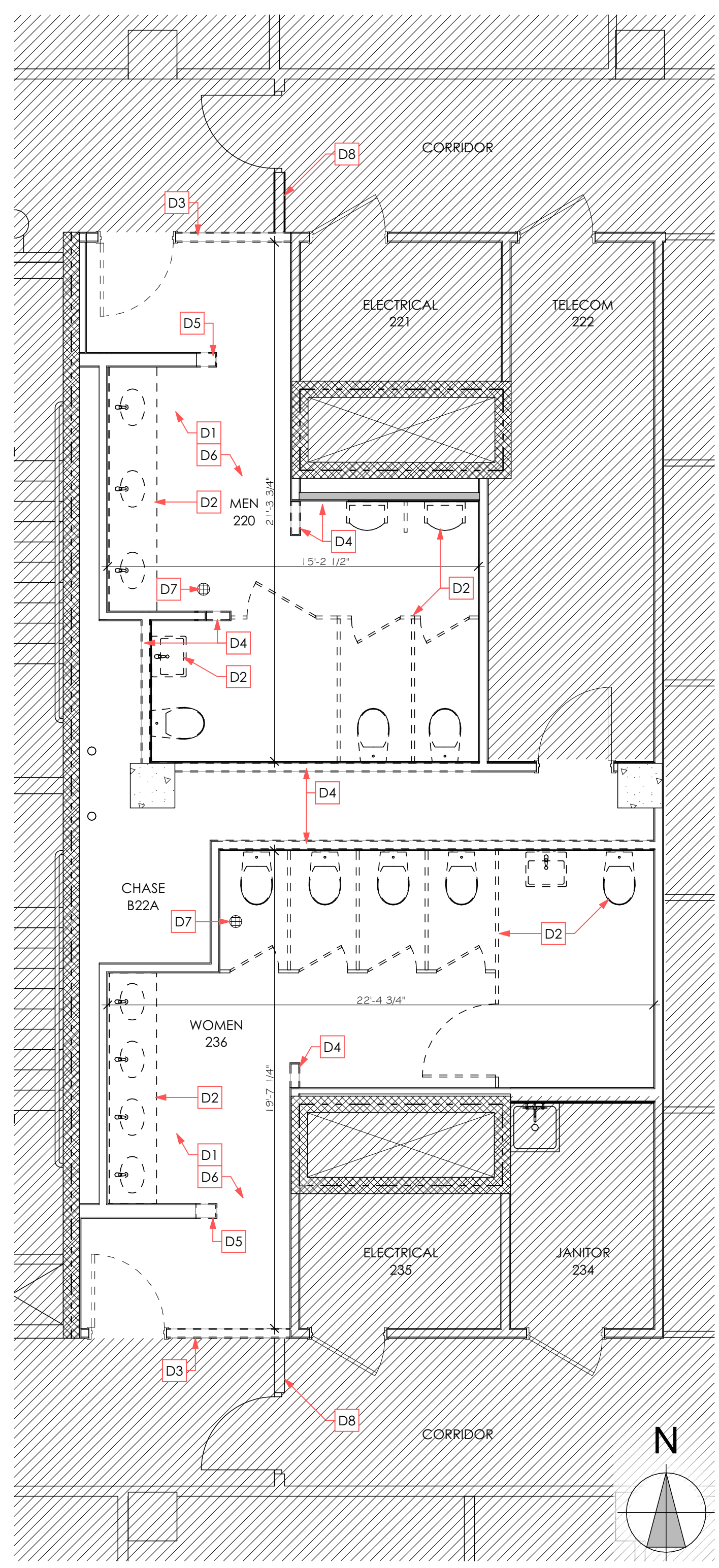
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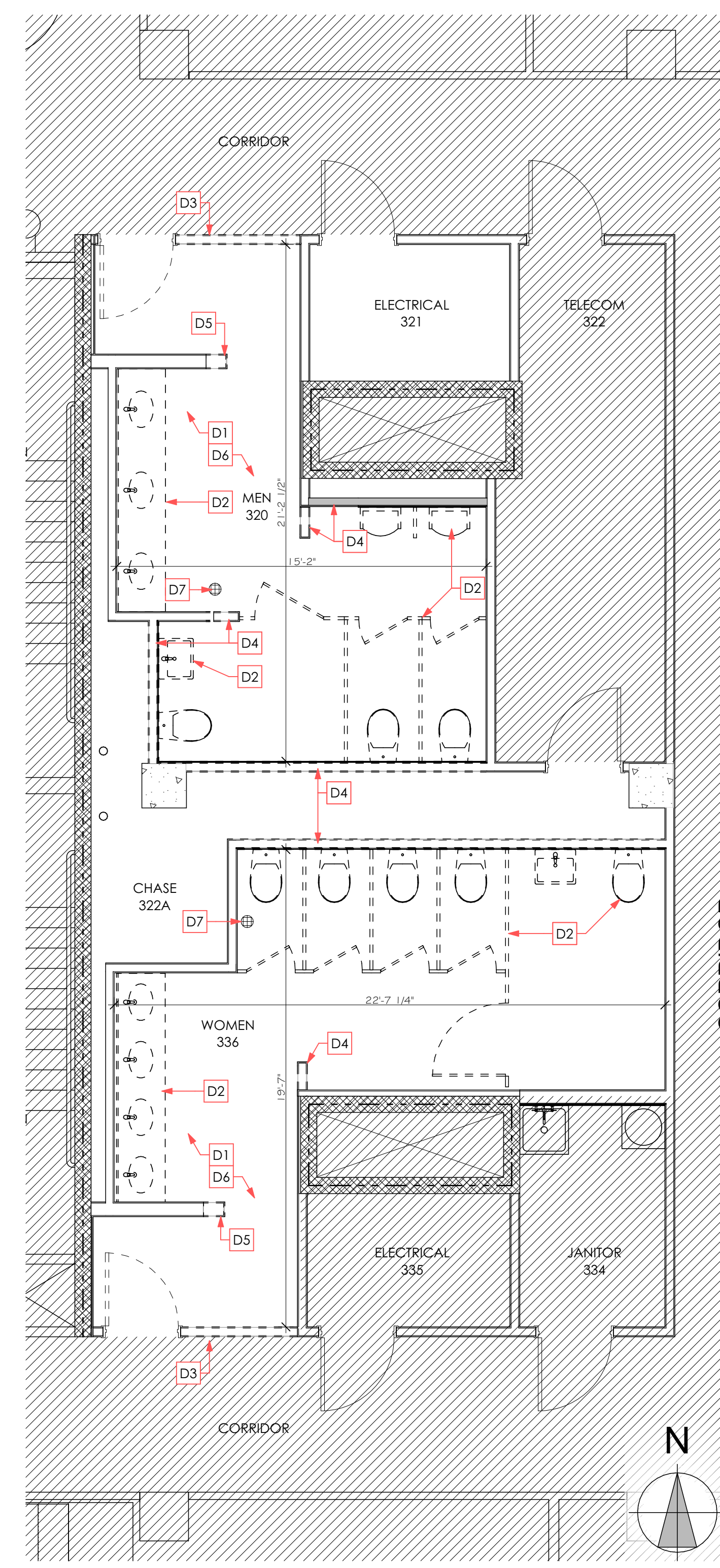
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DEMOLITION NOTES

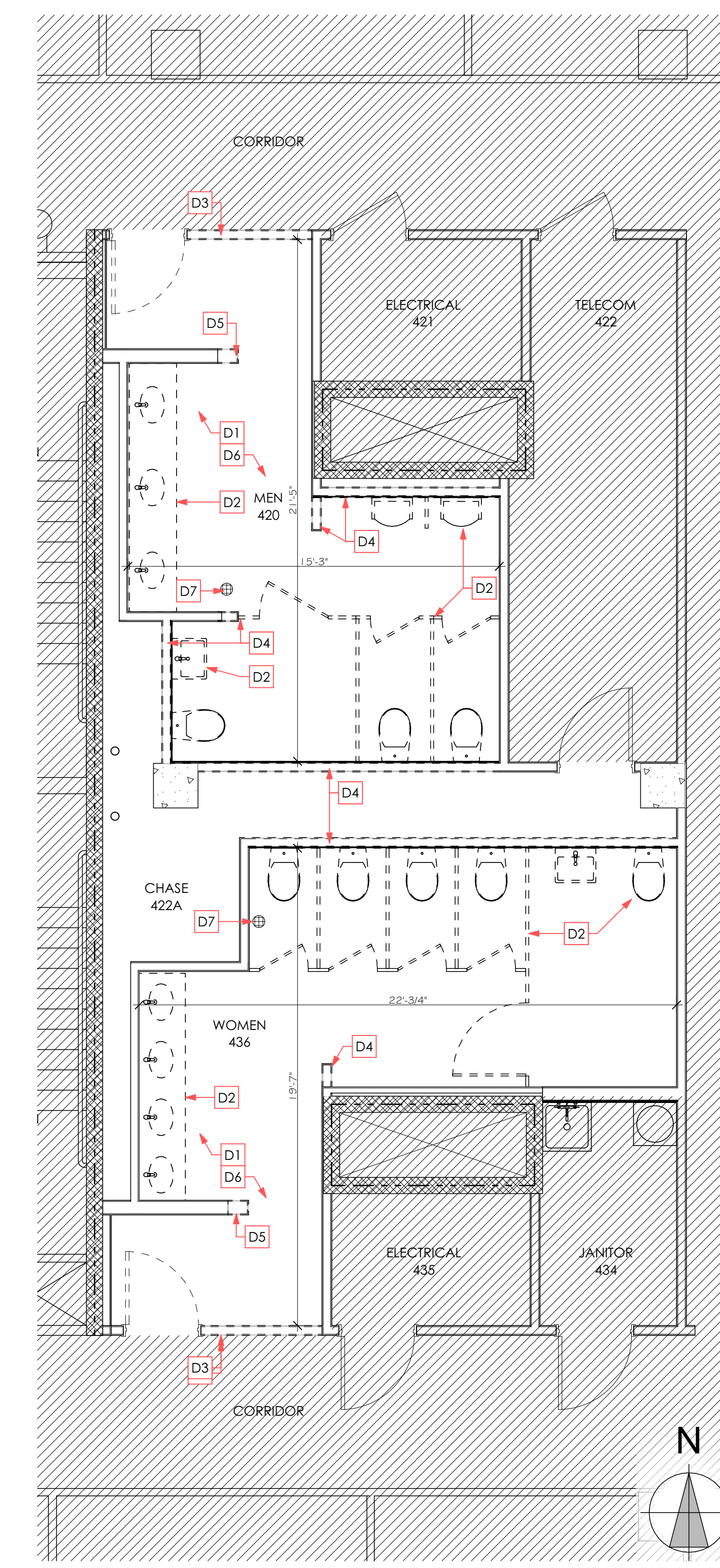
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1 SECOND FLOOR DEMOLITION PLAN
 A101 SCALE: 1/4" = 1'-0" 0 2 4 8



2 THIRD FLOOR DEMOLITION PLAN
 A101 SCALE: 1/4" = 1'-0" 0 2 4 8



3 FOURTH FLOOR DEMOLITION PLAN
 A101 SCALE: 1/4" = 1'-0" 0 2 4 8

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DEMOLITION PLANS

A102

LEGEND

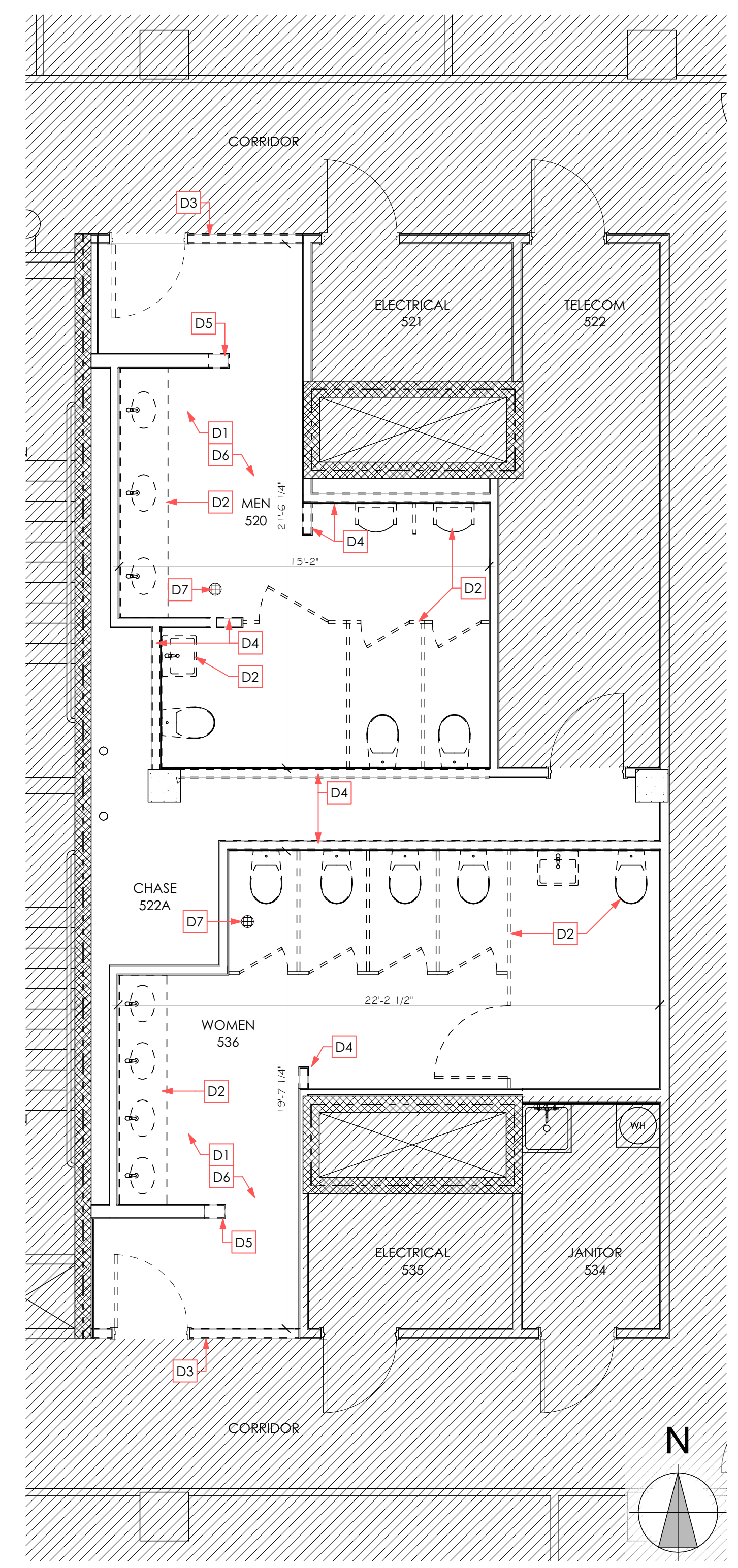
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- NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES
- EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS
- EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS
- ELEVATION/SECTION NUMBER
SHEET NUMBER
- ROOM
ROOM NAME, NUMBER
- REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS

DEMOLITION NOTES

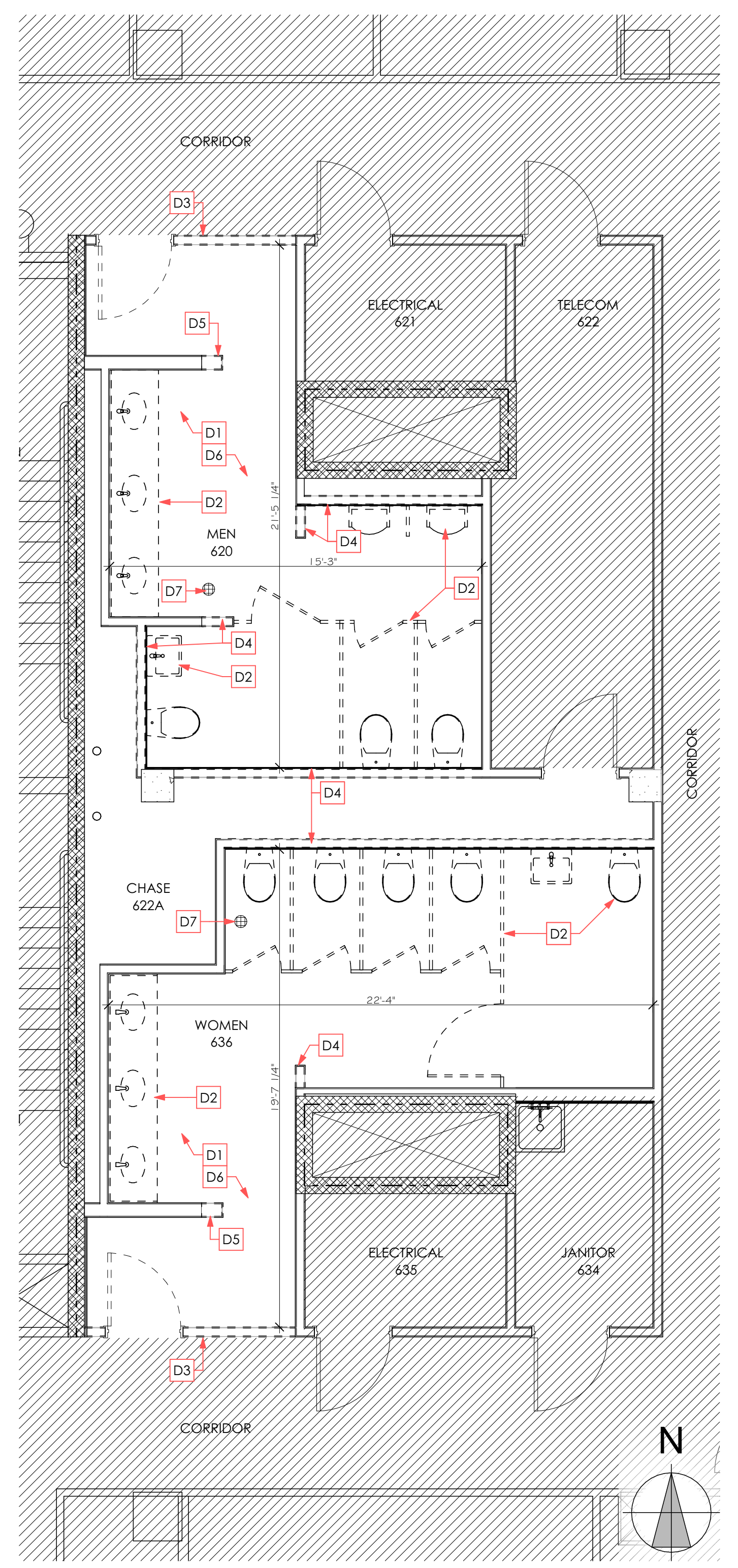
THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL ITEMS TO BE REMOVED AND COORDINATE WITH RENOVATION DRAWINGS. ENSURE ALL EQUIPMENT TO REMAIN IS STRAPPED AND SECURED TO THE STRUCTURE.

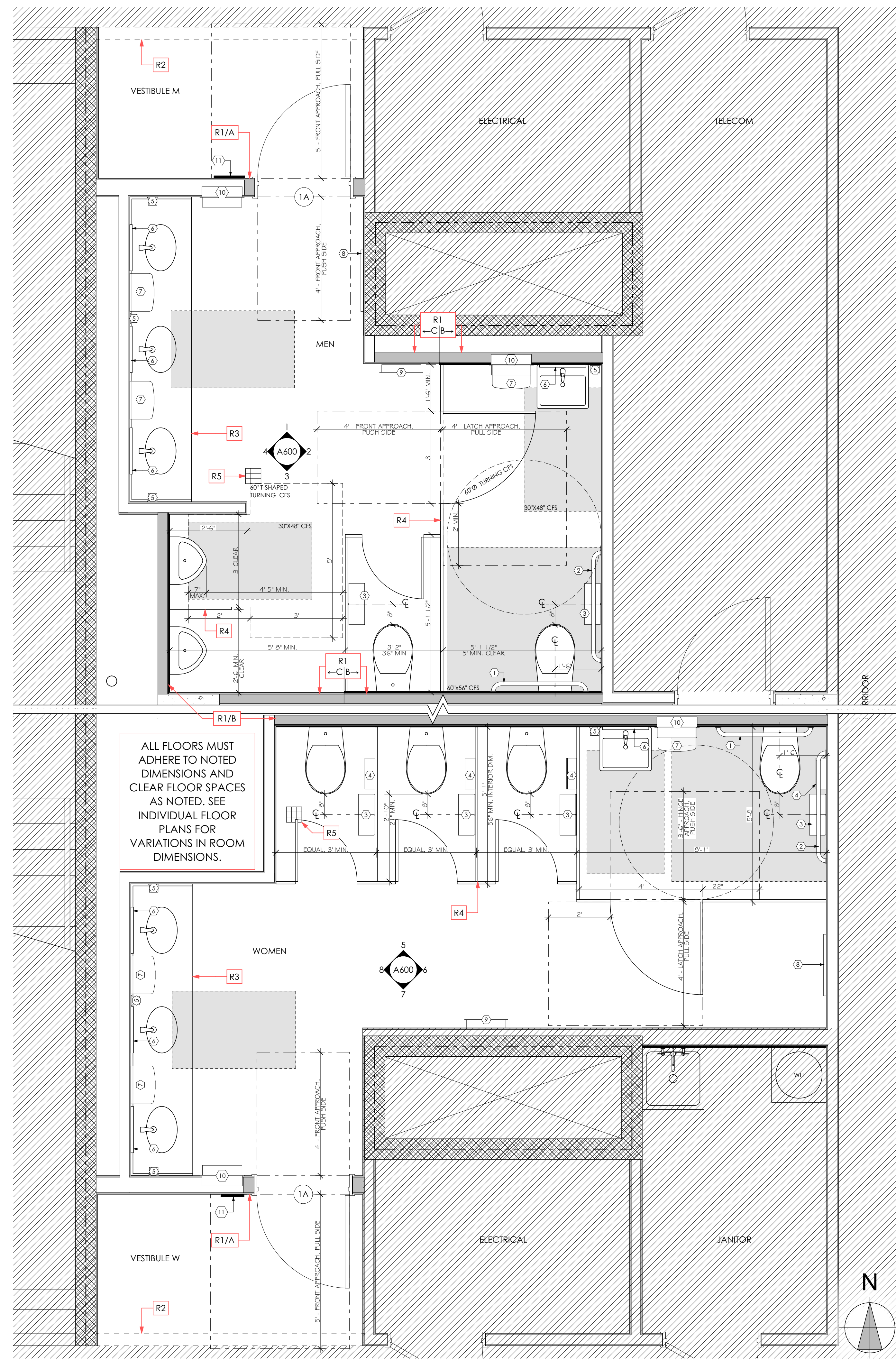
- D1** REMOVE EXISTING CEILING, SOFFIT, LIGHTS AND DIFFUSERS THROUGHOUT AREA OF WORK. COORDINATE WITH ENGINEER'S DRAWINGS.
- D2** REMOVE EXISTING PLUMBING FIXTURES, MILLWORK, TOILET ACCESSORIES, AND TOILET PARTITIONS AS INDICATED ON PLAN. COORDINATE WITH ENGINEER'S DRAWINGS.
- REMOVE LOWER PORTION OF EXISTING PARTITION. CREATE HEADER TO FINISH OUT AT 7'-10" ABOVE FINISHED FLOOR. COORDINATE WITH REFLECTED CEILING PLANS. IF CEILING IN HALL REQUIRES REMOVAL, SALVAGE TILES FOR REINSTALLATION AND REPAIR GRID.
- D4** REMOVE EXISTING PARTITION PORTION OF EXISTING PARTITION. PROTECT ADJACENT SURFACES TO REMAIN. COORDINATE WITH RENOVATION PLANS.
- REMOVE PORTION OF EXISTING PARTITION AS NEEDED TO EXTEND WALL AND ADD NEW DOOR. PROTECT ADJACENT SURFACES TO REMAIN. COORDINATE WITH RENOVATION PLANS.
- D6** REMOVE EXISTING FLOORING AND TILE WALL BASE DOWN TO SOUND SUBSTRATE. PREP SUBSTRATE TO RECEIVE NEW MATERIALS. WHEN REMOVING TILE, USE APPROPRIATE REMOVAL METHOD TO PROTECT INTEGRITY OF EXISTING PRECAST CONCRETE SLAB.
- D7** EXISTING ROUND FLOOR DRAIN TO BE CHANGED TO A SQUARE DRAIN. SEE P SHEETS.
- D8** CONFIRM LOCATION OF EXISTING WALLS. IF LOCATION CONFLICTS WITH NEW OPENING CONTACT ARCHITECT TO DETERMINE ADJUSTMENTS REQUIRED.



1 FIFTH FLOOR DEMOLITION PLAN
 A102 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



2 SIXTH FLOOR DEMOLITION PLAN
 A102 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



1 ENLARGED RENOVATION PLAN - TYPICAL W/ DETAILS
A103 SCALE: 1/2" = 1'-0"

LEGEND

- NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- WORK LEGEND NOTE
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- EX. EXISTING
- WD. WOOD
- HM. HOLLOW METAL
- ST. STAIN
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES
- EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS
- EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS
- ELEVATION/SECTION NUMBER
- SHEET NUMBER
- ROOM 000 ROOM NAME, NUMBER
- REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS

RENOVATION NOTES

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FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED PARTITIONS, FLOORS AND CEILINGS.

ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C. EXTEND ALL NEW WALLS TO METAL DECK ABOVE UNLESS OTHERWISE NOTED. INSTALL SOUND BATT INSULATION BETWEEN STUDS IN HALLWAY WALL FOR SOUND ISOLATION.

INSTALL NEW FINISHES, FIXTURES AND ACCESSORIES AS LISTED/SHOWN ON SCHEDULES/ ELEVATIONS.

INSTALL NEW FLOORING AND CEILINGS THROUGHOUT RENOVATED AREAS OF WORK. PREP FLOOR FOR INSTALLATION OF NEW MATERIALS. FLOORS TO BE LEVEL/EVEN, FLOAT ALL FLOORS FOR VCT. CONSULT ARCHITECT IF FLOOR LEVELER IS NEEDED. COORDINATE WITH FINISH SCHEDULE.

- R1** INSTALL NEW PARTITION WALL. COORDINATE URINAL PARTITION WITH EXISTING PIPING IN CHASE TO REMAIN. NOTIFY ARCHITECT OF ANY DISCREPANCIES THAT WILL AFFECT ADA CLEARANCES. PARTITION TYPES:
 - A - ±6" METAL STUDS, MATCH EXISTING, TO DECK
 - 5/8" GYPSUM BOARD, TO DECK
 - B - 3 5/8" METAL STUDS, TO DECK
 - 1/2" CEMENTITIOUS BACKER BOARD 6" ABOVE CEILING, GYP ABOVE TO DECK, ONE SIDE
 - TILE, 6" ABOVE CEILING, ONE SIDE, SEE FINISH SELECTIONS ON A000
 - C - 3 5/8" METAL STUDS, TO DECK
 - 5/8" GYPSUM BOARD, TO DECK, ONE SIDE
- R2** FINISH EXISTING EXPOSED PARTITION/HEADER EDGES WHERE PORTIONS OF PARTITIONS WERE REMOVED. HEADERS TO FINISH OUT AT 7'-10" ABOVE FINISHED FLOOR. MATCH EXISTING MATERIALS AND FINISH.
- R3** INSTALL IN WALL BLOCKING AND NEW MILLWORK. INCLUDE FRONT WATERFALL APRON AND UNDER COUNTER PANELS. CONFIRM BRACKET SPACING WITH QUARTZ MANUFACTURER. SEE ELEVATIONS AND DETAILS.
- R4** INSTALL NEW TOILET PARTITIONS; SEE FINISH SCHEDULE NOTES, ELEVATIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- R5** NEW SQUARE FLOOR DRAIN. SEE P SHEETS.
- R6** CONFIRM LOCATION OF EXISTING WALLS. IF LOCATION CONFLICTS WITH NEW OPENING CONTACT ARCHITECT TO DETERMINE ADJUSTMENTS REQUIRED.

ACCESSORY LEGEND

- (1)** 36" GRAB BAR, MODEL NO. 3800P
- (2)** 42" GRAB BAR, MODEL NO. 3800P
- (3)** TOILET TISSUE DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (4)** SANITARY NAPKIN DISPOSAL, MODEL NO. 0852 (WOMEN'S ROOM ONLY)
- (5)** SOAP DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (6)** MIRROR, 18X36, MODEL NO. 0600-1836
- (7)** PAPER TOWEL DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (8)** MIRROR, 24X60, MODEL NO. 0600-2460
- (9)** SEAT COVER DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (10)** WASTE RECEPTACLE, MODEL NO. 0458 (4" PROJECTION, 4" RECESS, 1.2 GALLONS)
- (11)** ROOM SIGNAGE (MATCH FLETCHER SIGNAGE - PLASTIC SIGNAGE WITH RAISED BRAILLE AND BORDER - SUBMIT FOR APPROVAL) INSTALLED ADJACENT TO RESTROOM DOORS. INSTALL BASELINE OF THE LOWEST CHARACTER 48" MIN. A.F.F. AND BASELINE OF THE HIGHEST CHARACTER 60" MAX. A.F.F.

BASIS OF DESIGN: AMERICAN SPECIALTIES, UNLESS OTHERWISE SPECIFIED. ALL FINISHES TO BE STANDARD SATIN FINISH. ALL EXPOSED PIPES IN ADA RESTROOM SHALL BE WRAPPED.

NOTE: CONTRACTOR TO INSURE OWNER SUPPLIED ITEMS ARE INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS.

CONSULTANTS

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MCGINNIS & FLEMING ENGINEERING
820 EAST PARK AVENUE, SUITE 1200
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LARSON BUILDING, DESIGN RESTROOM
REPAIR AND RENOVATIONS
FLORIDA DEPARTMENT OF MANAGEMENT SERVICES
TALLAHASSEE, FLORIDA

CONSTRUCTION DOCUMENTS

PROJ. NO. 176925
DATE 02/26/2026
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CHECKED JH
APPROVED JS
REVISION
REVISION DATE

ENLARGED
RENOVATION PLAN
- TYPICAL

A103

MECHANICAL / PLUMBING / ELECTRICAL
 MCGINNIS & FLEMING ENGINEERING
 820 EAST PARK AVENUE, SUITE 1-200
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 211 JOHN KNOX RD, SUITE 105
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 FLORIDA DEPARTMENT OF MANAGEMENT SERVICES
 TALLAHASSEE, FLORIDA

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REVISION DATE	

RENOVATION PLANS
A104

LEGEND

- | | | | |
|--------|---|--|---|
| | NEW DOOR, SEE DOOR SCHEDULE, SHEET A000 | | EXISTING WALL TO REMAIN |
| | EXISTING DOOR TO REMAIN | | EXISTING WALL TO BE REMOVED |
| | EXISTING DOOR TO BE REMOVED | | NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES |
| | WORK LEGEND NOTE | | EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS |
| N.I.C. | NOT IN CONTRACT | | EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS |
| A.F.F. | ABOVE FINISH FLOOR | | ELEVATION/SECTION NUMBER |
| SIM. | SIMILAR | | SHEET NUMBER |
| TYP. | TYPICAL | | ROOM NAME, NUMBER |
| MIR. | MIRROR | | REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS |
| EX | EXISTING | | |
| WD | WOOD | | |
| HM | HOLLOW METAL | | |
| ST | STAIN | | |

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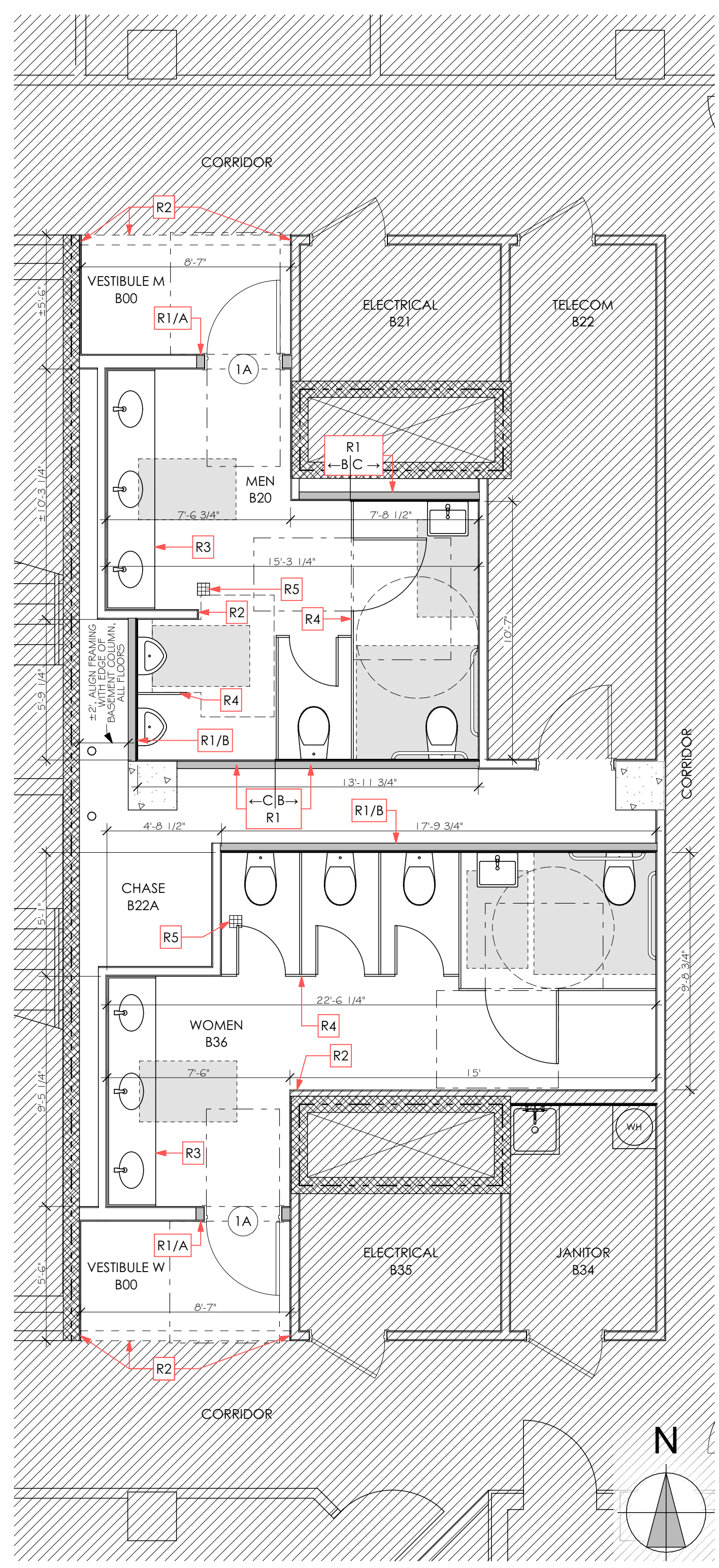
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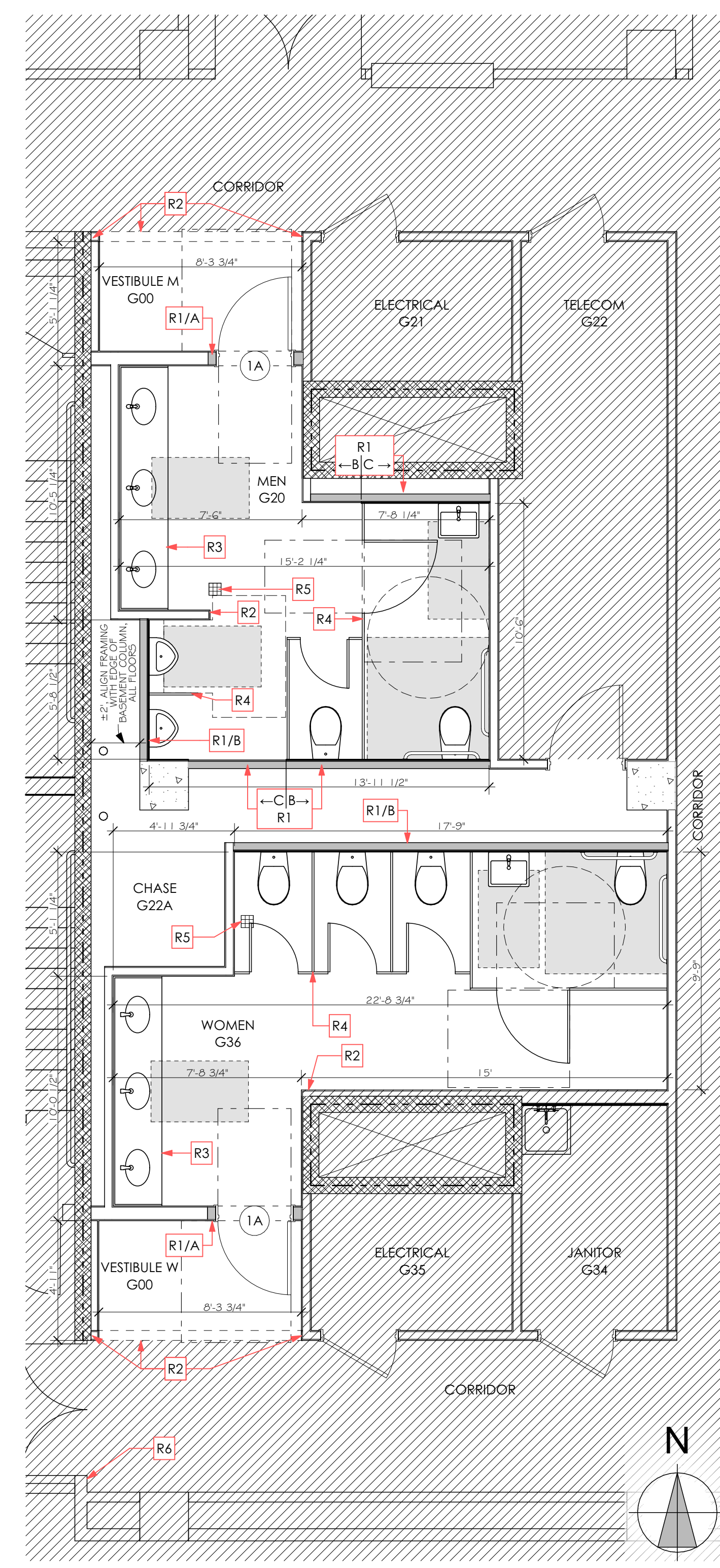
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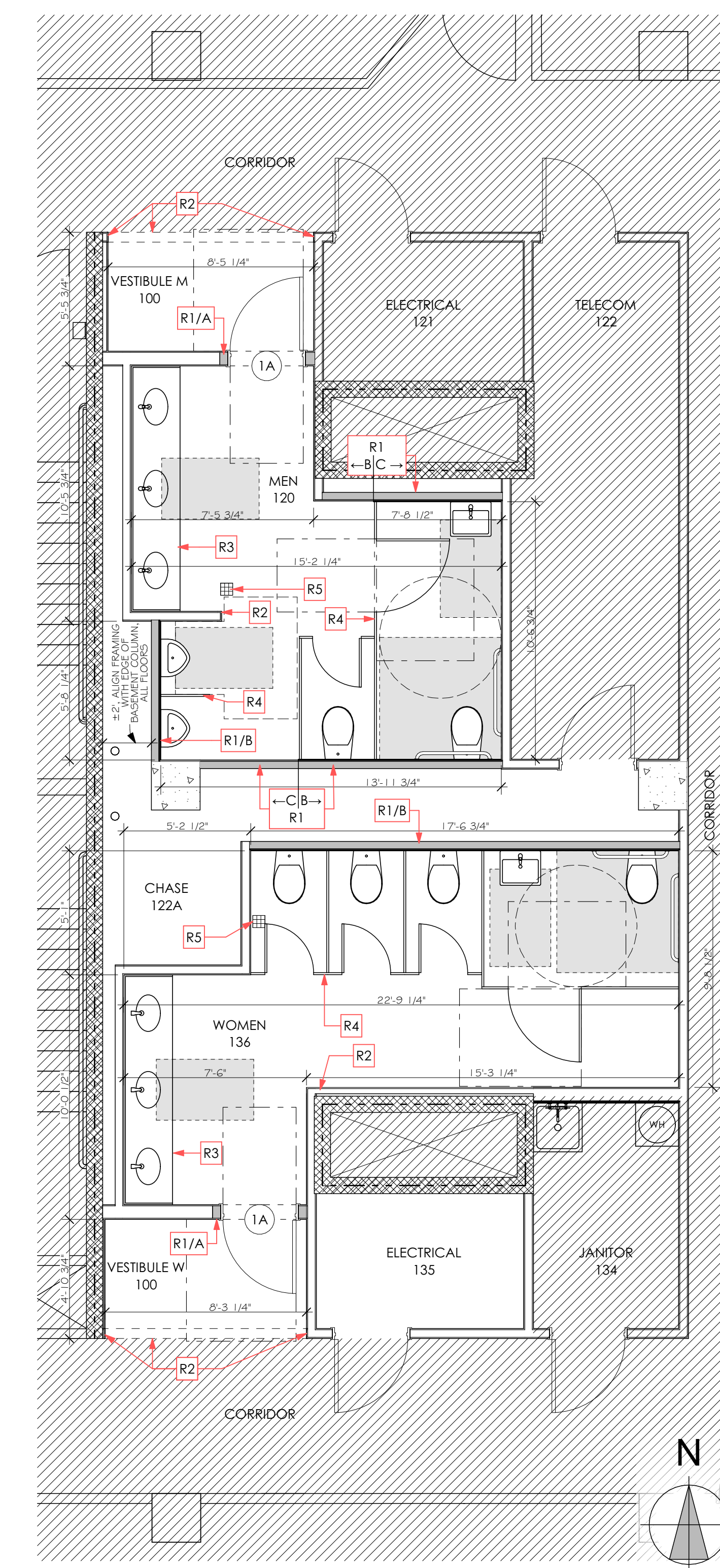
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- R2** FINISH EXISTING EXPOSED PARTITION/HEADER EDGES WHERE PORTIONS OF PARTITIONS WERE REMOVED. HEADERS TO FINISH OUT AT 7'-10" ABOVE FINISHED FLOOR. MATCH EXISTING MATERIALS AND FINISH.
- R3** INSTALL IN WALL BLOCKING AND NEW MILLWORK. INCLUDE FRONT WATERFALL APRON AND UNDER COUNTER PANELS. CONFIRM BRACKET SPACING WITH QUARTZ MANUFACTURER. SEE ELEVATIONS AND DETAILS.
- R4** INSTALL NEW TOILET PARTITIONS; SEE FINISH SCHEDULE NOTES, ELEVATIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- R5** NEW SQUARE FLOOR DRAIN. SEE P SHEETS.
- R6** CONFIRM LOCATION OF EXISTING WALLS. IF LOCATION CONFLICTS WITH NEW OPENING CONTACT ARCHITECT TO DETERMINE ADJUSTMENTS REQUIRED.



1 BASEMENT FLOOR RENOVATION PLAN
 A104 SCALE: 1/4" = 1'-0" 0 2' 4' 8'

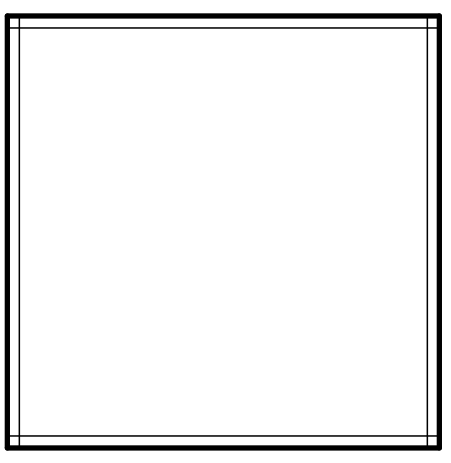


2 GROUND FLOOR RENOVATION PLAN
 A104 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



3 FIRST FLOOR RENOVATION PLAN
 A104 SCALE: 1/4" = 1'-0" 0 2' 4' 8'

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**LARSON BUILDING, DESIGN RESTROOM
 REPAIR AND RENOVATIONS**

FLORIDA DEPARTMENT OF MANAGEMENT SERVICES
 TALLAHASSEE, FLORIDA

CONSTRUCTION DOCUMENTS

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REVISION	
REVISION DATE	

RENOVATION PLANS
A105

LEGEND

- NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- WORK LEGEND NOTE
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- EX. EXISTING
- WD. WOOD
- HM. HOLLOW METAL
- ST. STAIN
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES
- EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS
- EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P 5 SHEETS
- ELEVATION/SECTION NUMBER
- SHEET NUMBER
- ROOM 000 ROOM NAME, NUMBER
- REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS

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INSTALL NEW FINISHES, FIXTURES AND ACCESSORIES AS LISTED/SHOWN ON SCHEDULES/ ELEVATIONS.

INSTALL NEW FLOORING AND CEILINGS THROUGHOUT RENOVATED AREAS OF WORK. PREP FLOOR FOR INSTALLATION OF NEW MATERIALS. FLOORS TO BE LEVEL/EVEN, FLOAT ALL FLOORS FOR VCT. CONSULT ARCHITECT IF FLOOR LEVELER IS NEEDED. COORDINATE WITH FINISH SCHEDULE.

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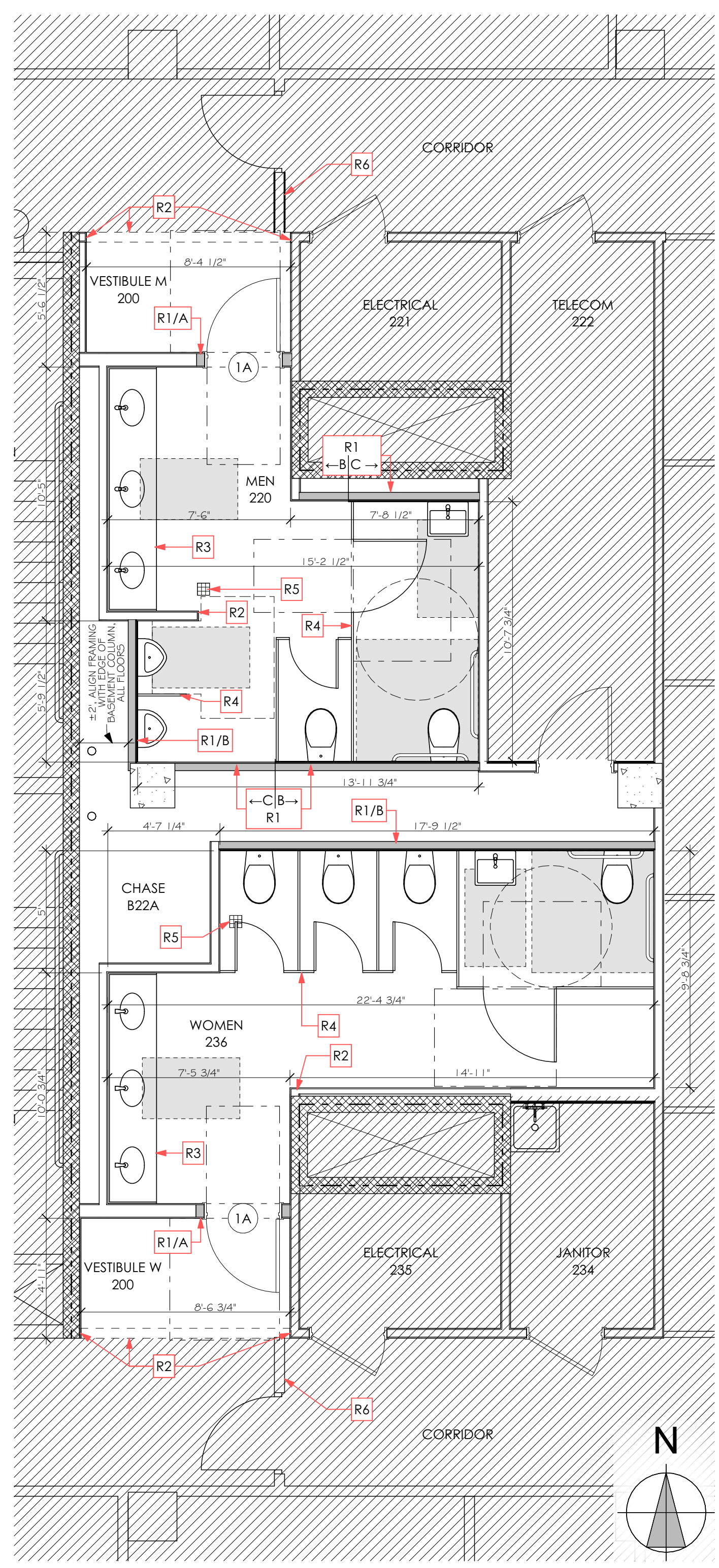
R2 FINISH EXISTING EXPOSED PARTITION/HEADER EDGES WHERE PORTIONS OF PARTITIONS WERE REMOVED. HEADERS TO FINISH OUT AT 7'-10" ABOVE FINISHED FLOOR. MATCH EXISTING MATERIALS AND FINISH.

R3 INSTALL IN WALL BLOCKING AND NEW MILLWORK. INCLUDE FRONT WATERFALL APRON AND UNDER COUNTER PANELS. CONFIRM BRACKET SPACING WITH QUARTZ MANUFACTURER. SEE ELEVATIONS AND DETAILS.

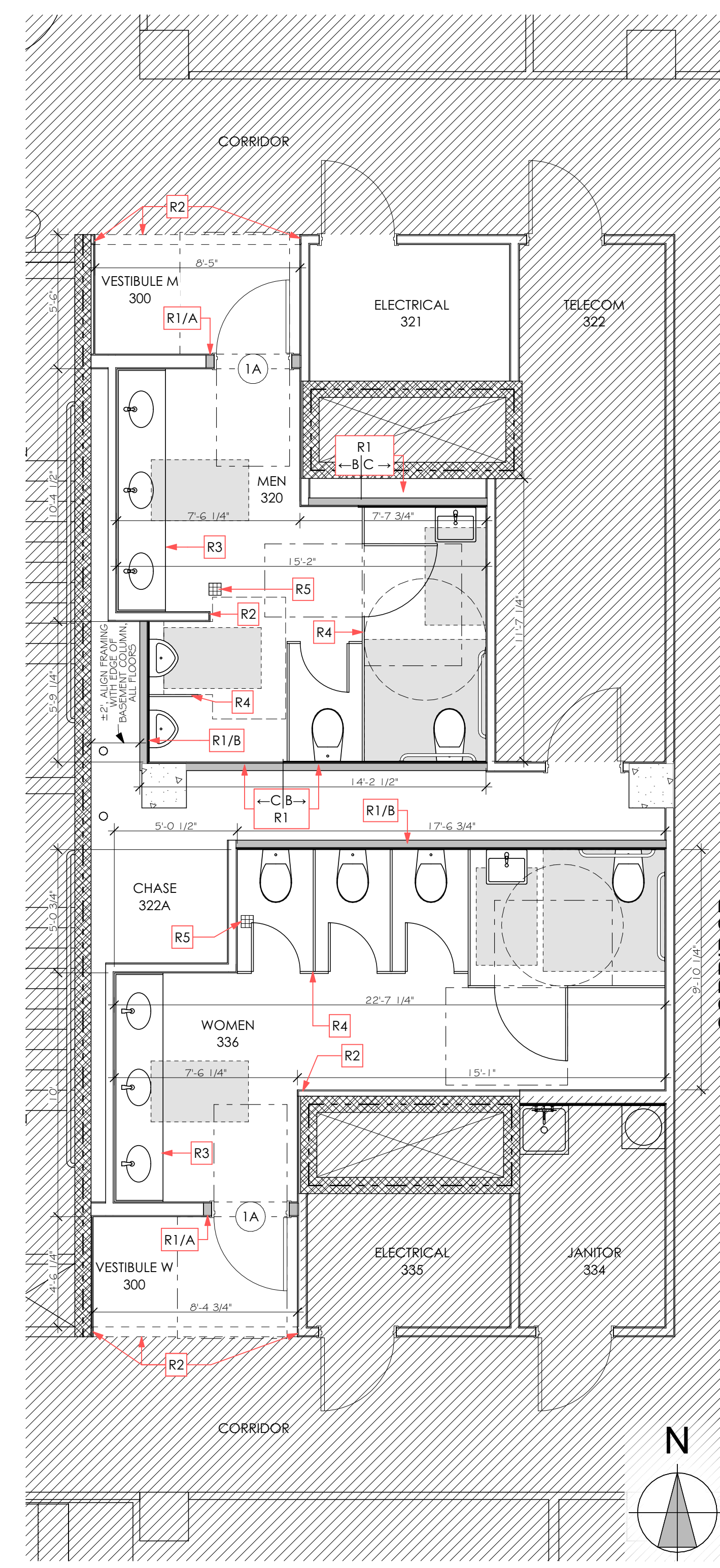
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R5 NEW SQUARE FLOOR DRAIN. SEE P 5 SHEETS.

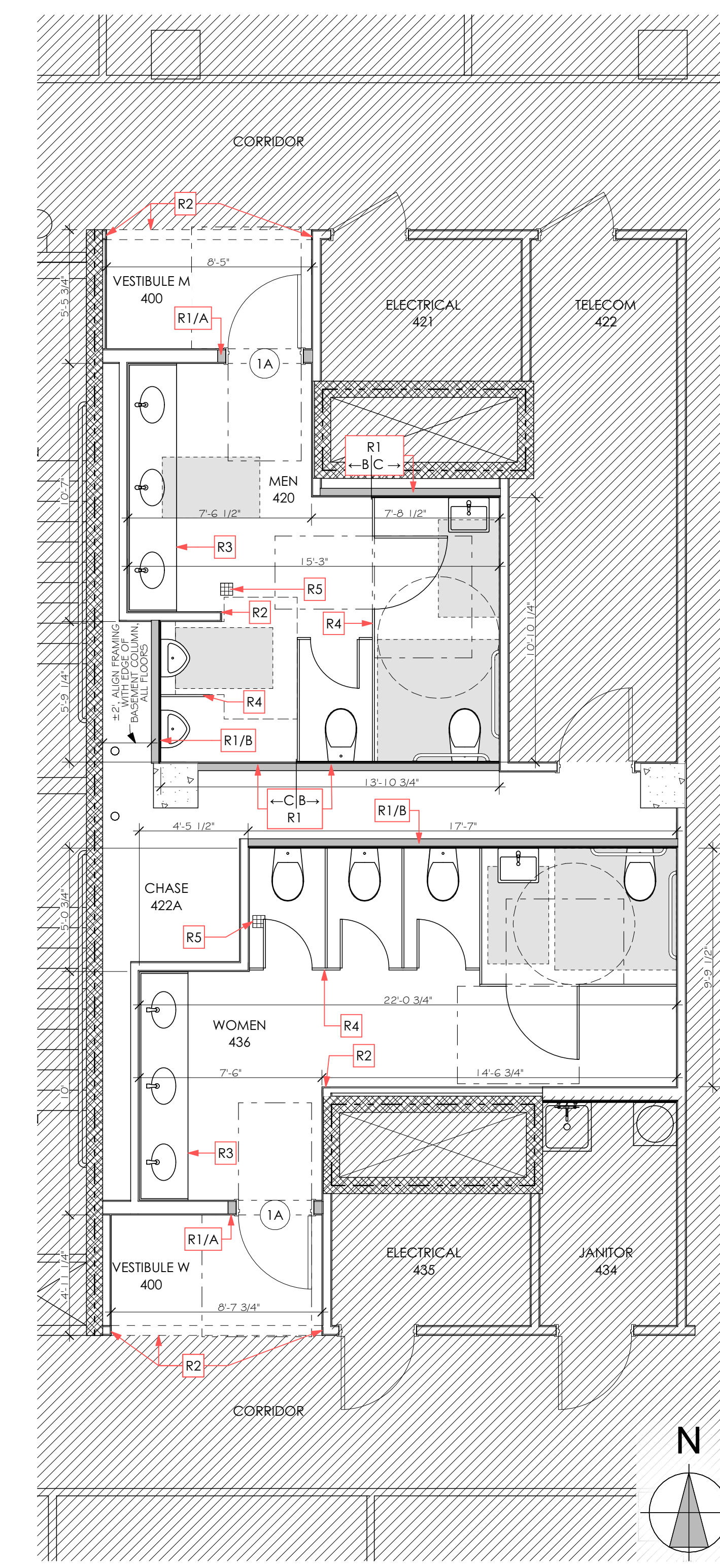
R6 CONFIRM LOCATION OF EXISTING WALLS. IF LOCATION CONFLICTS WITH NEW OPENING CONTACT ARCHITECT TO DETERMINE ADJUSTMENTS REQUIRED.



1 SECOND FLOOR RENOVATION PLAN
 A105 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



2 THIRD FLOOR RENOVATION PLAN
 A105 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



3 FOURTH FLOOR RENOVATION PLAN
 A105 SCALE: 1/4" = 1'-0" 0 2' 4' 8'

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LARSON BUILDING, DESIGN RESTROOM
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REVISION DATE	

RENOVATION PLANS

A106

LEGEND

- | | | | |
|--------|---|--|---|
| | NEW DOOR, SEE DOOR SCHEDULE, SHEET A000 | | EXISTING WALL TO REMAIN |
| | EXISTING DOOR TO REMAIN | | EXISTING WALL TO BE REMOVED |
| | EXISTING DOOR TO BE REMOVED | | NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES |
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| A.F.F. | ABOVE FINISH FLOOR | | ELEVATION/SECTION NUMBER |
| SIM. | SIMILAR | | ROOM NAME, NUMBER |
| TYP. | TYPICAL | | REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS |
| MIR. | MIRROR | | |
| EX | EXISTING | | |
| WD | WOOD | | |
| HM | HOLLOW METAL | | |
| ST | STAIN | | |

RENOVATION NOTES

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INSTALL NEW FINISHES, FIXTURES AND ACCESSORIES AS LISTED/SHOWN ON SCHEDULES/ ELEVATIONS.

INSTALL NEW FLOORING AND CEILINGS THROUGHOUT RENOVATED AREAS OF WORK. PREP FLOOR FOR INSTALLATION OF NEW MATERIALS. FLOORS TO BE LEVEL/EVEN, FLOAT ALL FLOORS FOR VCT. CONSULT ARCHITECT IF FLOOR LEVELER IS NEEDED. COORDINATE WITH FINISH SCHEDULE.

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 - 5/8" GYPSUM BOARD, TO DECK, ONE SIDE

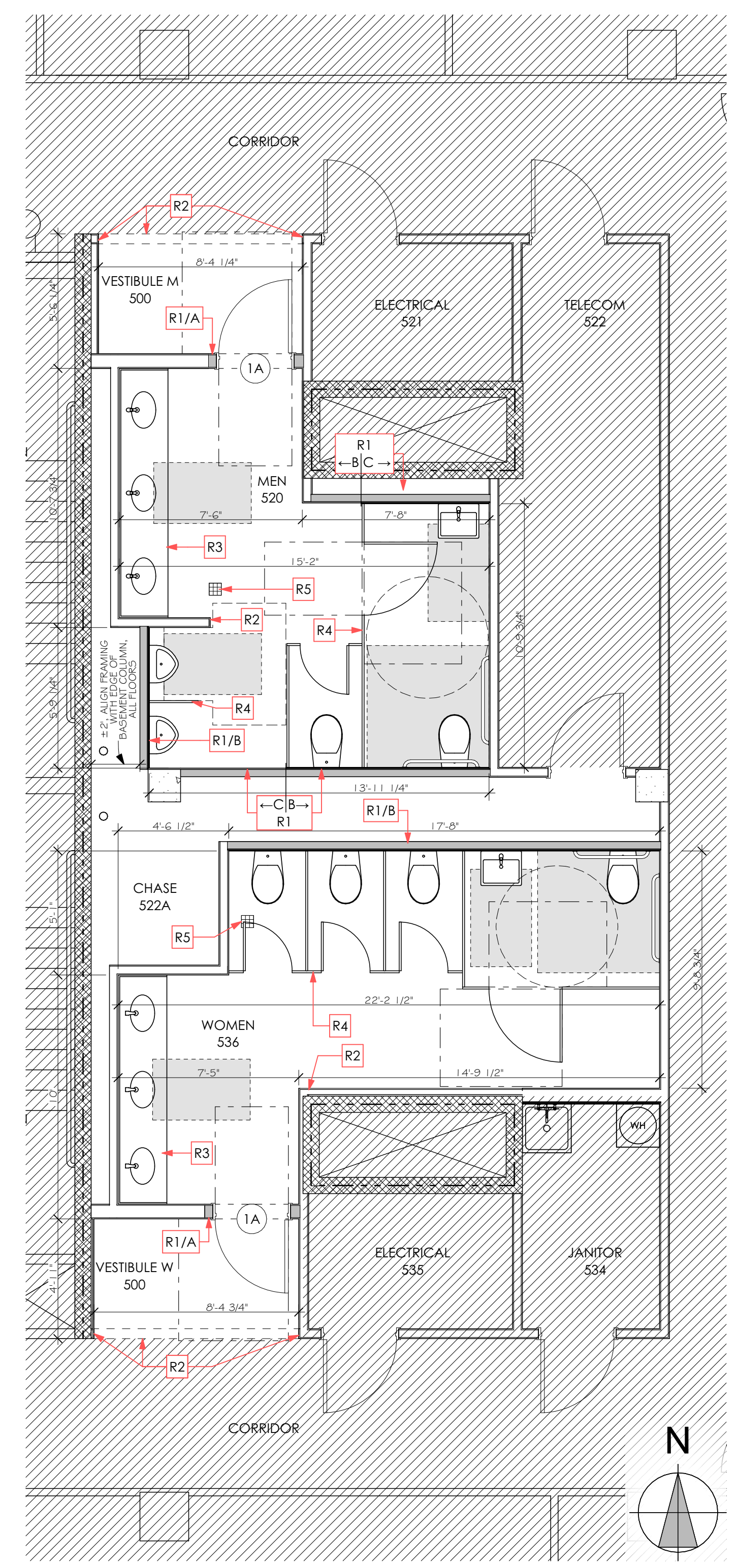
R2 FINISH EXISTING EXPOSED PARTITION/HEADER EDGES WHERE PORTIONS OF PARTITIONS WERE REMOVED. HEADERS TO FINISH OUT AT 7'-10" ABOVE FINISHED FLOOR. MATCH EXISTING MATERIALS AND FINISH.

R3 INSTALL IN WALL BLOCKING AND NEW MILLWORK. INCLUDE FRONT WATERFALL APRON AND UNDER COUNTER PANELS. CONFIRM BRACKET SPACING WITH QUARTZ MANUFACTURER. SEE ELEVATIONS AND DETAILS.

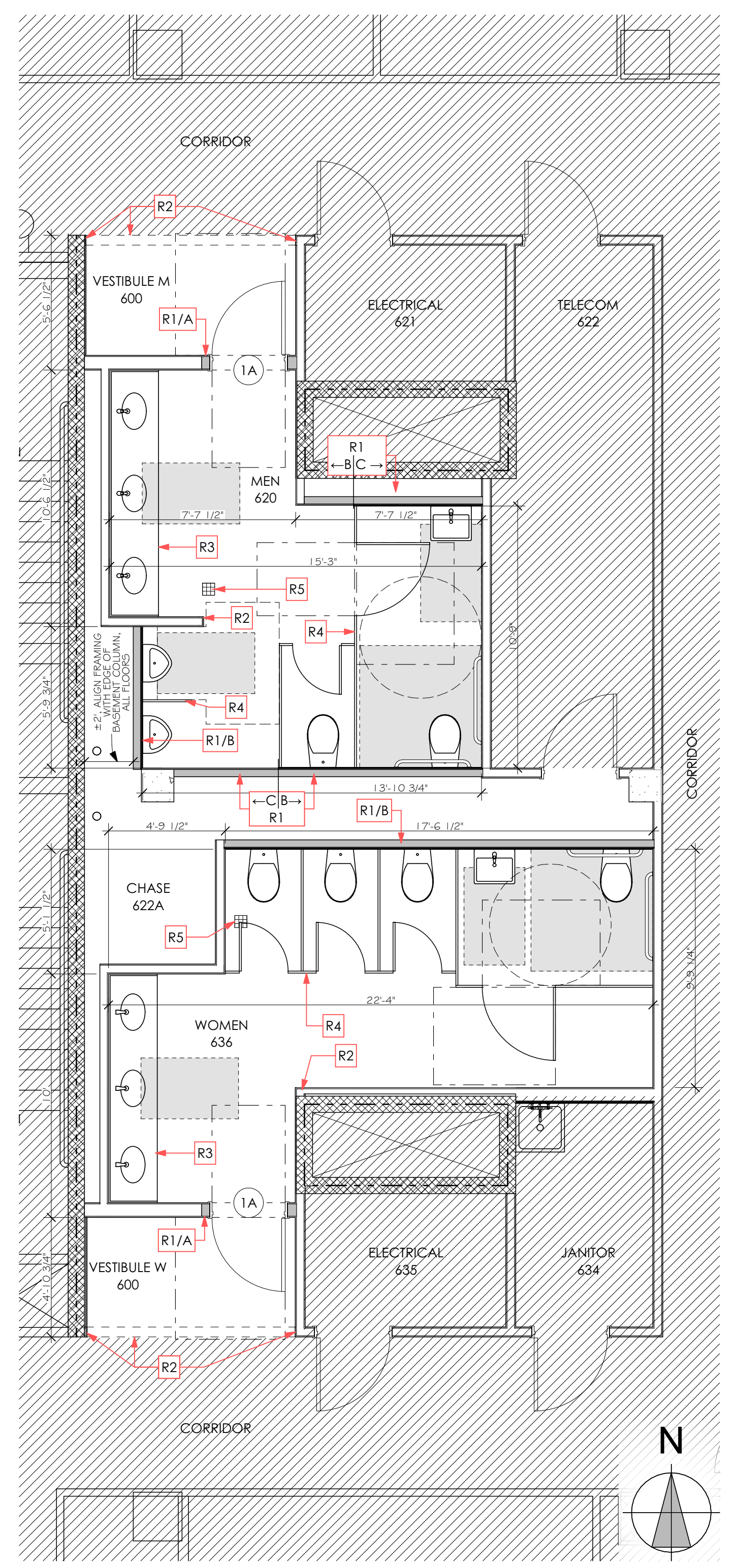
R4 INSTALL NEW TOILET PARTITIONS; SEE FINISH SCHEDULE NOTES, ELEVATIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

R5 NEW SQUARE FLOOR DRAIN. SEE P SHEETS.

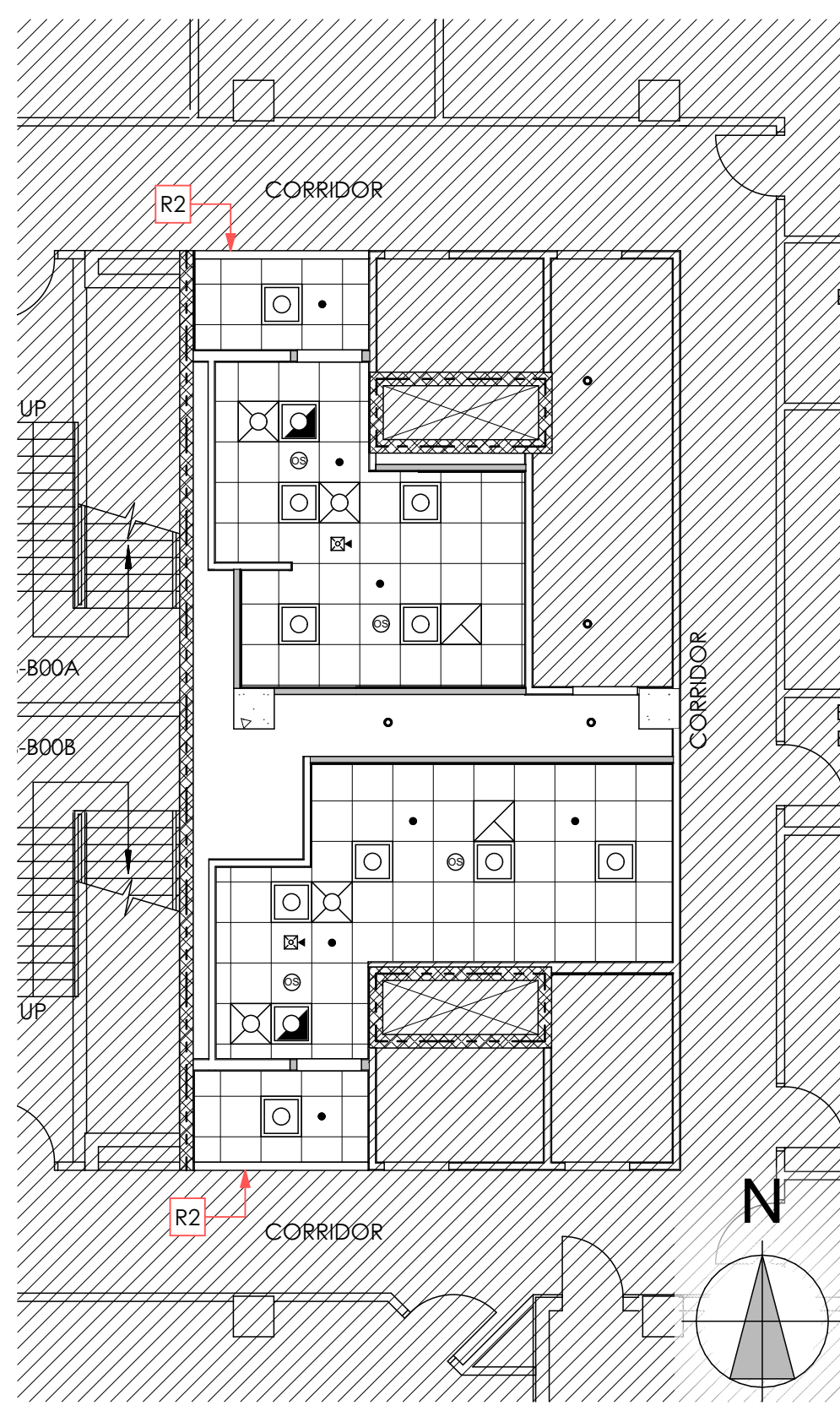
R6 CONFIRM LOCATION OF EXISTING WALLS. IF LOCATION CONFLICTS WITH NEW OPENING CONTACT ARCHITECT TO DETERMINE ADJUSTMENTS REQUIRED.



1 FIFTH FLOOR RENOVATION PLAN
 A106 SCALE: 1/4" = 1'-0" 0 2 4 8

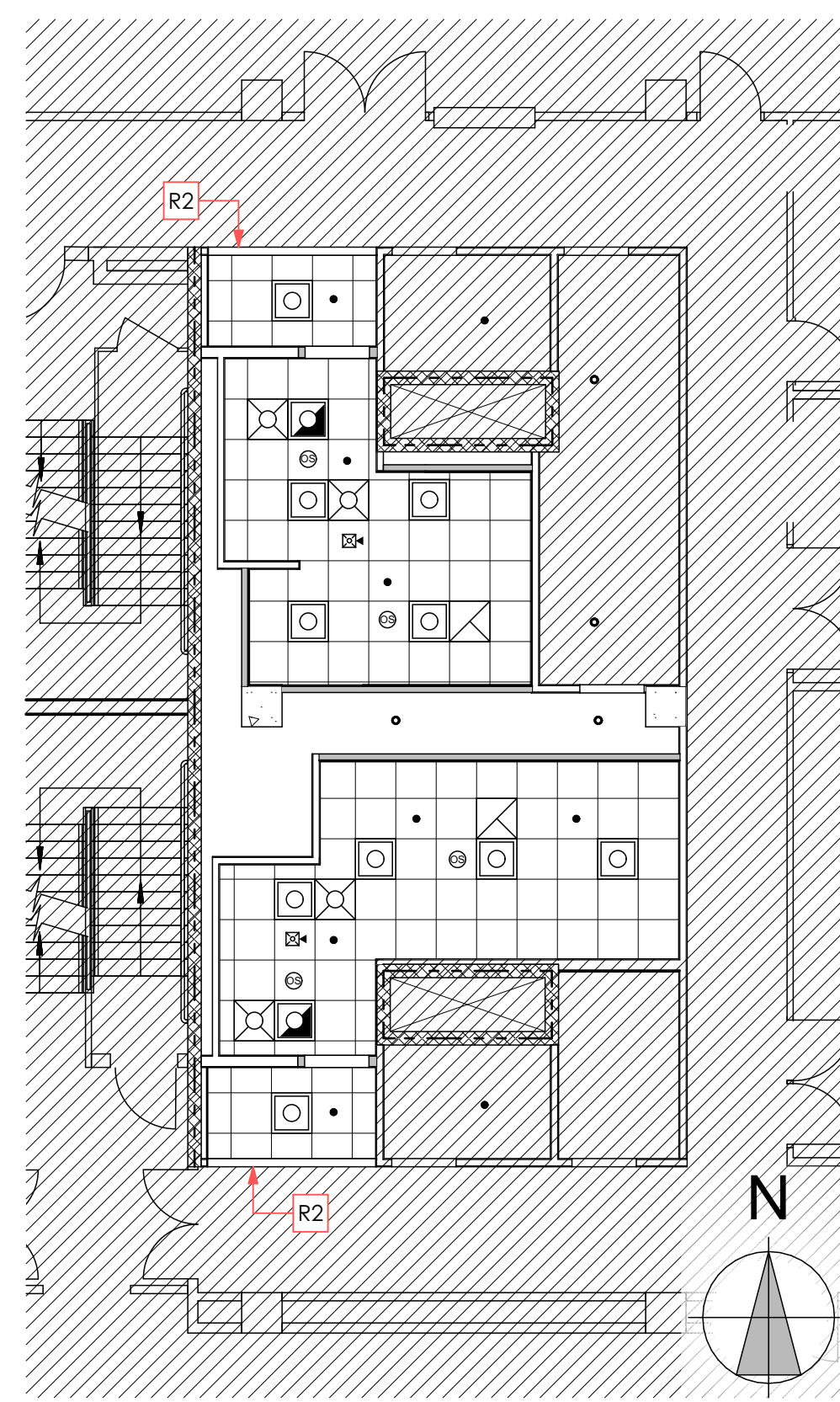


2 SIXTH FLOOR RENOVATION PLAN
 A106 SCALE: 1/4" = 1'-0" 0 2 4 8



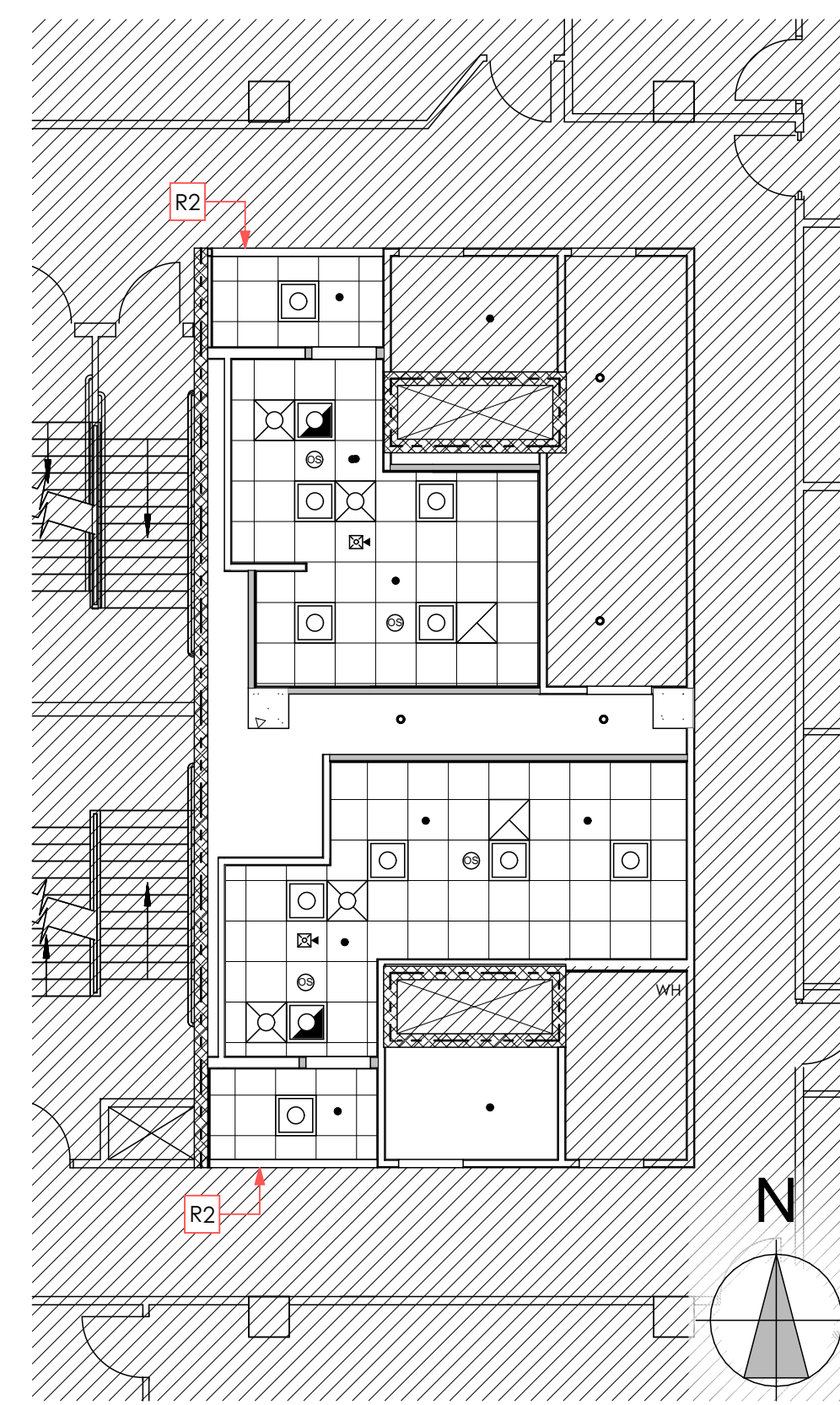
**BASEMENT REFLECTED
REFLECTED CEILING PLAN**

1
A400 SCALE: 1/8" = 1'-0" 0 4' 8' 16'



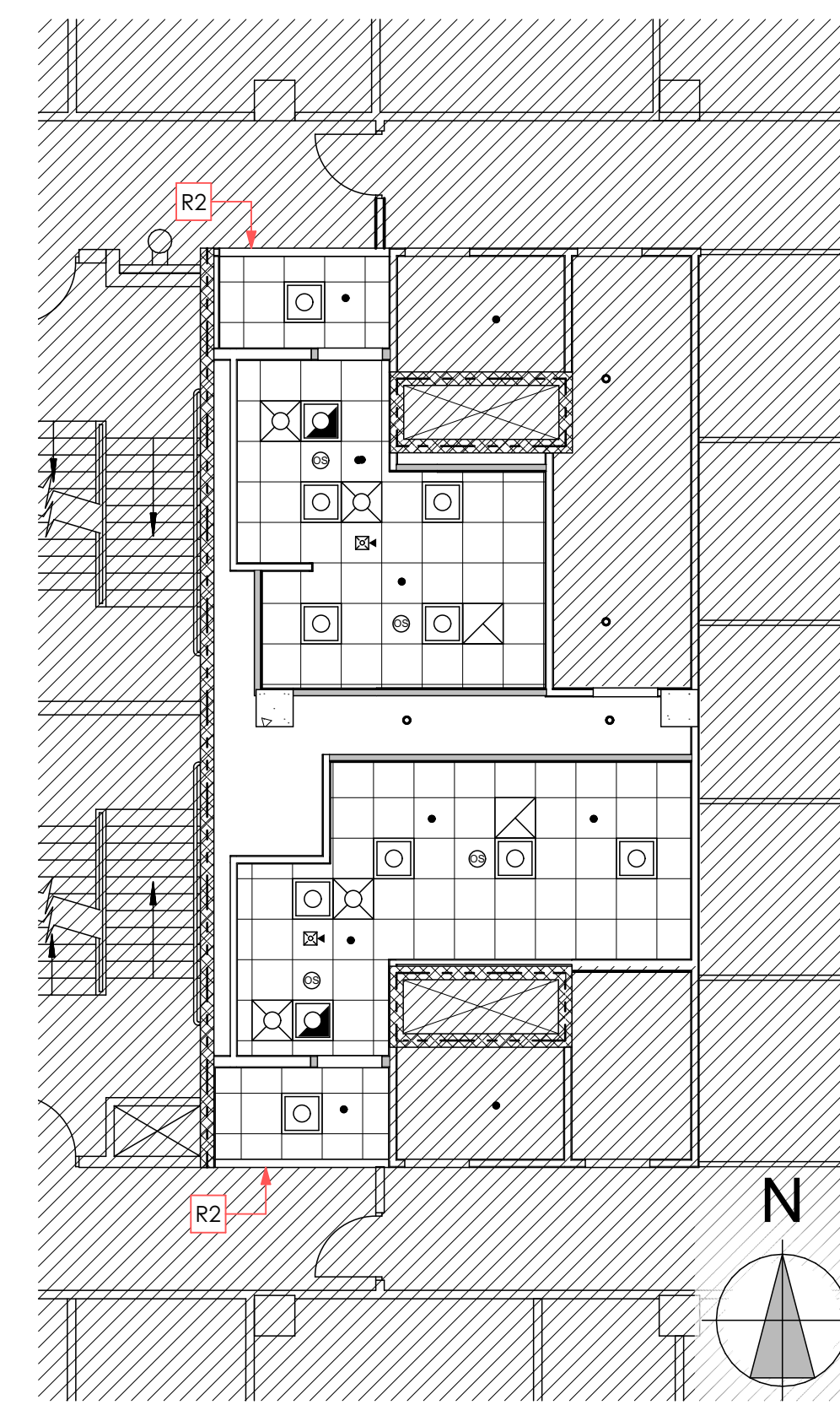
**GROUND FLOOR
REFLECTED CEILING PLAN**

2
A400 SCALE: 1/8" = 1'-0" 0 4' 8' 16'



**FIRST FLOOR
REFLECTED CEILING PLAN**

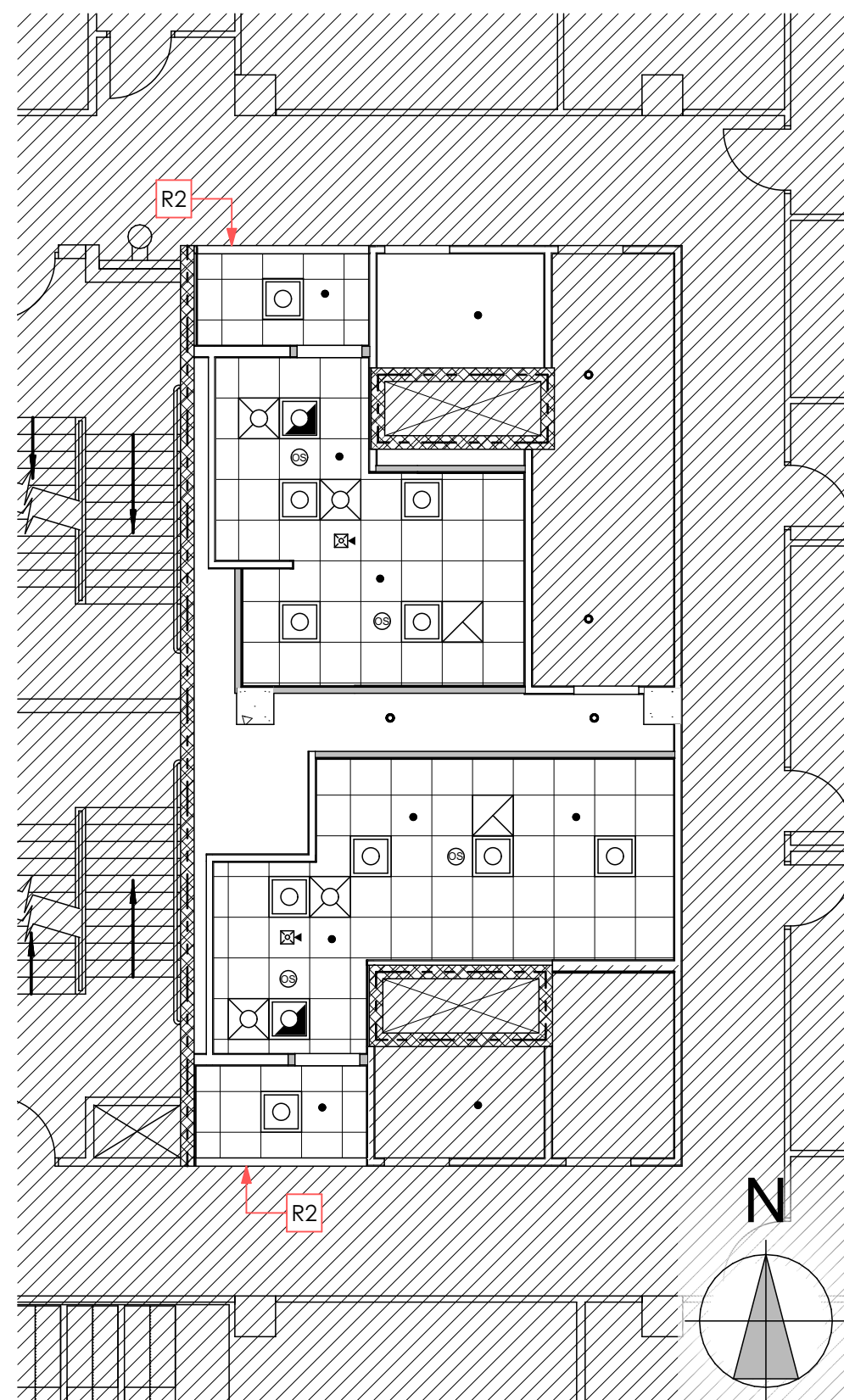
3
A400 SCALE: 1/8" = 1'-0" 0 4' 8' 16'



**SECOND FLOOR
REFLECTED CEILING PLAN**

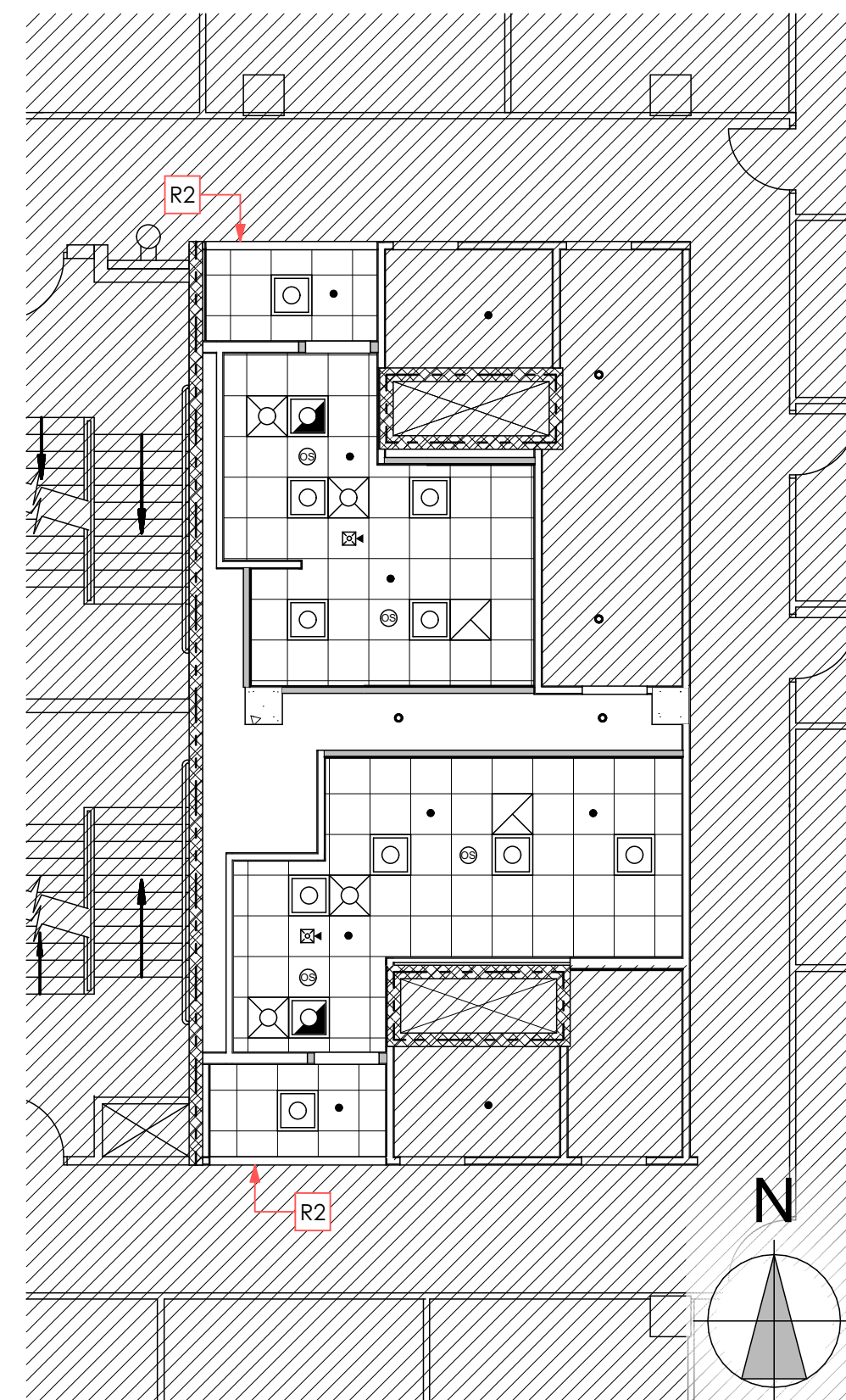
4
A400 SCALE: 1/8" = 1'-0" 0 4' 8' 16'

*** NOTE: COORDINATE ALL IN CEILING EQUIPMENT WITH MECHANICAL, FIRE PROTECTION AND ELECTRICAL SHEETS. SEE MECHANICAL, FIRE PROTECTION AND ELECTRICAL LEGENDS.



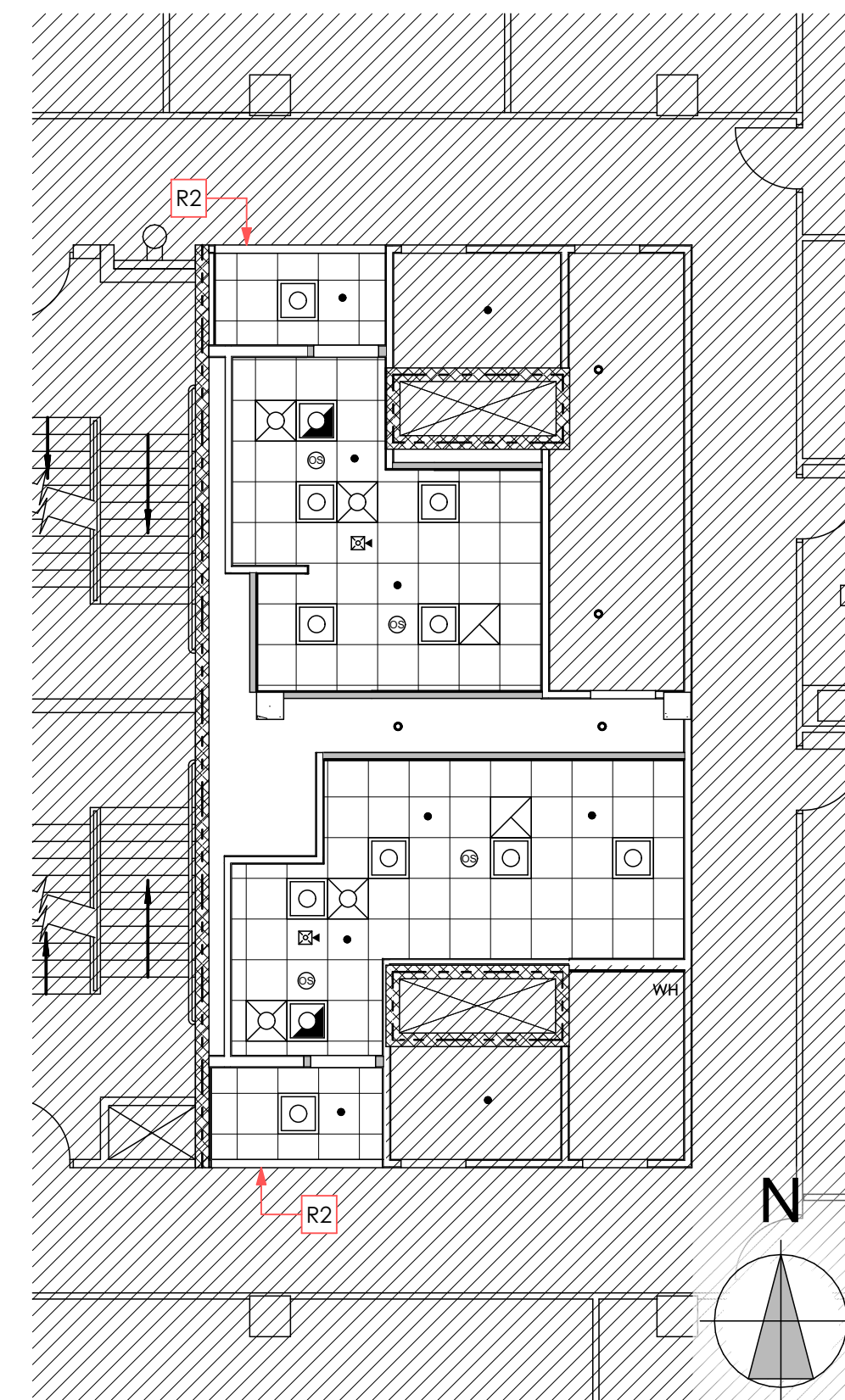
**THIRD FLOOR
REFLECTED CEILING PLAN**

5
A400 SCALE: 1/8" = 1'-0" 0 4' 8' 16'



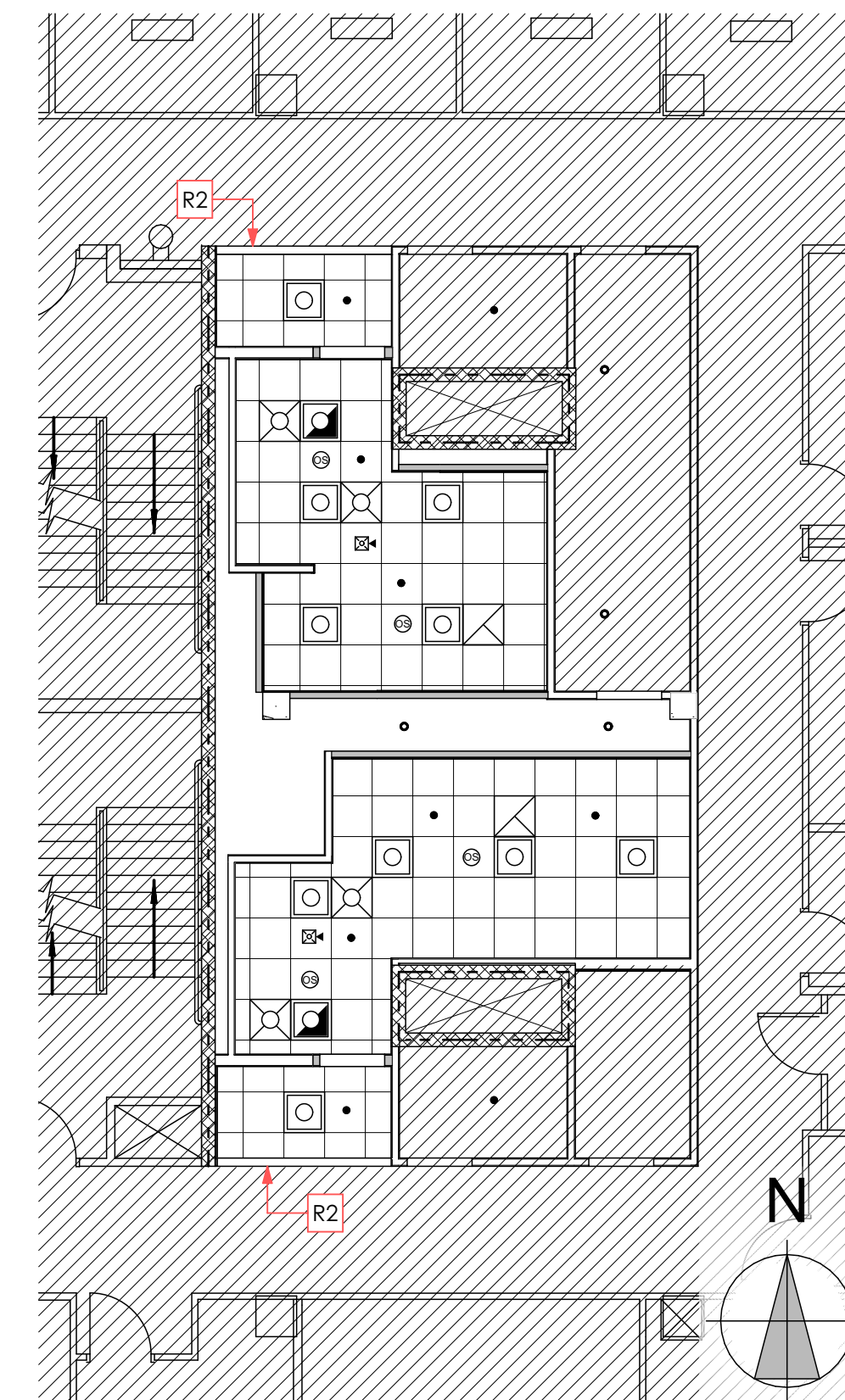
**FOURTH FLOOR
REFLECTED CEILING PLAN**

6
A400 SCALE: 1/8" = 1'-0" 0 4' 8' 16'



**FIFTH FLOOR
REFLECTED CEILING PLAN**

7
A400 SCALE: 1/8" = 1'-0" 0 4' 8' 16'



**SIXTH FLOOR
REFLECTED CEILING PLAN**

8
A400 SCALE: 1/8" = 1'-0" 0 4' 8' 16'

LEGEND

- # NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- 1 WORK LEGEND NOTE
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- EX. EXISTING
- WD. WOOD
- HM. HOLLOW METAL
- ST. STAIN
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES
- EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS
- EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS
- ELEVATION/SECTION NUMBER
- SHEET NUMBER
- ROOM 000 ROOM NAME, NUMBER
- A# REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS

RENOVATION NOTES

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FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED PARTITIONS, FLOORS AND CEILINGS.

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INSTALL NEW FINISHES, FIXTURES AND ACCESSORIES AS LISTED/SHOWN ON SCHEDULES/ ELEVATIONS.

INSTALL NEW FLOORING AND CEILINGS THROUGHOUT RENOVATED AREAS OF WORK. PREP FLOOR FOR INSTALLATION OF NEW MATERIALS. FLOORS TO BE LEVEL/EVEN, FLOAT ALL FLOORS FOR VCT. CONSULT ARCHITECT IF FLOOR LEVELER IS NEEDED. COORDINATE WITH FINISH SCHEDULE.

- R1** INSTALL NEW PARTITION WALL. COORDINATE URINAL PARTITION WITH EXISTING PIPING IN CHASE TO REMAIN. NOTIFY ARCHITECT OF ANY DISCREPANCIES THAT WILL AFFECT ADA CLEARANCES. PARTITION TYPES:
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 - 5/8" GYPSUM BOARD, TO DECK
 - B - 3 5/8" METAL STUDS, TO DECK
 - 1/2" CEMENTITIOUS BACKER BOARD 6" ABOVE CEILING, GYP ABOVE TO DECK, ONE SIDE
 - TILE, 6" ABOVE CEILING, ONE SIDE, SEE FINISH SELECTIONS ON A000
 - C - 3 5/8" METAL STUDS, TO DECK
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- R6** CONFIRM LOCATION OF EXISTING WALLS. IF LOCATION CONFLICTS WITH NEW OPENING CONTACT ARCHITECT TO DETERMINE ADJUSTMENTS REQUIRED.

CONSULTANTS

MECHANICAL / PLUMBING / ELECTRICAL
MCGINNIS & FLEMING ENGINEERING
820 EAST PARK AVENUE, SUITE 1-200
TALLAHASSEE, FL 32301
(850) 681-6424



**ARCHITECTURE
INTERIOR DESIGN
BUILDING ENVELOPE**
211 JOHN KNOX RD, SUITE 105
TALLAHASSEE, FL 32303
PH: (850) 385 9200
ARCH029
MLDARCHITECTS.COM

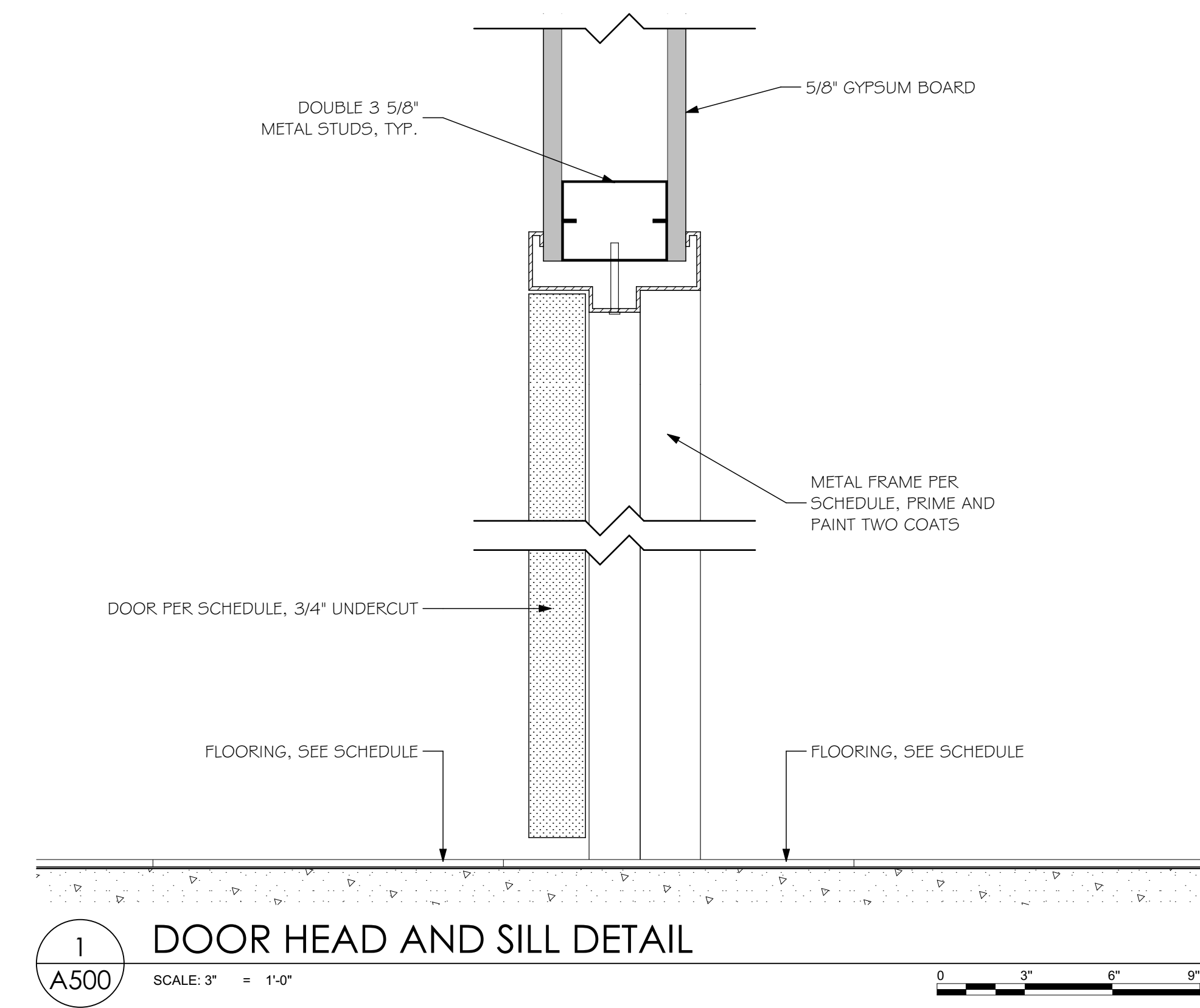
**LARSON BUILDING, DESIGN RESTROOM
REPAIR AND RENOVATIONS**
FLORIDA DEPARTMENT OF MANAGEMENT SERVICES
TALLAHASSEE, FLORIDA

CONSTRUCTION DOCUMENTS

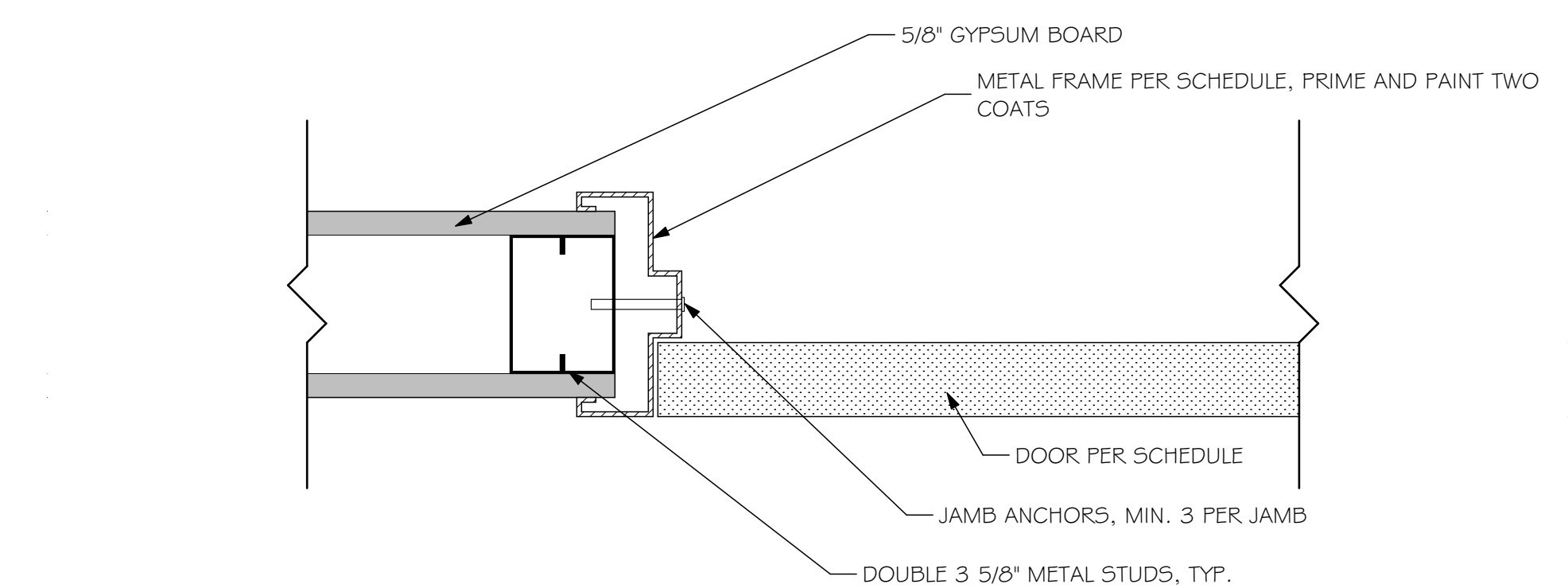
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DATE 02/26/2026
DRAWN TR
CHECKED IH
APPROVED JS
REVISION
REVISION DATE

REFLECTED
CEILING PLANS

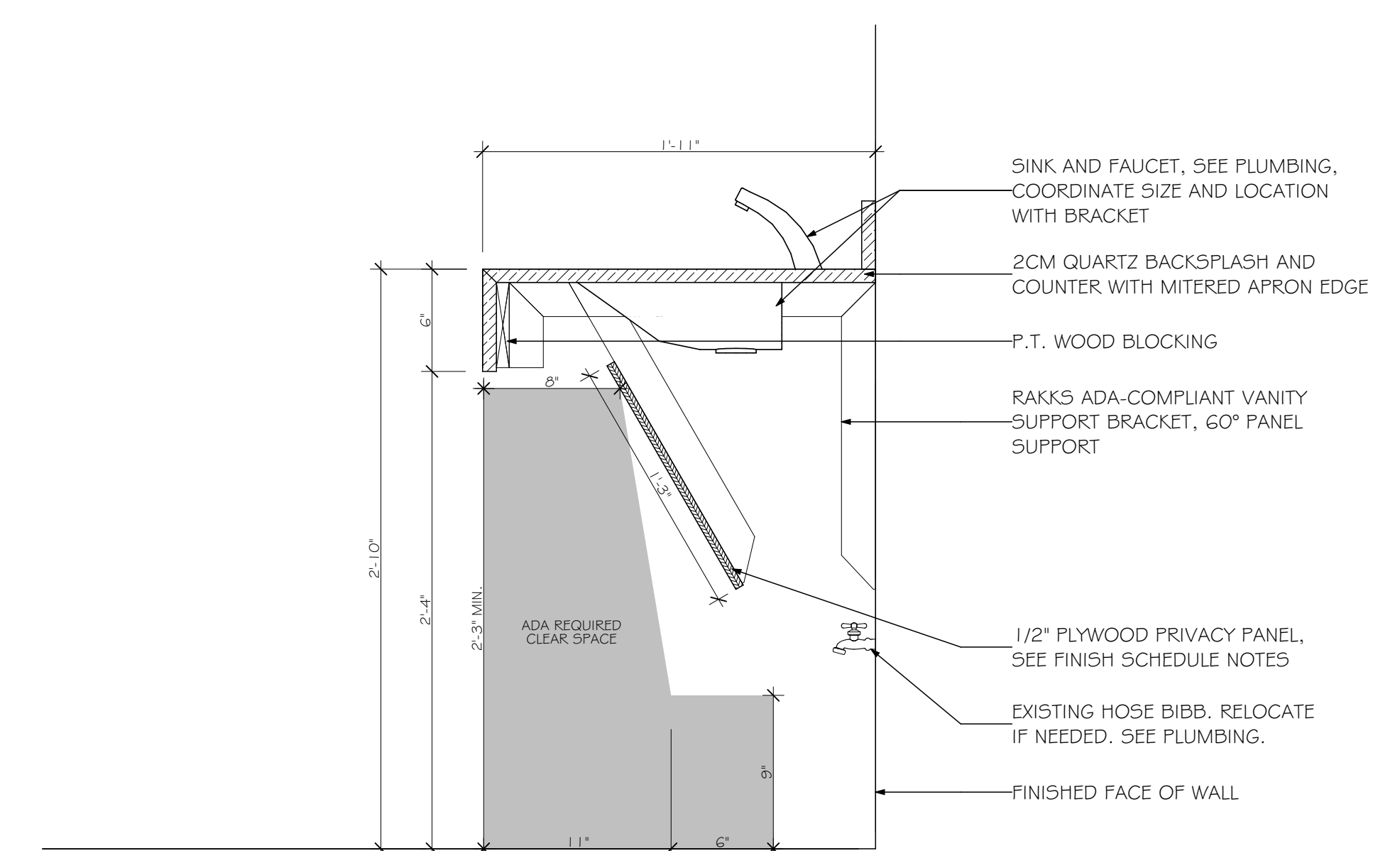
A400



1 DOOR HEAD AND SILL DETAIL
 SCALE: 3" = 1'-0"
 0 3" 6" 9"



2 DOOR JAMB DETAIL
 SCALE: 3" = 1'-0"
 0 3" 6" 9"



3 MILLWORK DETAIL - SINK SECTION
 SCALE: 1 1/2" = 1'-0"
 0 6" 12" 18"

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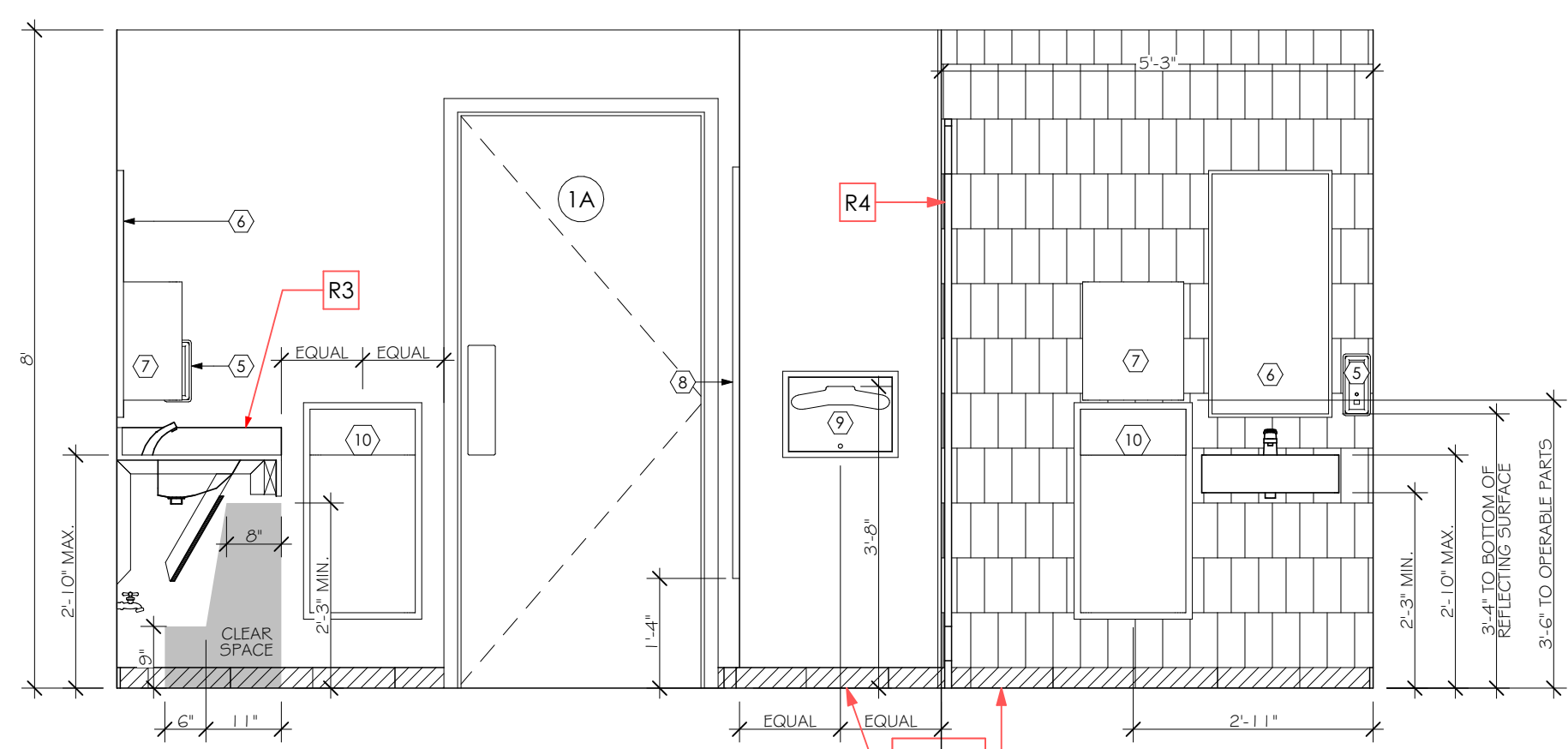
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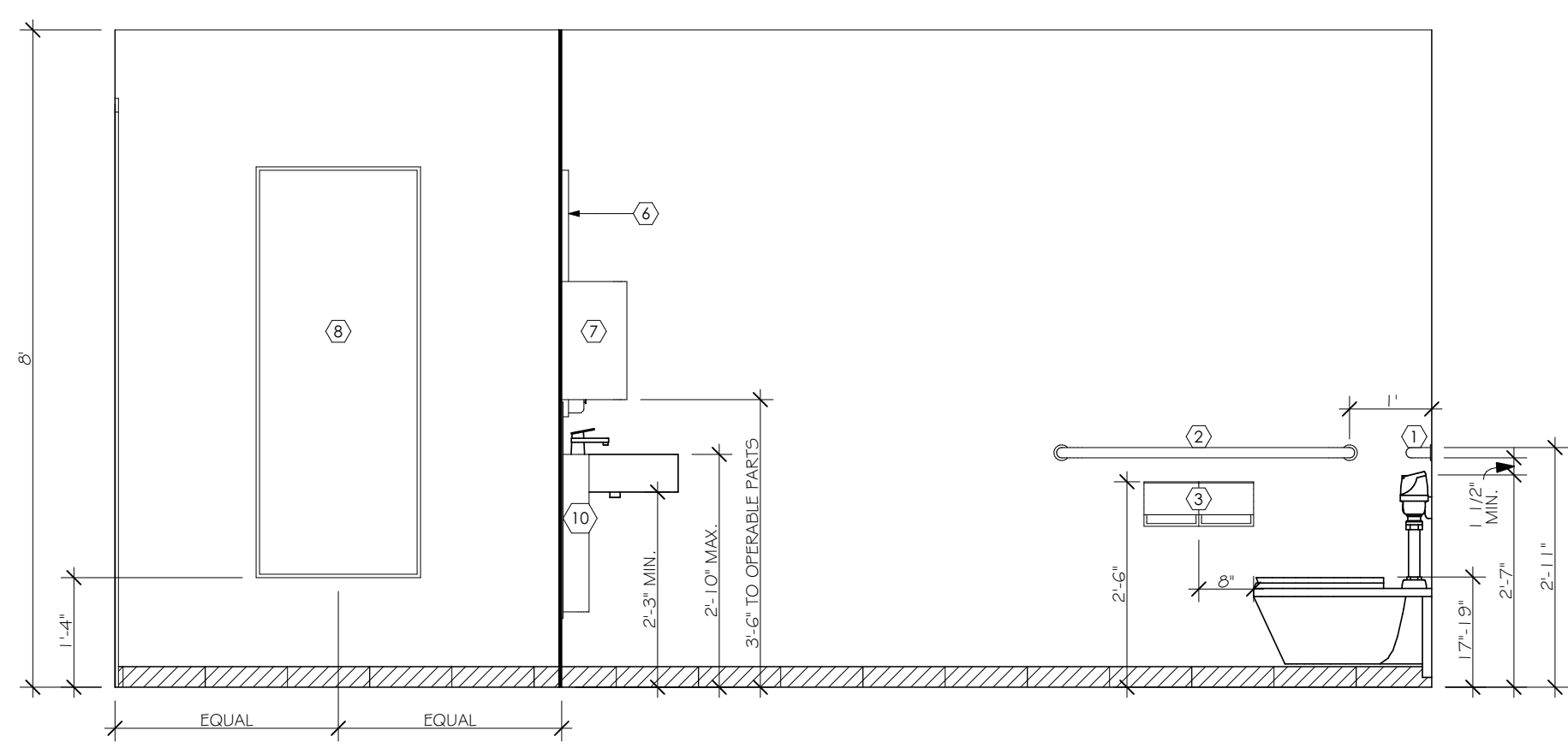
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 CHECKED IH
 APPROVED JS
 REVISION
 REVISION DATE

DETAILS

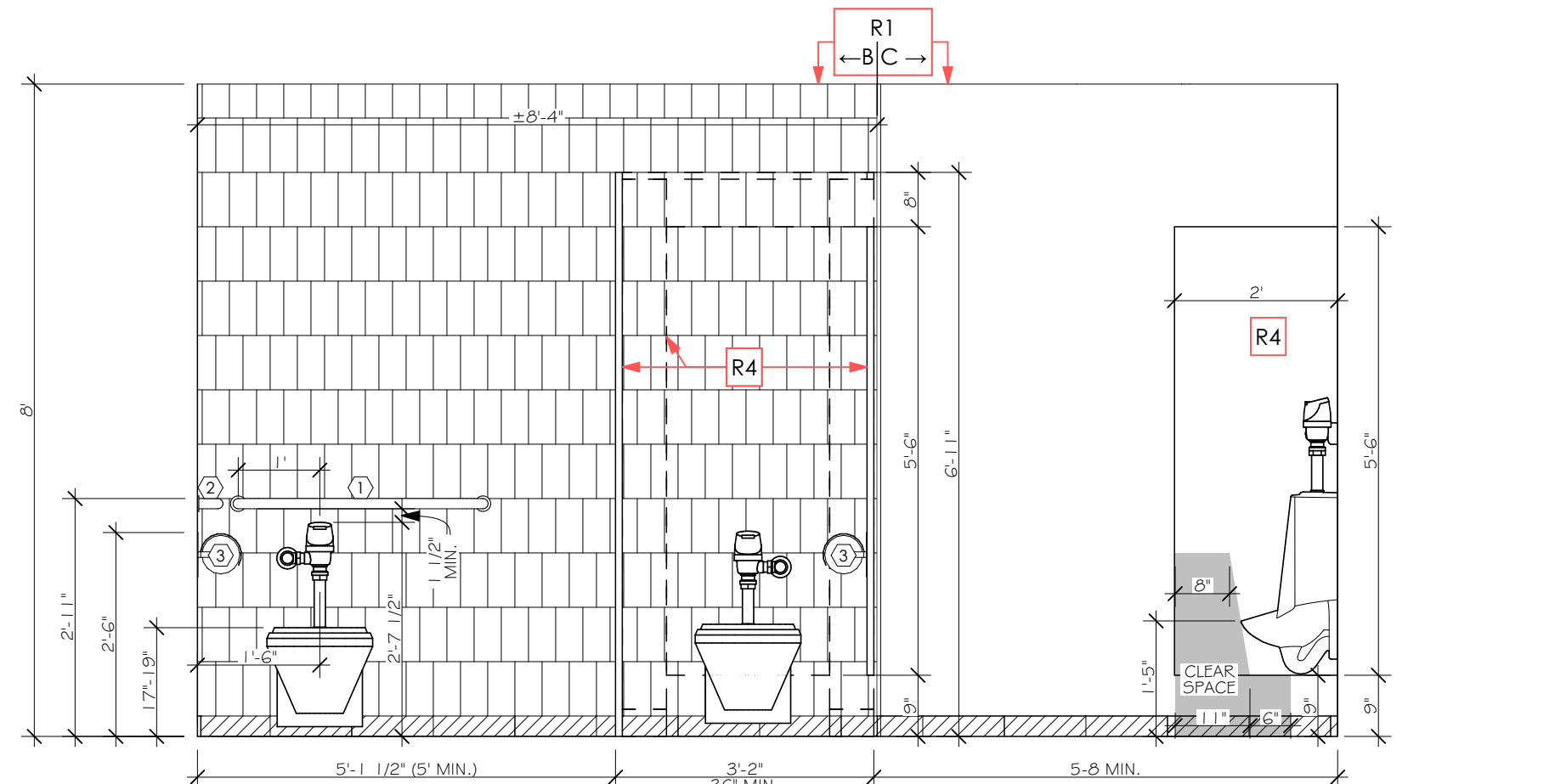
A500



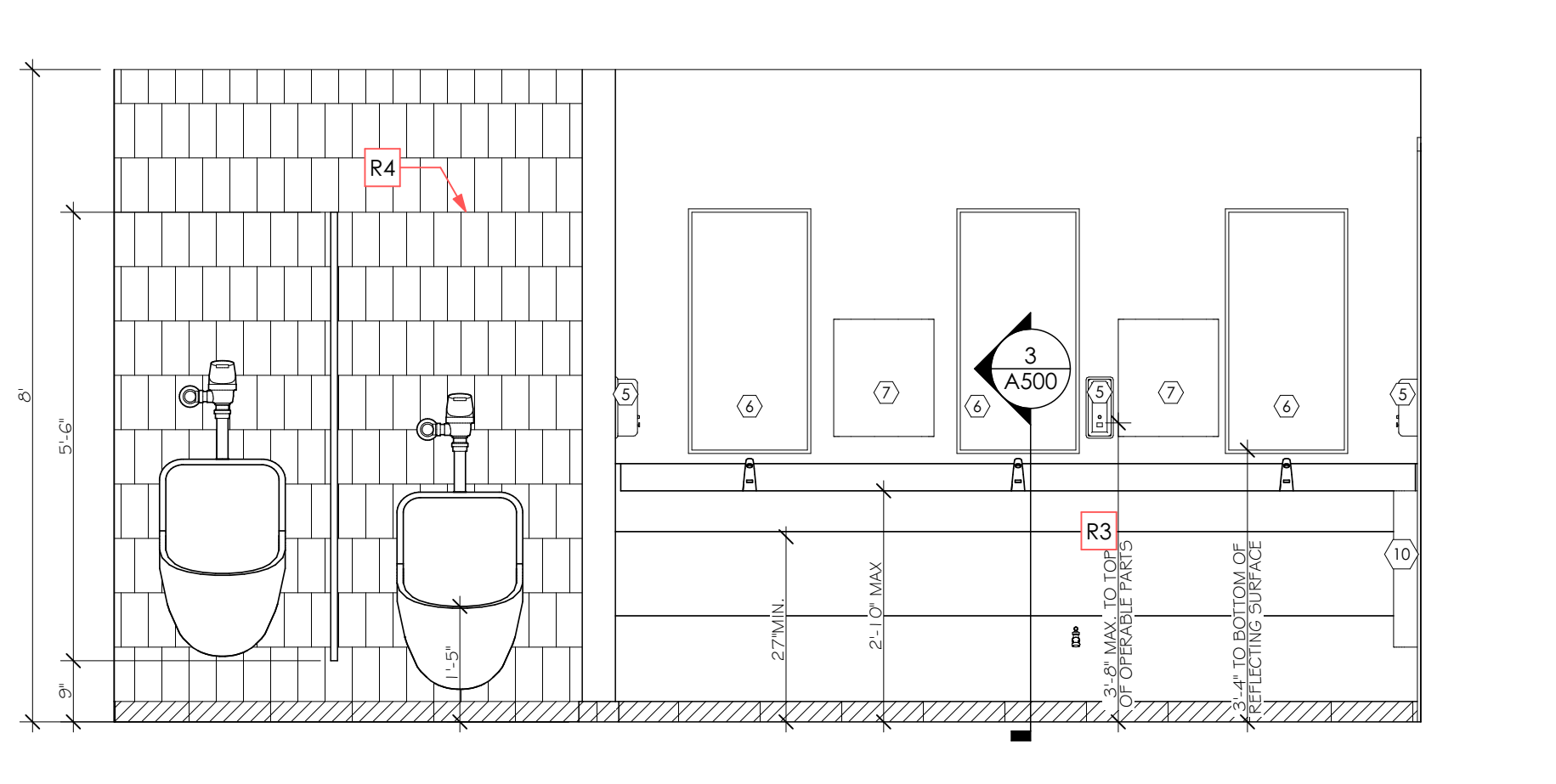
1 N MEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0"



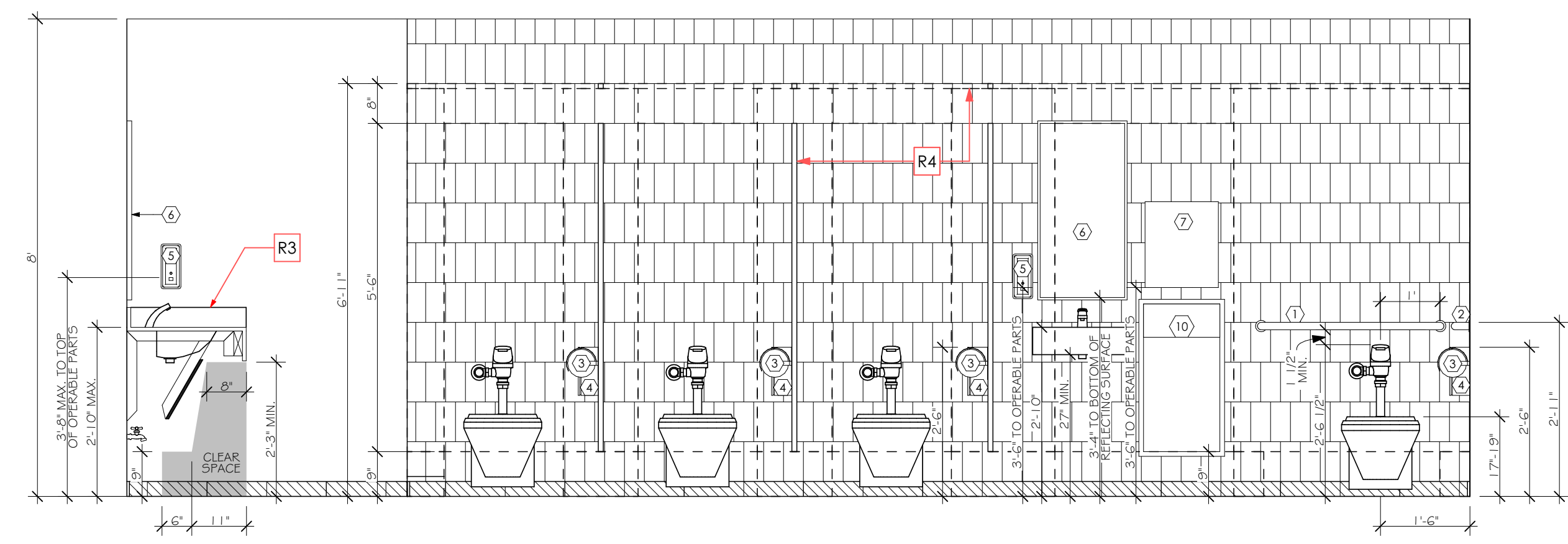
2 E MEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0"



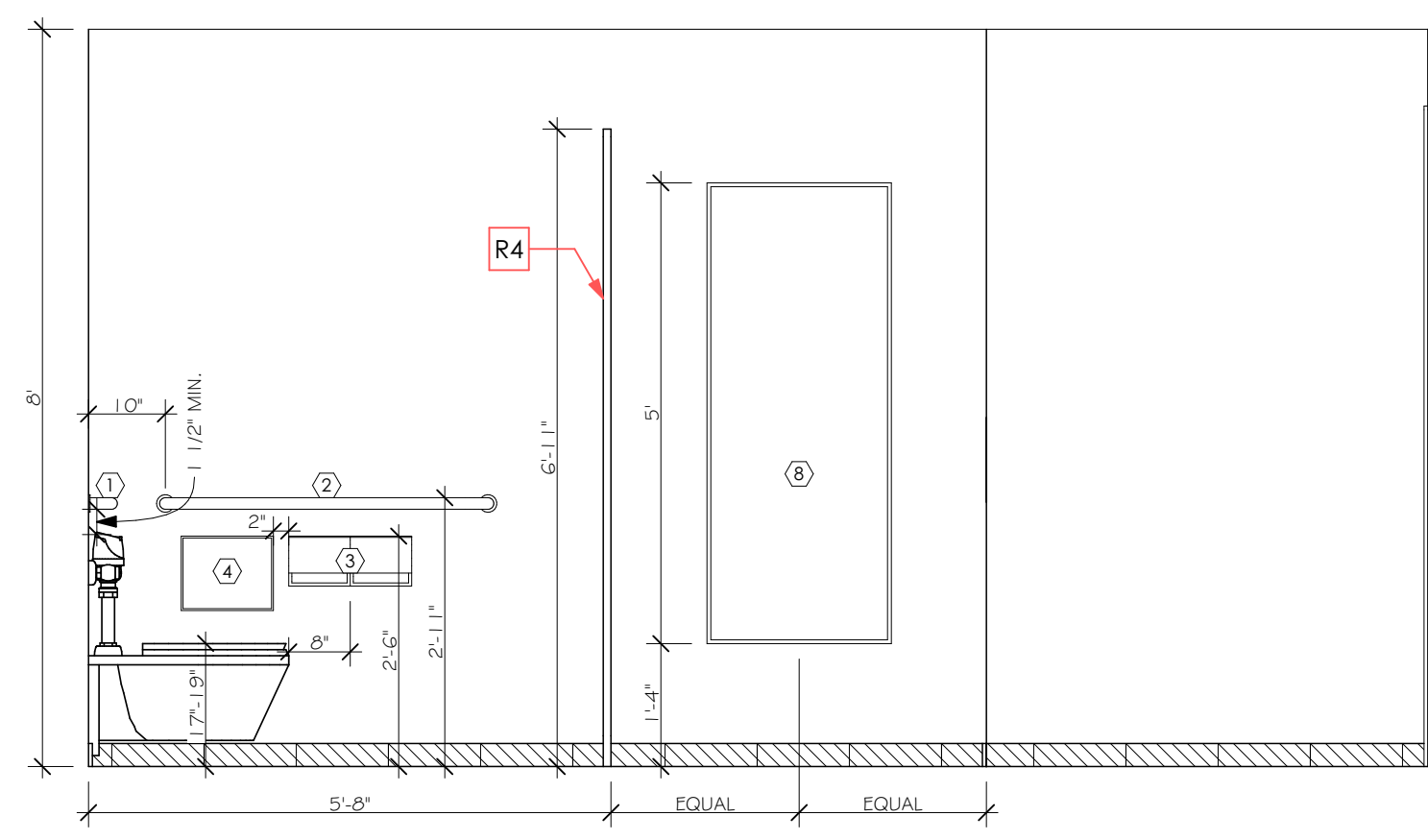
3 S MEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0"



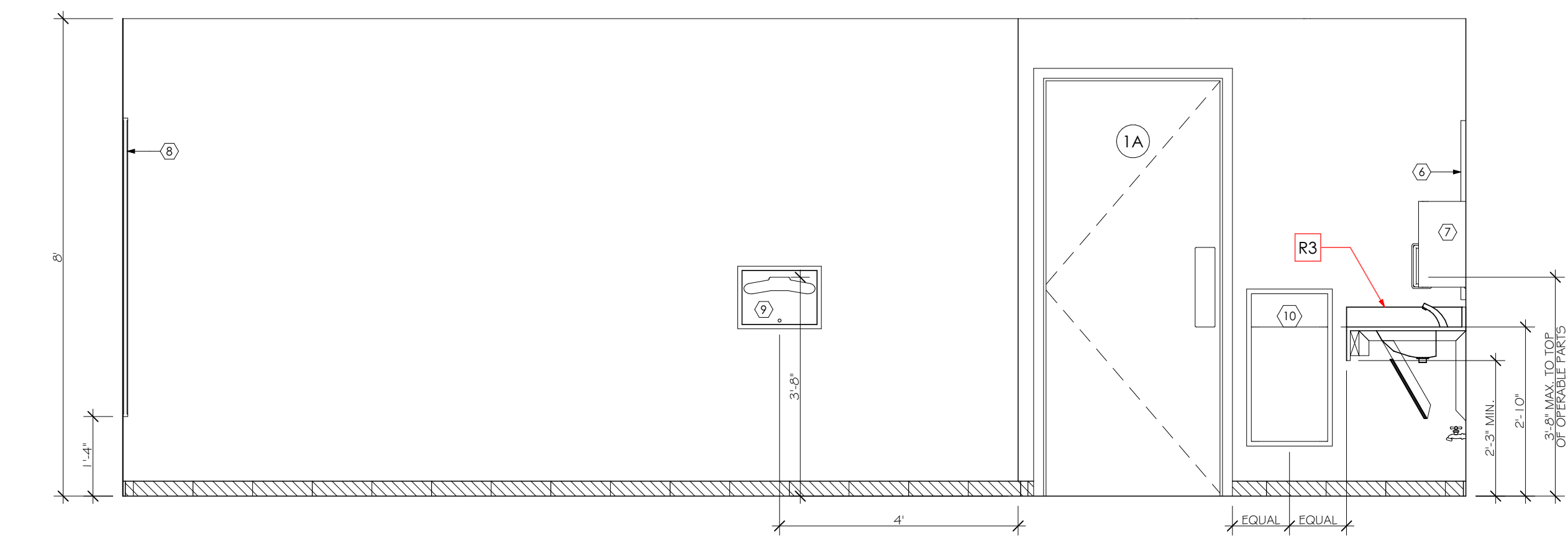
4 W MEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0"



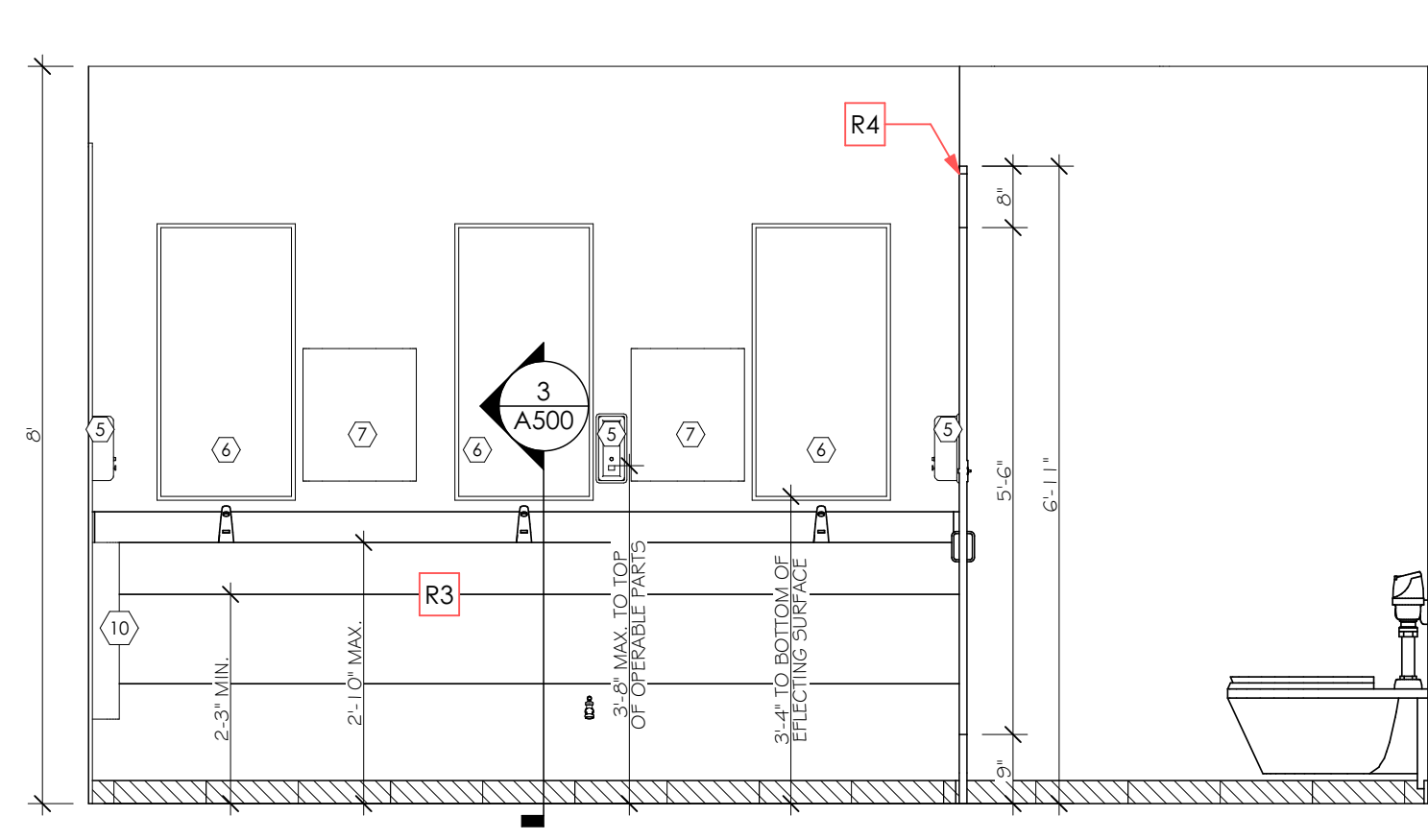
5 N WOMEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0"



6 E WOMEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0"



7 S WOMEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0"



8 W WOMEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0"

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- EXISTING DOOR TO BE REMOVED
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ACCESSORY LEGEND

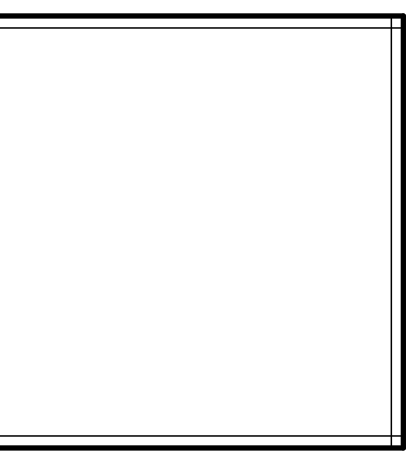
- 1** 36" GRAB BAR, MODEL NO. 3800P
- 2** 42" GRAB BAR, MODEL NO. 3800P
- 3** TOILET TISSUE DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- 4** SANITARY NAPKIN DISPOSAL, MODEL NO. 0852 (WOMEN'S ROOM ONLY)
- 5** SOAP DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- 6** MIRROR, 18x36, MODEL NO. 0600-1836
- 7** PAPER TOWEL DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- 8** MIRROR, 24x60, MODEL NO. 0600-2460
- 9** SEAT COVER DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- 10** WASTE RECEPTACLE, MODEL NO. 0458 (4" PROJECTION, 4" RECESS, 1.2 GALLONS)
- 11** ROOM SIGNAGE (MATCH FLETCHER SIGNAGE - PLASTIC SIGNAGE WITH RAISED BRAILLE AND BORDER - SUBMIT FOR APPROVAL) INSTALLED ADJACENT TO RESTROOM DOORS. INSTALL BASELINE OF THE LOWEST CHARACTER 48" MIN. A.F.F. AND BASELINE OF THE HIGHEST CHARACTER 60" MAX. A.F.F.

BASIS OF DESIGN: AMERICAN SPECIALTIES, UNLESS OTHERWISE SPECIFIED. ALL FINISHES TO BE STANDARD SATIN FINISH. ALL EXPOSED PIPES IN ADA RESTROOM SHALL BE WRAPPED.

NOTE: CONTRACTOR TO INSURE OWNER SUPPLIED ITEMS ARE INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS.

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ELEVATIONS

A600