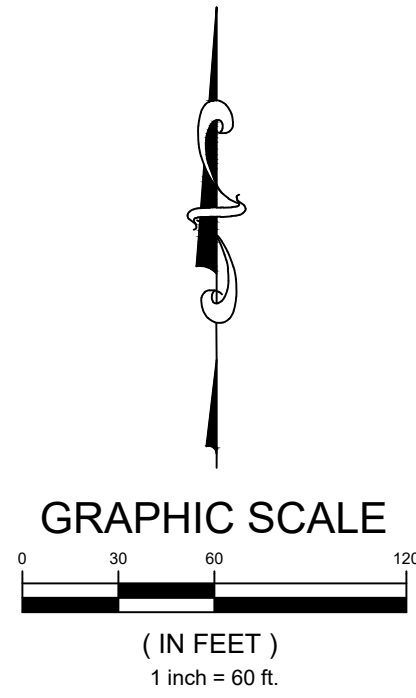
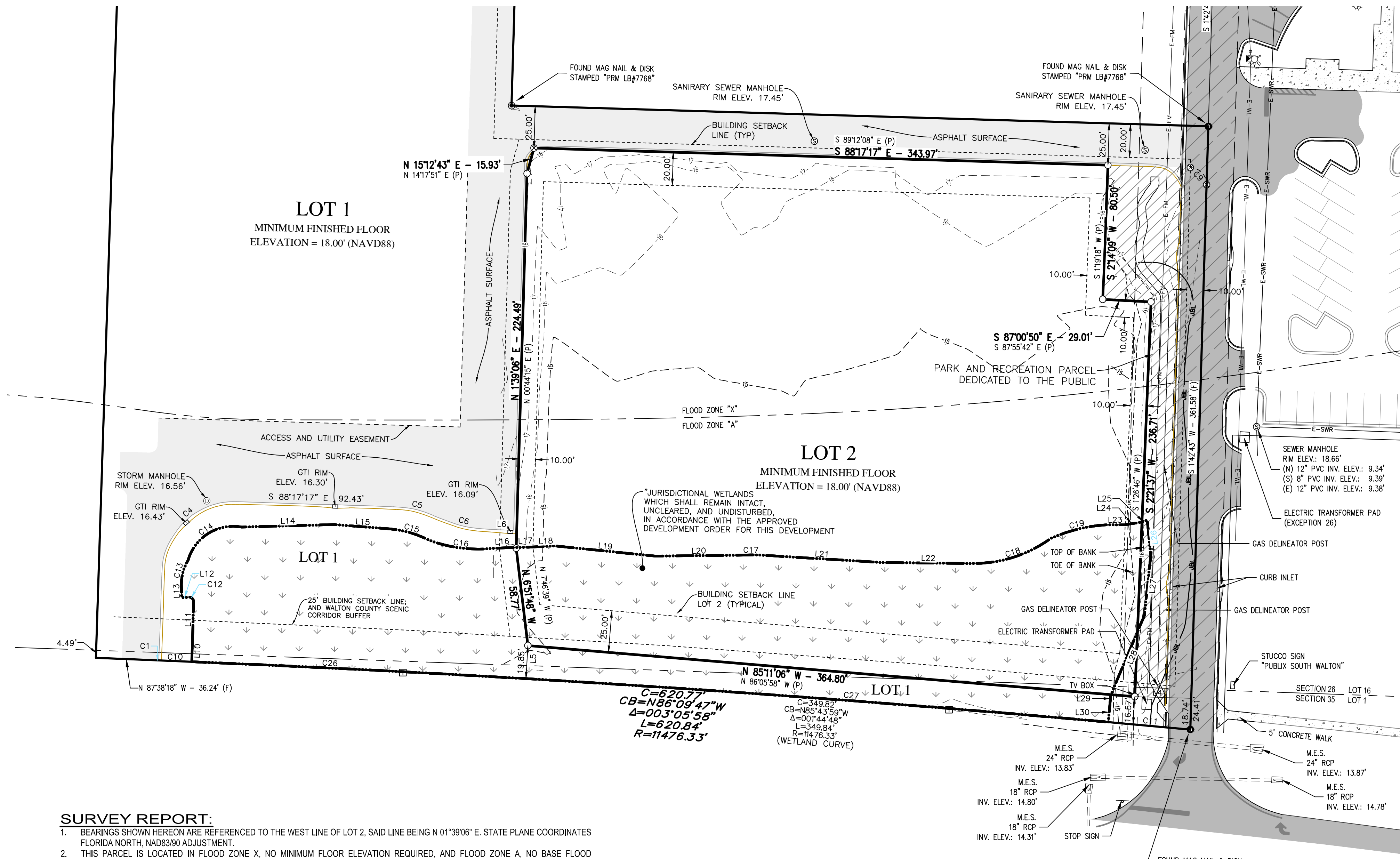


**LEGEND:**

- # = NUMBER
- L.B. = LICENSED BUSINESS
- L.S. = LICENSED SURVEYOR
- ± = MORE OR LESS
- A = ARC LENGTH
- R = RADIUS
- D = DELTA ANGLE
- B = CHORD BEARING
- C = CHORD LENGTH
- T.B.M. = TEMPORARY BENCHMARK
- INV. = INVERT
- ELEV. = ELEVATION
- ± = MORE OR LESS
- PVC = POLYVINYL CHLORIDE
- C.M.P. = CORRUGATED METAL PIPE
- R.C.P. = REINFORCED CONCRETE PIPE
- P.C. = POINT OF CURVATURE
- R/W = RIGHT OF WAY
- F.D.E.P. = FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
- C.O.E. = ARMY CORPS OF ENGINEERS
- F.E.M.A. = FEDERAL EMERGENCY MANAGEMENT AGENCY
- F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
- S.J.P.C. = ST. JOE PAPER COMPANY
- E-OHU = EXISTING OVERHEAD UTILITIES
- NAVD 88 = NORTH AMERICAN VERTICAL DATUM 1988
- (P) = PLAT BEARINGS
- 10.56 = SPOT ELEVATION AT "DOT"
- 10.00 = CONTOUR ELEVATION AT 1' INTERVALS
- = DISTANCE NOT TO SCALE
- ⊕ = BENCHMARK
- ⊙ = UTILITY POLE
- ⊙ = LAMP POLE
- ⊙ = GUY ANCHOR
- ⊕ = ELECTRIC BOX
- ⊕ = TELEPHONE/COMMUNICATIONS BOX
- ⊕ = TELEVISION BOX
- ⊕ = WATER VALVE
- ⊕ = WATER METER
- ⊕ = FIRE HYDRANT
- ⊕ = IRRIGATION VALVE
- ⊕ = STORM DRAIN MANHOLE
- ⊕ = SEWER MANHOLE
- ⊕ = SEWER CLEAN OUT
- ⊕ = MAILBOX
- ⊕ = SET 1/2" CAPPED IRON ROD L.B. #7768
- ⊕ = SET NAIL & DISK L.B. #7768
- ⊕ = FOUND 1/2" CAPPED IRON ROD L.B. #3724
- ⊕ = FOUND NAIL AND DISK L.B. #7569



**CURVE DATA TABLE**

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C1	11476.33'	0°00'23"	1.26'	1.26'	S 87°42'35" E
C2	11476.33'	1°06'02"	220.42'	220.41'	S 87°09'23" E
C3	11476.33'	1°59'34"	399.17'	399.15'	S 85°36'35" E
C4	44.00'	89°52'28"	69.02'	62.16'	N 46°46'29" E
C5	74.50'	23°14'05"	30.21'	30.00'	S 76°40'14" E
C6	71.50'	23°14'05"	28.99'	28.80'	S 76°40'14" E
C7	5.00'	90°00'00"	7.85'	7.07'	S 46°42'43" W
C8	5.50'	84°47'02"	8.14'	7.42'	S 40°33'16" E
C9	10.00'	90°00'00"	15.71'	14.14'	N 43°17'17" W
C10	11476.33'	0°05'58"	19.92'	19.92'	S 87°39'25" E
C12	2.67'	107°55'52"	5.03'	4.32'	N 58°40'58" W
C13	27.82'	30°56'59"	15.03'	14.84'	N 15°37'21" E
C14	28.12'	84°27'04"	41.44'	37.79'	N 58°12'49" E
C15	62.57'	22°19'36"	24.38'	24.23'	S 73°40'22" E
C16	85.41'	25°49'56"	38.51'	38.18'	S 82°45'33" E
C17	130.31'	4°30'03"	10.24'	10.23'	N 89°40'30" E
C18	78.72'	35°48'25"	49.20'	48.40'	N 71°55'11" E
C19	96.99'	20°20'25"	34.43'	34.25'	N 76°13'46" E

**LINE DATA TABLE**

NO.	BEARING	LENGTH
L1	N 87°38'18" W	36.24'
L2	N 15°12'43" E	15.93'
L3	S 87°00'50" E	29.01'
L4	S 88°17'17" E	33.86'
L5	S 03°23'38" W	19.84'
L6	S 88°17'17" E	18.04'
L7	S 01°42'43" W	16.00'
L8	N 88°17'17" W	17.18'
L9	S 01°50'15" W	22.03'
L10	S 02°23'34" W	13.33'
L11	N 01°17'31" E	22.98'
L12	S 88°18'46" W	3.35'
L13	N 01°41'14" W	8.04'
L14	N 88°27'26" E	55.76'
L15	S 85°28'53" E	33.50'

**LINE DATA TABLE**

NO.	BEARING	LENGTH
L16	N 87°29'31" E	10.99'
L17	N 88°48'09" E	10.42'
L18	N 87°02'08" E	15.65'
L19	S 84°12'25" E	60.94'
L20	N 89°20'52" E	52.07'
L21	S 86°30'30" E	74.02'
L22	S 89°24'43" E	54.55'
L23	S 89°58'30" E	10.78'
L24	N 81°20'58" E	8.90'
L25	N 74°08'49" E	5.17'
L26	S 05°52'10" E	21.23'
L27	S 06°11'07" W	36.25'
L28	S 22°56'50" W	51.42'
L29	S 05°36'28" W	4.61'
L30	S 05°08'25" W	11.88'

**SURVEY REPORT:**

- BEARINGS SHOWN HEREON ARE REFERENCED TO THE WEST LINE OF LOT 2, SAID LINE BEING N 01°39'06" E. STATE PLANE COORDINATES FLORIDA NORTH, NAD83/90 ADJUSTMENT.
- THIS PARCEL IS LOCATED IN FLOOD ZONE X, NO MINIMUM FLOOR ELEVATION REQUIRED, AND FLOOD ZONE A, NO BASE FLOOD ELEVATION DETERMINED, AS DETERMINED BY SCALE FROM F.E.M.A. MAP NUMBERS 12131C0564H AND 12131C0877H, DATED DECEMBER 30, 2020, WALTON COUNTY, FLORIDA.
- NO ENVIRONMENTAL JURISDICTION LINES HAVE BEEN DETERMINED BY GEOPPOINT SURVEYING, INC.
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF WALTON COUNTY, FLORIDA.
- APPARENT USES ARE AS SHOWN.
- NO STRUCTURAL FOUNDATIONS BELOW THE SURFACE OF THE GROUND WERE LOCATED.
- GRAPHIC SYMBOLISM OF CORNER MONUMENTATION, UTILITIES, SIGNS, ETCETERA, ARE EXAGGERATED FOR CLARITY AND ARE NOT TO SCALE, THE CENTER POINT OF WHICH IS ACCURATELY PLOTTED TO SCALE AND/OR DIMENSIONED THERETO.
- NO UNDERGROUND UTILITIES OR UTILITY LINES WERE LOCATED.
- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (1988).
- INTERIOR TOPOGRAPHIC DATA NOT UPDATED SINCE 1/4/2022.

THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF FIRST AMERICAN TITLE INSURANCE COMPANY PROPERTY INFORMATION REPORT, FILE NUMBER NCS-1275814-NAS, DATED AUGUST 15, 2025 AT 8:00 A.M., PURSUANT TO EXCEPTIONS 1-13, THE UNDERSIGNED SURVEYOR RENDERS THE FOLLOWING OPINIONS / DETERMINATIONS:

- EXCEPTION 1: SUBJECT TO MATTERS SHOWN ON THE PLAT OF SANTA ROSA PLANTATION CO., RECORDED IN PLAT BOOK 2, PAGE 4.
- EXCEPTION 2: PARCEL IS SUBJECT TO ALL MATTERS SHOWN ON PLAT BOOK 26 PAGE 72.
- EXCEPTION 3: SUBJECT TO CHANCERY ORDER AS RECORDED IN CHANCERY ORDER BOOK 16 AT PAGE 393. (DOES NOT AFFECT THE PARCEL SURVEYED)
- EXCEPTION 4: SUBJECT TO DEDICATION, RESERVATIONS ETC. AS RECORDED IN DEED BOOK 42, PAGE 443; TOGETHER WITH STIPULATION RECORDED IN BOOK 1400, PAGE 283.
- EXCEPTION 5: STIPULATION RECORDED IN ORB 1400 PG. 283 DOES NOT AFFECT PARCEL SURVEYED AND SHOWN HEREON.
- EXCEPTION 6: THAT RELEASE AND TERMINATION OF ANY AND ALL RIGHTS, INCLUDING RIGHT OF ENTRY RECORDED IN OFFICIAL RECORDS BOOK 2788, PAGE 3898, (AFFECTS THE PARCEL SURVEYED AND IS BLANKET IN NATURE)
- EXCEPTION 7: SUBJECT TO THAT BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA PARTIAL RELEASE OF ROAD RESERVATION NO. 15 RECORDED IN OFFICIAL RECORDS BOOK 2800, PAGE 3081.
- EXCEPTION 8: SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN DECLARATION OF RESTRICTIONS, COVENANTS AND CONDITIONS AND GRANT OF EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 2804, PAGE 1127, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C), (AFFECTS THE PARCEL SURVEYED BLANKET IN NATURE)
- EXCEPTION 9: SUBJECT TO EASEMENT, GRANTED FROM PUBLIX SUPER MARKETS, INC. TO WALTON EQUITY PARTNERS LLC, RECORDED IN OFFICIAL RECORDS BOOK 2804, PAGE 1163, (OVER AND ACROSS PUBLIX PARKING LOT, AS BEST CAN BE DETERMINED)
- EXCEPTION 10: RIGHT OF WAY EASEMENT RECORDED IN ORB 2804 PG. 1205 DOES NOT AFFECT PARCEL SURVEYED AND SHOWN HEREON.
- EXCEPTION 11: SUBJECT TO EASEMENT, GRANTED FROM WALTON EQUITY PARTNERS, LLC, A FLORIDA LIMITED LIABILITY COMPANY TO ACE HOME AND GARDEN OF LYNN HAVEN, LLC, A FLORIDA LIMITED LIABILITY COMPANY, RECORDED IN OFFICIAL RECORDS BOOK 3161, PAGE 1771, (AFFECTS PARCEL SURVEYED, PLOTTED AND SHOWN HEREON)
- EXCEPTION 12: CROSS ACCESS AND DRAINAGE EASEMENT RECORDED IN ORB 3320 PG. 3747 PROVIDES OFFSITE DRAINAGE TO RETENTION POND ON LOT 1.
- EXCEPTION 13: TERMINATION AGREEMENT RECORDED IN ORB 3303 PG. 3664 DOES NOT AFFECT PARCEL SURVEYED AND SHOWN HEREON.
- NO FURTHER SEARCH OF THE PUBLIC RECORDS WAS PERFORMED BY THE UNDERSIGNED, INDIVIDUAL SURVEYOR OR GEOPPOINT SURVEYING, INC.

**DESCRIPTION:**

LOT 2, AVID STORAGE AS RECORDED IN PLAT BOOK 3306, PAGE 1784 OF THE PUBLIC RECORDS OF WALTON COUNTY, FLORIDA.

THIS SURVEY IS VALID ONLY WITH A SIGNATURE & ORIGINAL SEAL, IN HARD COPY FORM, OR A DIGITAL SEAL IN ELECTRONIC FORM, PURSUANT TO RULES 51-17.060 AND 51-17.062, SECTION 472.027 OF THE FLORIDA STATUTES.

DARYL E.W. BURGIS LS4980

**GeoPoint Surveying, Inc.**

www.geopointsurvey.com  
Licensed Business No.: LB 7768

North Florida  
67 Joe Campbell Road  
Freeport, Florida 32439  
Phone: (850) 740-0650

Central Florida  
528 Northlake Blvd, Suite 1040  
Altamonte Springs, Florida 32701  
Phone: (321) 270-0440

West Florida  
213 Hobbs Street  
Tampa, Florida 33619  
Phone: (813) 248-8888  
Fax: (813) 248-2266

East Florida  
4152 West Blue Heron Blvd  
Suite 105  
Riviera Beach, Florida 33404  
Phone: (561) 444-2720

**BOUNDARY AND TOPOGRAPHIC SURVEY**

PREPARED FOR:  
**FORT WALTON BEACH MEDICAL CENTER**  
LOCATED IN:  
Section 26, Township 2 S., Range 20 W., Walton County, Florida

Surveyor's Certification  
I do hereby certify that this survey was made under my supervision and meets the "Standards of Practice" set forth by the Florida Board of Professional Surveyors and Mappers as stated in Rules 51-17.051, 51-17.052, and 51-17.053, Florida Administrative Code, pursuant to section 427.027 of the Florida Statutes.

SHEET: **1 of 1**