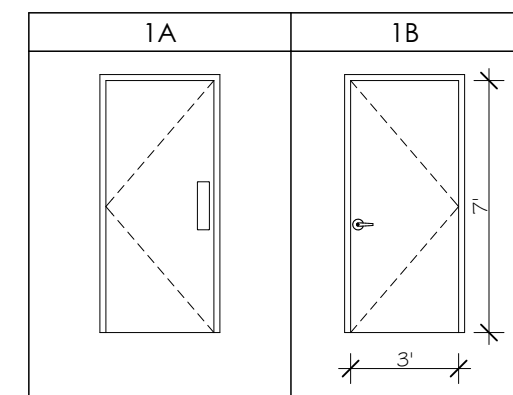


ROOM NAME	ROOM #	APPROX. SF	APPROX. PERIMETER	FLOORING	BASE	WALL FINISH				CEILING		REMARKS
						NORTH	EAST	SOUTH	WEST	CEILING	FINISH	
MEN	101	178	55'-8"	F1	B1	P1 / F2	P1	P1 / F2	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
MEN	203	182	56'	F1	B1	P1 / F2	P1	P1 / F2	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
MEN	303	182	56'-1"	F1	B1	P1 / F2	P1	P1 / F2	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
MEN	403	182	56'	F1	B1	P1 / F2	P1	P1 / F2	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
MEN	503	183	56'-6"	F1	B1	P1 / F2	P1	P1 / F2	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
MEN	603	179	55'-11"	F1	B1	P1 / F2	P1	P1 / F2	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
MEN	B03A	185	57'	F1	B1	P1 / F2	P1	P1 / F2	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
MEN	G03	182	56'	F1	B1	P1 / F2	P1	P1 / F2	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
STORAGE	109B	21	19'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
STORAGE	237B	21	19'-9"	F1	B2	P3	P3	P3	P3	8'	ACT	
STORAGE	337B	21	19'-7"	F1	B2	P3	P3	P3	P3	8'	ACT	
STORAGE	437B	20	19'	F1	B2	P3	P3	P3	P3	8'	ACT	
STORAGE	537B	21	19'-7"	F1	B2	P3	P3	P3	P3	8'	ACT	
STORAGE	637B	20	19'-5"	F1	B2	P3	P3	P3	P3	8'	ACT	
STORAGE	B37B	22	20'	F1	B2	P3	P3	P3	P3	8'	ACT	
STORAGE	G37B	71	35'-5"	F1	B2	P3	P3	P3	P3	8'	ACT	
STORAGE	G37B	71	35'-5"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	100	40	26'-2"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	200	42	26'-7"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	300	38	25'-2"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	400	42	26'-7"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	537	44	28'-10"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	600	40	26'-4"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	B100	42	26'-7"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE M	G100	42	26'-7"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	109	44	28'-10"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	237	43	28'-6"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	337	44	28'-9"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	437	43	28'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	500	42	26'-7"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	637	44	28'-10"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	B37	48	29'-8"	F1	B2	P3	P3	P3	P3	8'	ACT	
VESTIBULE W	G37	42	28'-2"	F1	B2	P3	P3	P3	P3	8'	ACT	
WOMEN	109A	185	55'-10"	F1	B1	F2	P1	P1	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
WOMEN	237A	186	55'-11"	F1	B1	F2	P1	P1	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
WOMEN	337A	190	56'-4"	F1	B1	F2	P1	P1	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
WOMEN	437A	189	56'-3"	F1	B1	F2	P1	P1	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
WOMEN	537A	193	56'-9"	F1	B1	F2	P1	P1	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
WOMEN	637A	188	56'-2"	F1	B1	F2	P1	P1	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
WOMEN	B37A	190	56'-5"	F1	B1	F2	P1	P1	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.
WOMEN	G37A	190	56'-4"	F1	B1	F2	P1	P1	P1	8'	ACT	SEE AGOO FOR EXTENT OF WALL TILE FINISH.

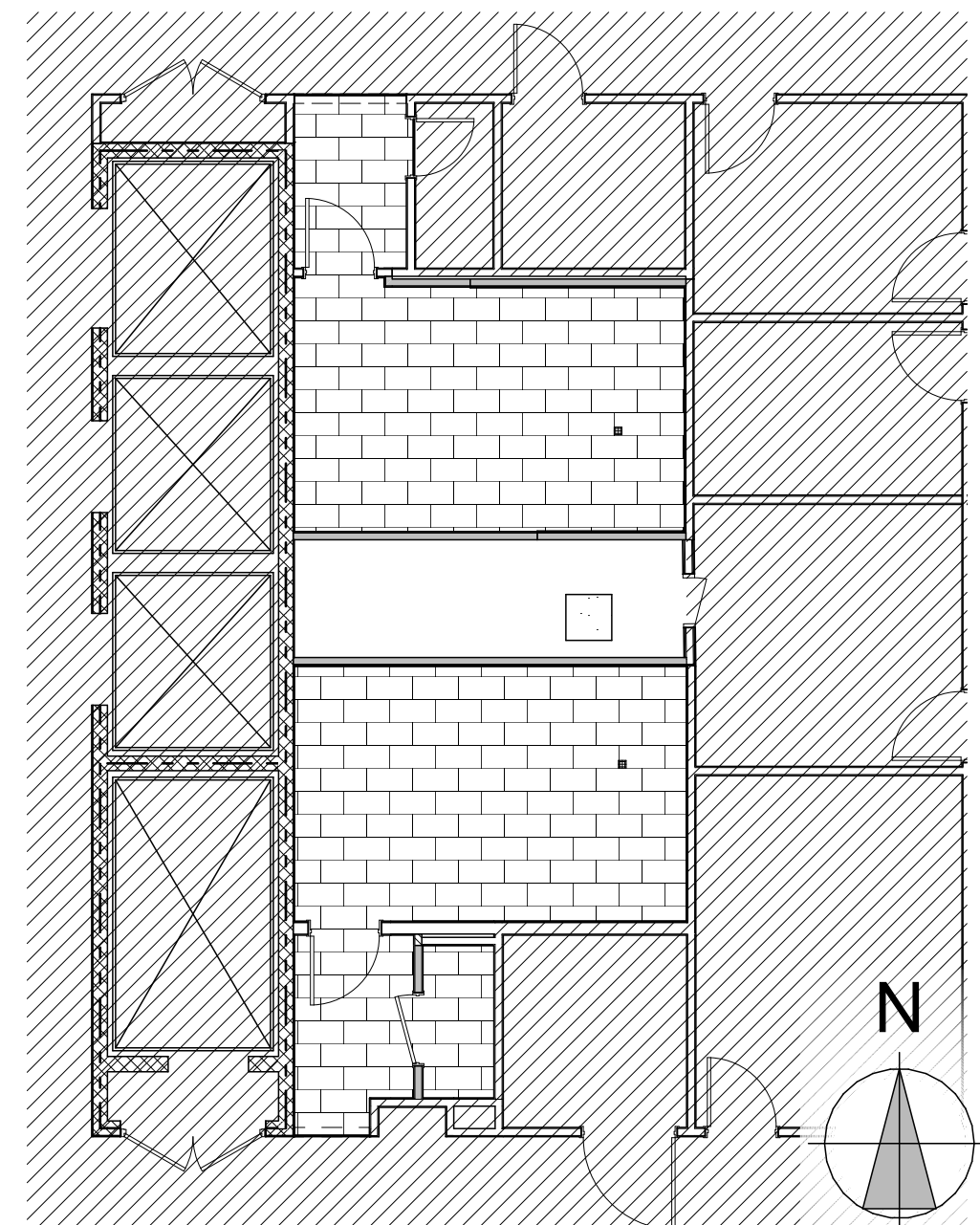
1 FINISH SCHEDULE
A000

DOOR# / HARDWARE	LOCATION	QUAN.	FIRE RATING	UNIT SIZE		DOOR		FRAME		GLAZING	NOTES
				WIDTH	HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH		
1A	TO RESTROOMS	16	---	3'	7'	HM	P2	HM	P2	---	
1B	TO STORAGE	8	---	3'	7'	HM	P2	HM	P2	---	

2 DOOR SCHEDULE
A000



3 DOOR ELEVATION
A000 SCALE: 1/4" = 1'-0"



4 FLOORING PATTERN PLAN
A000 SCALE: 1/8" = 1'-0"

FINISH SCHEDULE NOTES

NOTES

- PATCH AND LEVEL EXISTING FLOOR PRIOR TO INSTALLATION OF NEW FLOORING MATERIAL.
- SEE FLOORING PLANS AND ELEVATIONS FOR TILE PATTERNS AND LOCATIONS.
- FINISHES NOTED ARE BASIS OF DESIGN.
- INSTALL TILE TRANSITIONS:
 - COORDINATE TILE THICKNESS AND TRANSITION SIZES.
 - FINISH TO BE SATIN NICKLE ANODIZED ALUMINUM UNLESS OTHERWISE NOTED.
 - SCHLUTER RENO-U - BETWEEN TILE AND CARPET/VCT
 - SCHLUTER JOLLY- EXPOSED VERTICAL WALL TILE EDGES.
- ENSURE TILE INSTALLERS HAVE BEEN TRAINED TO USE SPECIFIED GROUT. APPLICATION IS UNLIKE TYPICAL CEMENTITIOUS PRODUCTS.
- PRIME AND PAINT ALL WALLS TWO COATS MIN. EACH.
- REPLACE CORRIDOR FINISHES AS NEEDED TO MATCH EXISTING. PATCH IN FLOORING, PAINT FROM CORNER TO CORNER, FLOOR TO CEILING. REPLACE WALL BASE FROM CORNER TO FRAMES.

FINISHES

FLOOR / WALL

- SEE A103 FOR FLOORING PATTERN AND AGOO ELEVATIONS FOR WALL TILE PATTERNS.
- SEE NOTE 4 ABOVE.

- F1 - FLOOR TILE - SHAW, VARIETAL, 12 X 24 MATTE, 00900 MIDNIGHT
GROUT: CUSTOM BUILDING PRODUCTS, FUSION PRO, 185 NEW TAUPE
- F2 - WALL TILE - CROSSVILLE, COLOR BY NUMBERS, 4X8, WT03 THREE HOUR TOUR, GLOSS
GROUT: CUSTOM BUILDING PRODUCTS, FUSION PRO, 545 BLEACHED WOOD
- F3 - CARPET - PATCH CORRIDORS AS NEEDED TO MATCH EXISTING; COORDINATE MATERIAL WITH BUILDING MANAGER / DMS

CEILING

- C1 - ACOUSTICAL CEILING TILE - USG, MILLENIA CLIMAPLUS, 24"x24"x3/4", WHITE, SLT 76705 WITH DOWN DX GRID
- EX - MATCH EXISTING

WALL BASE

- B1 - TILE - SHAW, VARIETAL, MATTE, 00900 MIDNIGHT, 3 x 12 BULLNOSE AND 12 x24 CUT TO 3 X 12 IN FULLY TILED PORTIO OF WALLS

- GROUT: CUSTOM BUILDING PRODUCTS, FUSION PRO, 185 NEW TAUPE
- B2 - VINYL BASE - MATCH EXISTING, COORDINATE MATERIAL WITH BUILDING MANAGER / DMS

PAINTS

- P1 - WALLS, RESTROOMS
SW 7631 CITY LOFT, EPOXY, EGG SHELL
- P2 - DOORS AND DOOR FRAMES
VESTIBULE SIDE - MATCH EXISTING ADJACENT DOORS, COORDINATE COLOR WITH BUILDING MANAGER / DMS
- RESTROOM SIDE - PPG 0998-7 UNDERCOVER, SEMIGLOSS
- P3 - WALLS - MATCH EXISTING (VESTIBULES, HALLS AND HEADERS)

MILLWORK / LAVATORIES

- QUARTZ - COSENTINO, SILESTONE, LAGOON, POLISHED, 2CM
- LAMINATE - WILSONART, 8208K-16 FAWN CYPRESS, CASUAL RUSTIC FINISH

TOILET PARTITIONS

- HDPE - SCRANTON PRODUCTS / HINY HIDERS, BRONZE, HAMMERED
- FLOOR MOUNTED OVERHEAD BRACED
 - 66" HIGH PANELS & DOORS, 9" A.F.F., W/OCCUPANCY INDICATOR LATCHES
 - HEADRAIL 83" A.F.F.
 - CONTINUOUS BRACKETS, SHIFLAP EDGE, AND NO SIGHT/GAP DOOR OPTION.
 - DOG HOUSE PANELS
 - ADA STALL DOORS W/SELF-CLOSING HINGES AND MIN. 32" CLEAR OPENINGS.
 - CLEAR DOOR SILENCERS, THREE PER DOOR

HARDWARE SCHEDULE

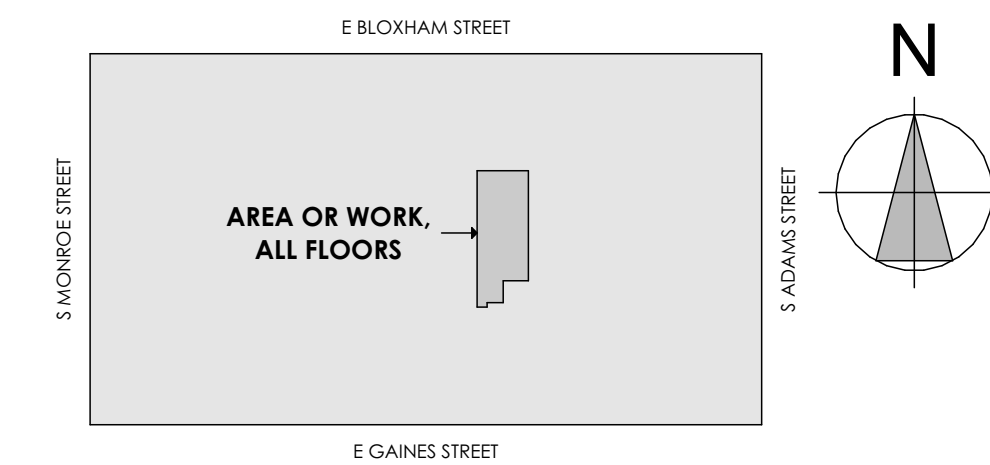
A DOOR 1 - TO RESTROOMS											
3 EA	HINGE	BB1279	4 1/2"x4 1/2"	626	HAGER						
1 EA	PULL HANDLE	BF158	1 1/2" CTC	630	ROCKWOOD						
1 EA	PUSH PLATE	70RCB	3 1/2"x15"	630	ROCKWOOD						
1 EA	CLOSER	4040XP RW/PA	----	689	LCN						
1 EA	KICK PLATE	K1050	8" x 34"	630	ROCKWOOD						
1 EA	WALL STOP	405	----	626	ROCKWOOD						
3 EA	SILENCERS	608	----	----	ROCKWOOD						
B DOOR 1 - TO STORAGE											
3 EA	HINGE	BB1279	4 1/2"x4 1/2"	626	HAGER						
3 EA	HINGE PIN STOP	528	----	NP	ROCKWOOD						
1 EA	STORAGE LOCKSET	CLX3357 NZD	----	626	CORBIN RUSSWIN						
(VERIFY LEVERSET STANDARD WITH BUILDING MANAGER)											
1 EA	KICK PLATE	K1050	8" x 34"	630	ROCKWOOD						
1 EA	KICK DOWN STOP	461	----	626	ROCKWOOD						
3 EA	SILENCERS	608	----	----	ROCKWOOD						

COORDINATE KEYING WITH BUILDING MANAGER.

DOOR NOTES

NOTE: FIELD VERIFY ALL DOOR DIMENSIONS PRIOR TO ORDERING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.

KEY PLAN



BUILDING DATA

AREA OF WORK - CENTRAL RESTROOM STACKS
FLETCHER BUILDING
OCCUPANCY: BUSINESS (B)
PROJECT SF: 4,951 SF
CONSTRUCTION TYPE: TYPE II-A, SPRINKLERED
ALTERATIONS TO EXISTING BUILDING: LEVEL II

OCCUPANCY: BUSINESS (B)
BUILDING SF: 217,376 SF.
SPRINKLERED
7 STORIES + BASEMENT

OCCUPANT LOAD

NOT APPLICABLE - UNOCCUPIED SUPPORT SPACES ONLY

TABLE 403.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (SEE SECTIONS 403.1.1 AND 403.2)

CLASSIFICATION / DESCRIPTION	WATER CLOSETS (URNALS; SEE SECTION 424.2)		LAVATORIES		BATHTUBS / SHOWERS	DRINKING FOUNTAIN (SEE SECTION 410)	OTHER
	MALE	FEMALE	MALE	FEMALE			
BUSINESS	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER, EXCEEDING 50	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER, EXCEEDING 80	---	---	---	1 PER 100	1 SERVICE SINK
LARSON: 26,936 SF PER FLOOR / 150 GROSS (OCCUPANT LOAD FACTOR) = 180 OCCUPANTS 90 MEN / 90 WOMEN	90-50 = 40 (2) + 40/50 = .8 (1)	90-80 = 10 (3)	3 REQUIRED	3 REQUIRED	---	---	EXISTING NOT IN SCOPE
FLETCHER: 27,582 SF PER FLOOR / 150 GROSS (OCCUPANT LOAD FACTOR) = 184 OCCUPANTS 92 MEN / 92 WOMEN	92-50 = 42 (2) + 42/50 = .84 (1)	92-80 = 12 (3)	3 REQUIRED	3 REQUIRED	---	---	EXISTING NOT IN SCOPE
	4 PROVIDED	4 PROVIDED	4 PROVIDED	4 PROVIDED	---	---	---

ABBREVIATIONS

N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISH FLOOR
SIM.	SIMILAR
TYP.	TYPICAL
MIR.	MIRROR
EX	EXISTING
WD	WOOD
HM	HOLLOW METAL
ST	STAIN

CONSULTANTS

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FLETCHER BUILDING, DESIGN RESTROOM REPAIR AND RENOVATIONS
FLORIDA DEPARTMENT OF MANAGEMENT SERVICES
TALLAHASSEE, FLORIDA

CONSTRUCTION DOCUMENTS

PROJ. NO. 176925
DATE 02/26/2026
DRAWN TR
CHECKED JH
APPROVED JS
REVISION
REVISION DATE

SCHEDULES & NOTES

A000

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DEMOLITION PLANS

A100

LEGEND

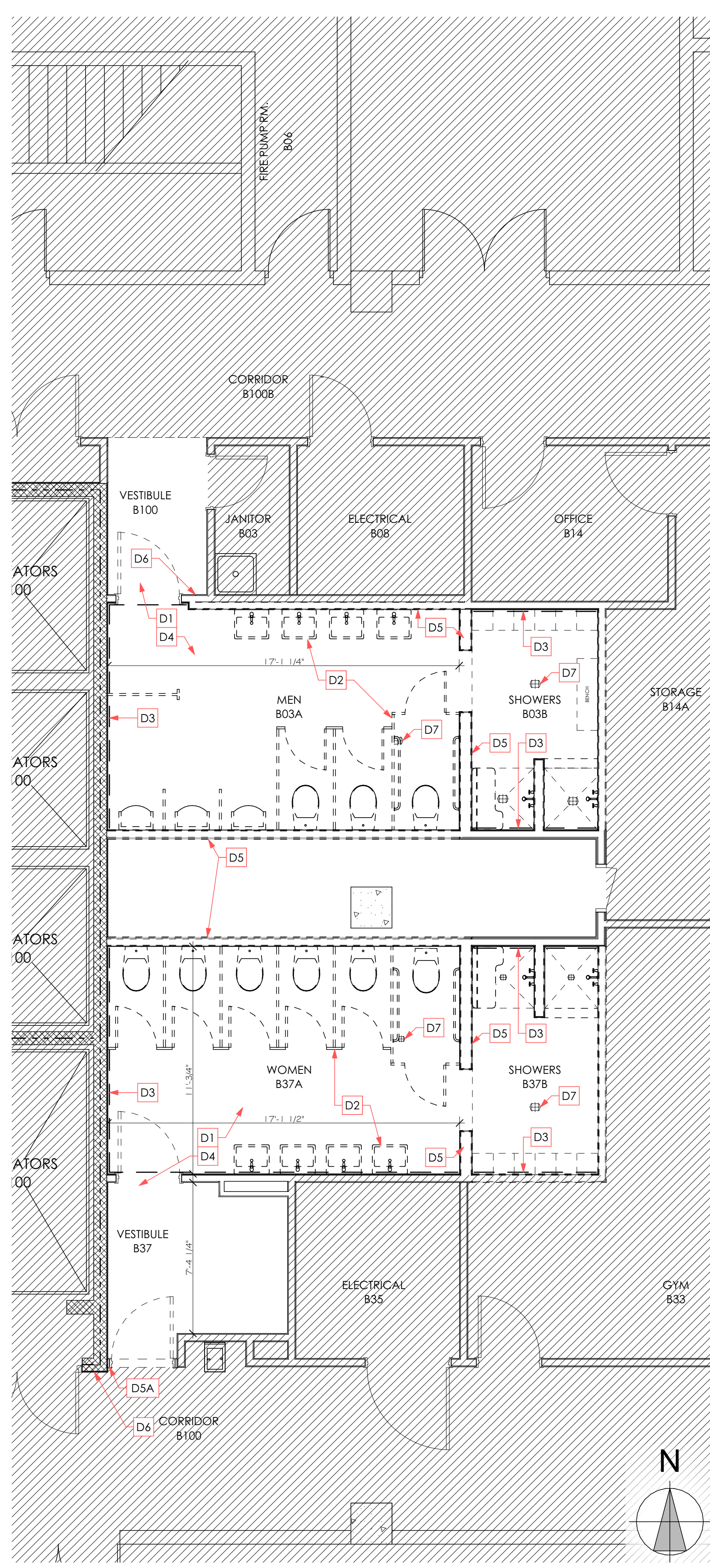
- NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- WORK LEGEND NOTE
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- EX EXISTING
- WD WOOD
- HM HOLLOW METAL
- ST STAIN
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES
- EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS
- EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS
- ELEVATION/SECTION NUMBER
- SHEET NUMBER
- ROOM NAME, NUMBER
- REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS

DEMOLITION NOTES

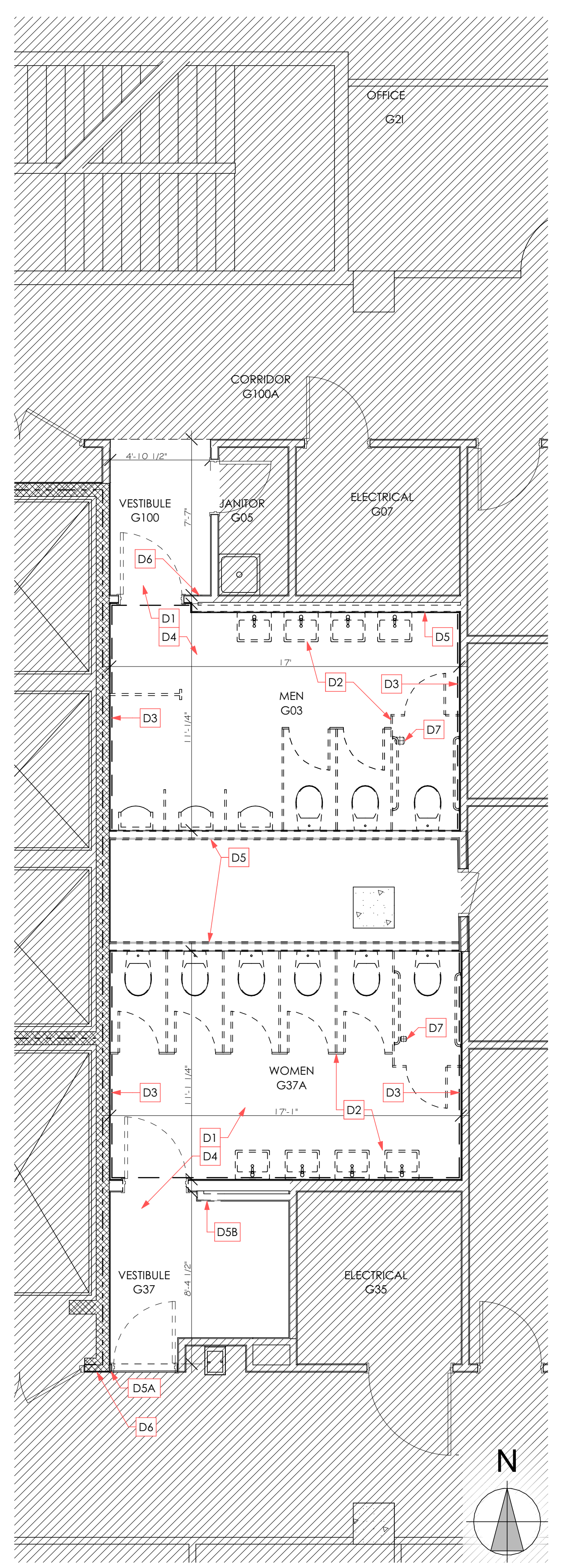
THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL ITEMS TO BE REMOVED AND COORDINATE WITH RENOVATION DRAWINGS. ENSURE ALL EQUIPMENT TO REMAIN IS STRAPPED AND SECURED TO THE STRUCTURE.

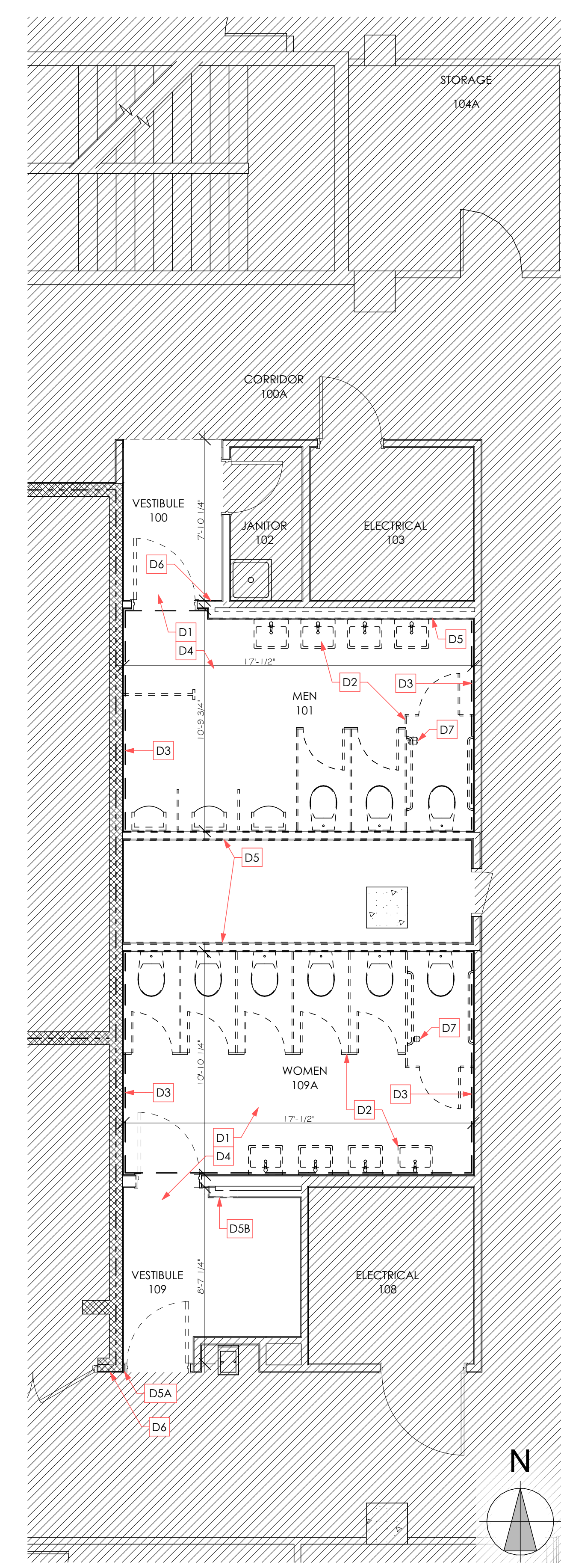
- D1** REMOVE EXISTING GYPSUM CEILINGS, LIGHTS AND DIFFUSERS THROUGHOUT AREA OF WORK. COORDINATE WITH ENGINEER'S DRAWINGS. IN MEN'S VESTIBULES, CREATE HEADER FROM EXISTING CEILING AT EXISTING HEIGHT. IN WOMEN'S VESTIBULE, CREATE HEADER FROM EXISTING WALL, MIN. 7'-10" A.F.F.; COORDINATE WITH ARCHITECT.
- D2** REMOVE EXISTING PLUMBING FIXTURES, TOILET ACCESSORIES, AND TOILET PARTITIONS AS INDICATED ON PLAN. COORDINATE WITH ENGINEER'S DRAWINGS.
- D3** REMOVE EXISTING TILE WALL FINISH AND BACKER BOARD, INDICATED BY DASHED LINE, TO STUDS ON ALL RESTROOM WALLS TO REMAIN.
- D4** REMOVE EXISTING FLOORING AND TILE WALL BASE DOWN TO SOUND SUBSTRATE. PREP SUBSTRATE TO RECEIVE NEW MATERIALS. WHEN REMOVING TILE, USE APPROPRIATE REMOVAL METHOD TO PROTECTS INTEGRITY OF EXISTING PRECAST CONCRETE SLABS.
- D5** REMOVE EXISTING PARTITION/ PORTION OF EXISTING PARTITION. PROTECT ADJACENT SURFACES TO REMAIN.
 - A IF CORRIDOR CEILING REQUIRES PARTIAL REMOVAL, SALVAGE TILES FOR REINSTALLATION AND REPAIR GRID.
 - B VERIFY IF VESTIBULE CHASE IS IN USE. IF IN USE, CUT BACK PORTION OF WALL SO THAT 1'8" EDGE OF DOOR TO WALL ADA REQUIREMENT IS MET. SEE A103. IF NOT IN USE, REMOVE ENTIRE LENGTH OF CHASE WALL.
- D6** REMOVE AND STORE EXISTING RESTROOM SIGNAGE, TO BE REINSTALLED.
- D7** EXISTING ROUND FLOOR DRAIN TO BE CHANGED TO A SQUARE DRAIN IN RESTROOMS, REMOVED IN SHOWERS. SEE P SHEETS.



1 BASEMENT DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 A100



2 GROUND FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 A100



3 FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 A100

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DEMOLITION PLANS

A101

LEGEND

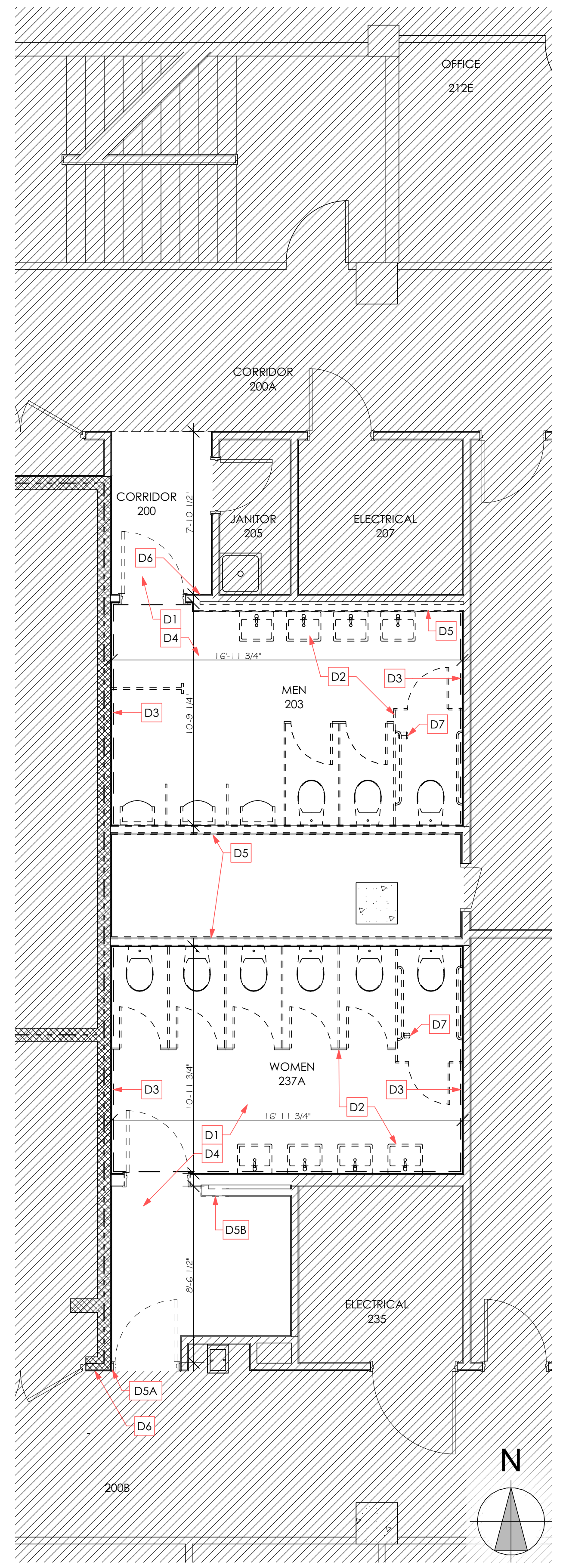
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- ELEVATION/SECTION NUMBER
A500 SHEET NUMBER
- ROOM 000 ROOM NAME, NUMBER
- REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS

DEMOLITION NOTES

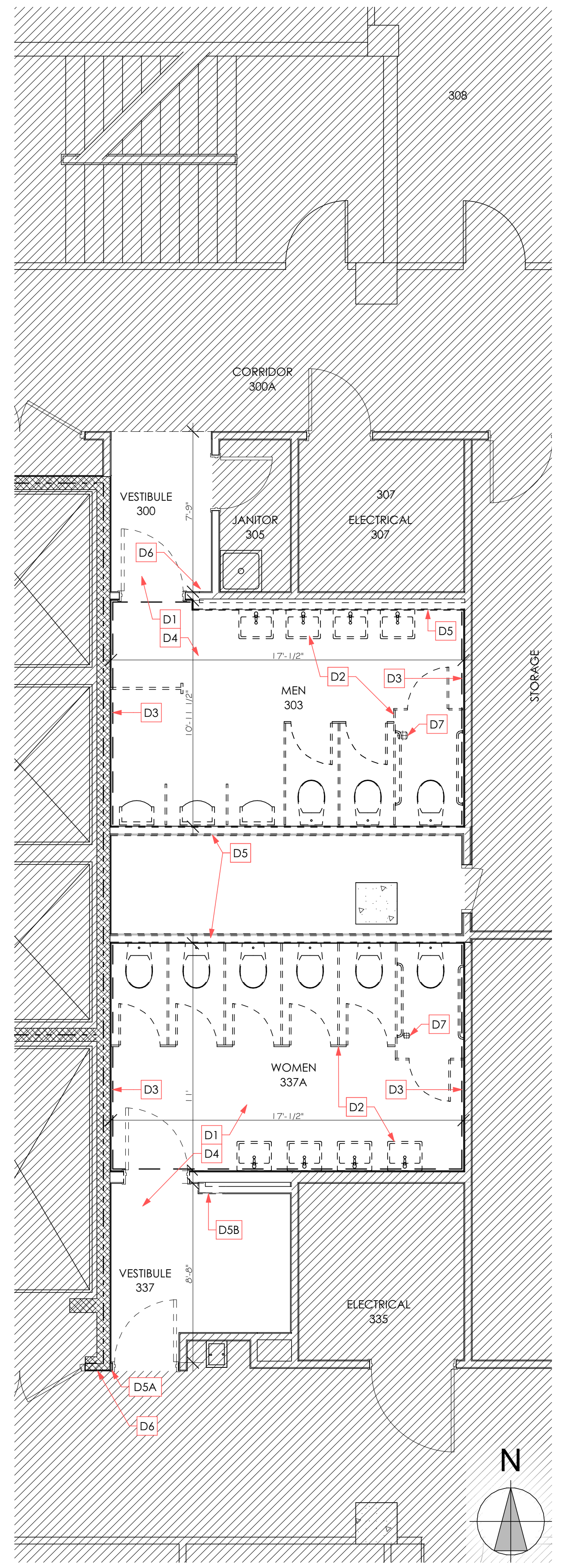
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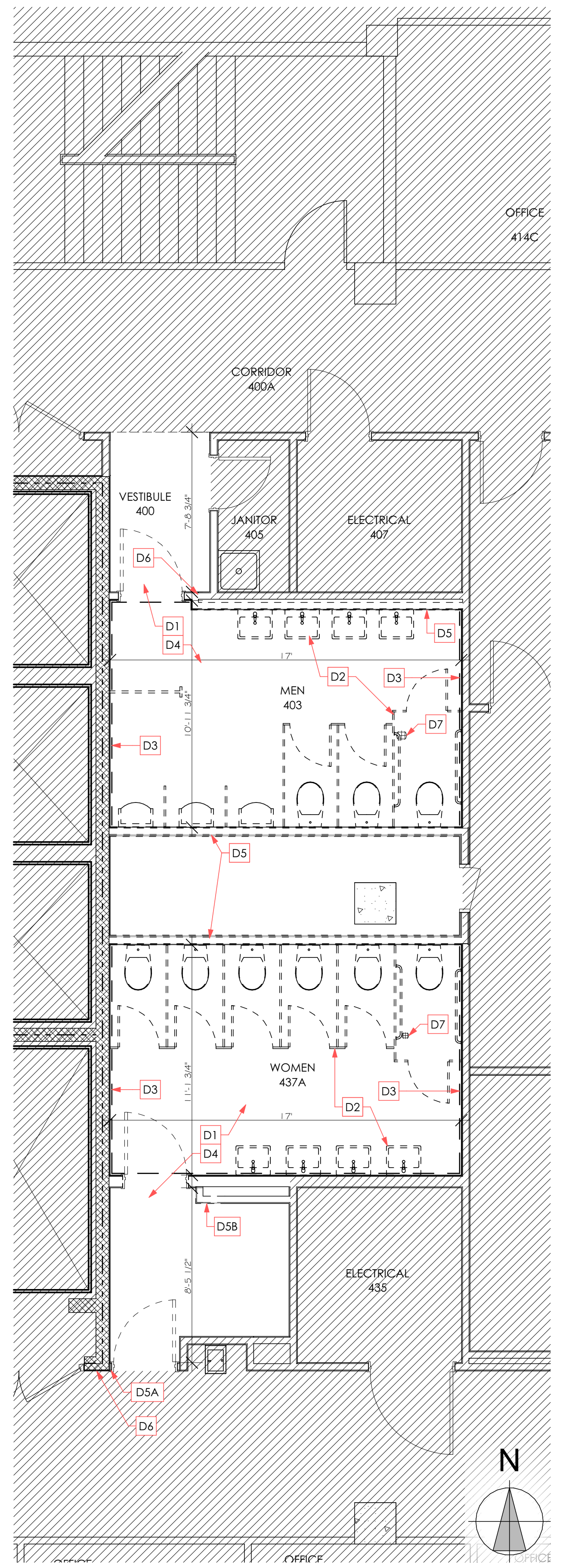
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1 SECOND FLOOR DEMOLITION PLAN
 A101 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR DEMOLITION PLAN
 A101 SCALE: 1/4" = 1'-0"



3 FOURTH FLOOR DEMOLITION PLAN
 A101 SCALE: 1/4" = 1'-0"

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FLETCHER BUILDING, DESIGN RESTROOM
 REPAIR AND RENOVATIONS
 FLORIDA DEPARTMENT OF MANAGEMENT SERVICES
 TALLAHASSEE, FLORIDA

CONSTRUCTION DOCUMENTS

PROJ. NO. 176925
 DATE 02/26/2026
 DRAWN TR
 CHECKED IH
 APPROVED JS
 REVISION
 REVISION DATE

DEMOLITION PLANS

A102

LEGEND

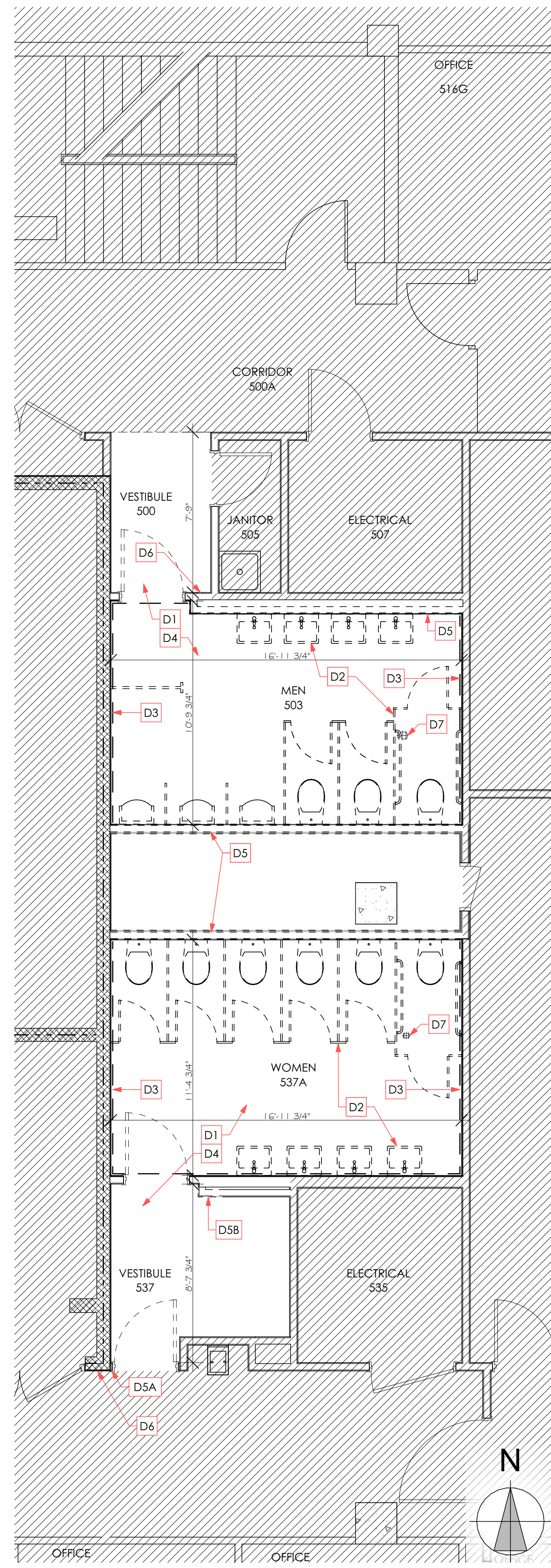
- NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- WORK LEGEND NOTE
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- EX EXISTING
- WD WOOD
- HM HOLLOW METAL
- ST STAIN
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES
- EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS
- EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS
- ELEVATION/SECTION NUMBER
A5004 SHEET NUMBER
- ROOM
000 ROOM NAME, NUMBER
- REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS

DEMOLITION NOTES

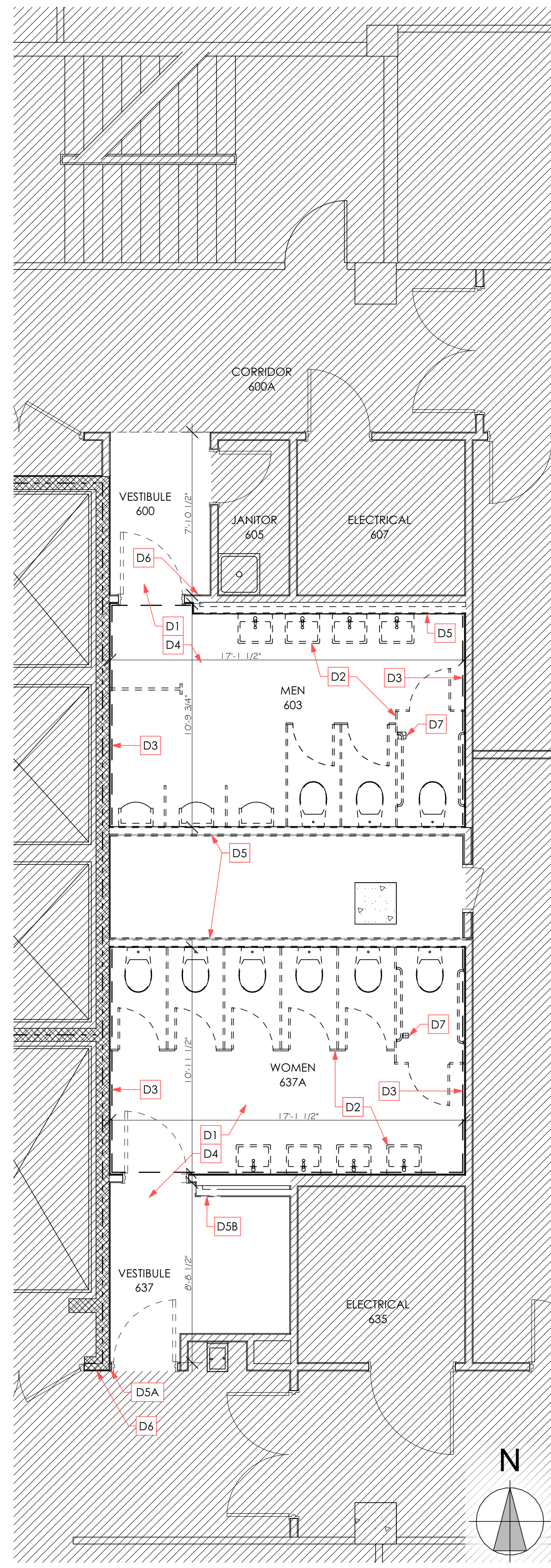
THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED.

FIELD VERIFY ALL ITEMS TO BE REMOVED AND COORDINATE WITH RENOVATION DRAWINGS. ENSURE ALL EQUIPMENT TO REMAIN IS STRAPPED AND SECURED TO THE STRUCTURE.

- D1** REMOVE EXISTING GYPSUM CEILINGS, LIGHTS AND DIFFUSERS THROUGHOUT AREA OF WORK. COORDINATE WITH ENGINEER'S DRAWINGS. IN MEN'S VESTIBULES, CREATE HEADER FROM EXISTING CEILING AT EXISTING HEIGHT. IN WOMEN'S VESTIBULE, CREATE HEADER FROM EXISTING WALL, MIN. 7'-10" A.F.F.; COORDINATE WITH ARCHITECT.
- D2** REMOVE EXISTING PLUMBING FIXTURES, TOILET ACCESSORIES, AND TOILET PARTITIONS AS INDICATED ON PLAN. COORDINATE WITH ENGINEER'S DRAWINGS.
- D3** REMOVE EXISTING TILE WALL FINISH AND BACKER BOARD, INDICATED BY DASHED LINE, TO STUDS ON ALL RESTROOM WALLS TO REMAIN.
- D4** REMOVE EXISTING FLOORING AND TILE WALL BASE DOWN TO SOUND SUBSTRATE. PREP SUBSTRATE TO RECEIVE NEW MATERIALS. WHEN REMOVING TILE, USE APPROPRIATE REMOVAL METHOD TO PROTECTS INTEGRITY OF EXISTING PRECAST CONCRETE SLABS.
- D5** REMOVE EXISTING PARTITION/ PORTION OF EXISTING PARTITION. PROTECT ADJACENT SURFACES TO REMAIN.
 - A IF CORRIDOR CEILING REQUIRES PARTIAL REMOVAL, SALVAGE TILES FOR REINSTALLATION AND REPAIR GRID.
 - B VERIFY IF VESTIBULE CHASE IS IN USE. IF IN USE, CUT BACK PORTION OF WALL SO THAT 1 8" EDGE OF DOOR TO WALL ADA REQUIREMENT IS MET. SEE A103. IF NOT IN USE, REMOVE ENTIRE LENGTH OF CHASE WALL.
- D6** REMOVE AND STORE EXISTING RESTROOM SIGNAGE, TO BE REINSTALLED.
- D7** EXISTING ROUND FLOOR DRAIN TO BE CHANGED TO A SQUARE DRAIN IN RESTROOMS, REMOVED IN SHOWERS. SEE P SHEETS.



1 FIFTH FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



2 SIXTH FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'

LEGEND

	NEW DOOR, SEE DOOR SCHEDULE, SHEET A000		EXISTING WALL TO REMAIN
	EXISTING DOOR TO REMAIN		EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO BE REMOVED		NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES
	WORK LEGEND NOTE		EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS
N.I.C.	NOT IN CONTRACT		EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS
A.F.F.	ABOVE FINISH FLOOR		ELEVATION/SECTION NUMBER
SIM.	SIMILAR		SHEET NUMBER
TYP.	TYPICAL		ROOM NAME, NUMBER
MIR.	MIRROR		REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS
EX	EXISTING		
WD	WOOD		
HM	HOLLOW METAL		
ST	STAIN		

RENOVATION NOTES

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FIELD VERIFY ALL DIMENSIONS. ALIGN NEW ITEMS WITH EXISTING STRUCTURE AS SHOWN ON DRAWINGS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED PARTITIONS, FLOORS AND CEILINGS.

ALL METAL STUD ANCHORAGE TO CONCRETE FLOOR AND CEILING STRUCTURE SHALL BE BY POWER DRIVEN FASTENERS AT 24" O.C. EXTEND ALL NEW WALLS TO METAL DECK ABOVE UNLESS OTHERWISE NOTED. INSTALL SOUND BAIT INSULATION BETWEEN STUDS IN HALLWAY WALL FOR SOUND ISOLATION.

INSTALL NEW FINISHES, FIXTURES AND ACCESSORIES AS LISTED/SHOWN ON SCHEDULES/ ELEVATIONS.

INSTALL SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

INSTALL NEW FLOORING AND CEILING TILE THROUGHOUT RENOVATED AREAS OF WORK. PREP FLOOR FOR INSTALLATION OF NEW MATERIALS. FLOORS TO BE LEVEL/EVEN, FLOAT ALL FLOORS FOR VCT. CONSULT ARCHITECT IF FLOOR LEVELER IS NEEDED. COORDINATE WITH FINISH SCHEDULE.

R1 INSTALL NEW PARTITION WALL. PARTITION TYPES:
 A - 3 5/8" METAL STUDS, TO DECK
 - 1/2" CEMENTITIOUS BACKER BOARD 6" ABOVE CEILING, GYP ABOVE TO DECK, ONE SIDE
 - TILE, 6" ABOVE CEILING, ONE SIDE, SEE FINISH SELECTIONS ON A000
 B - 3 5/8" METAL STUDS, TO DECK
 - 5/8" GYPSUM BOARD, TO DECK, EXPOSED SIDE(S)

R2 INSTALL NEW WALL GYPSUM BOARD ON EXISTING FRAMING/FURRING.

R3 FINISH EXISTING EXPOSED PARTITION/HEADER EDGES WHERE PORTIONS OF PARTITIONS/ CEILINGS WERE REMOVED. MEN'S HEADER TO MATCH EXISTING CEILING HEIGHT. WOMEN'S HEADER HEIGHT FINISH OUT AT 7'-10" MIN. ABOVE FINISHED FLOOR. COORDINATE WITH ARCHITECT. MATCH EXISTING MATERIALS AND FINISH.

R4 INSTALL IN WALL BLOCKING AND NEW MILLWORK. INCLUDE FRONT AND SIDE WATERFALL APRON AND UNDER COUNTER PANELS. CONFIRM BRACKET SPACING WITH QUARTZ MANUFACTURER. SEE ELEVATIONS AND DETAILS.

R5 INSTALL NEW TOILET PARTITIONS; SEE FINISH SCHEDULE NOTES, ELEVATIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

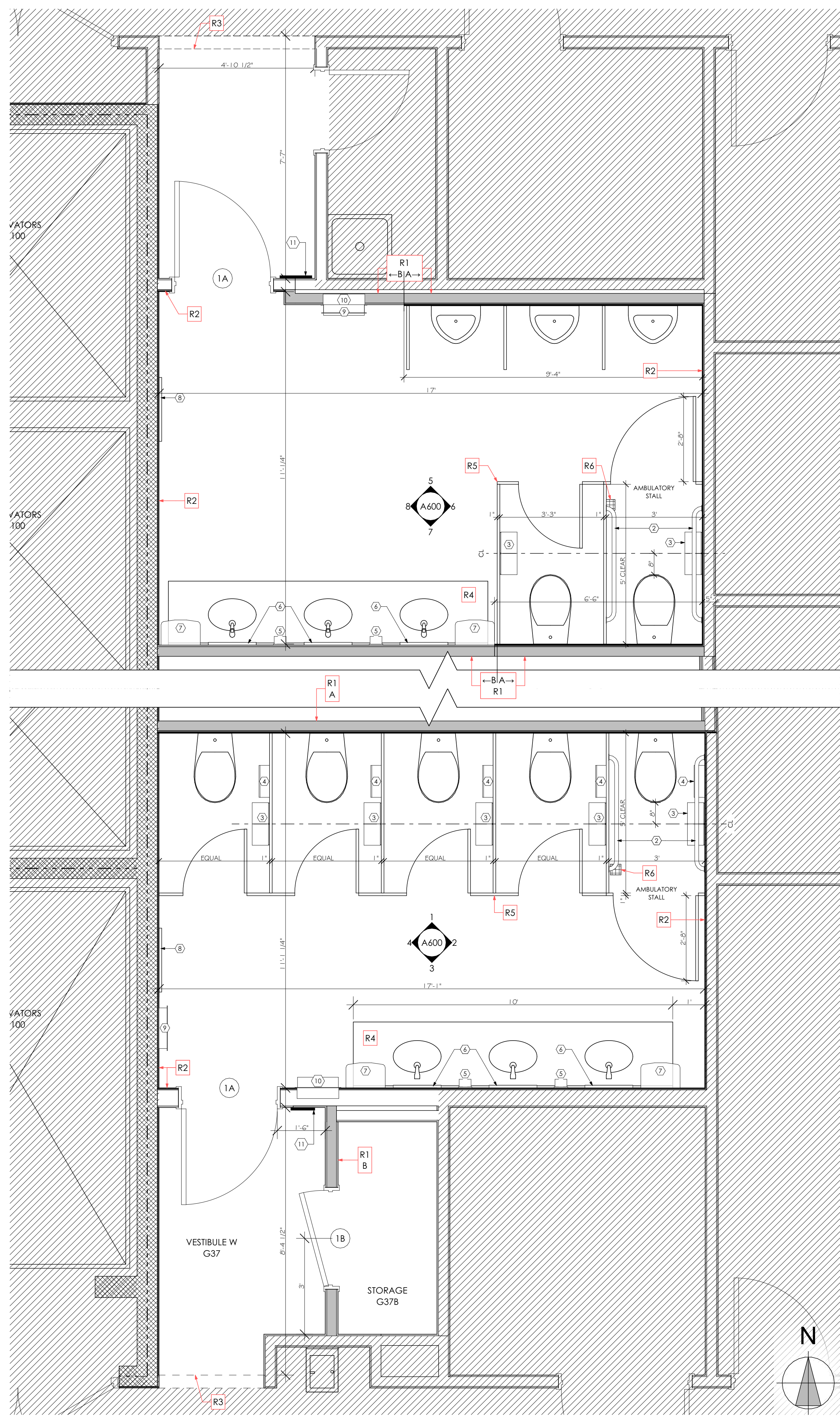
R6 NEW SQUARE FLOOR DRAIN. SEE P SHEETS.

ACCESSORY LEGEND

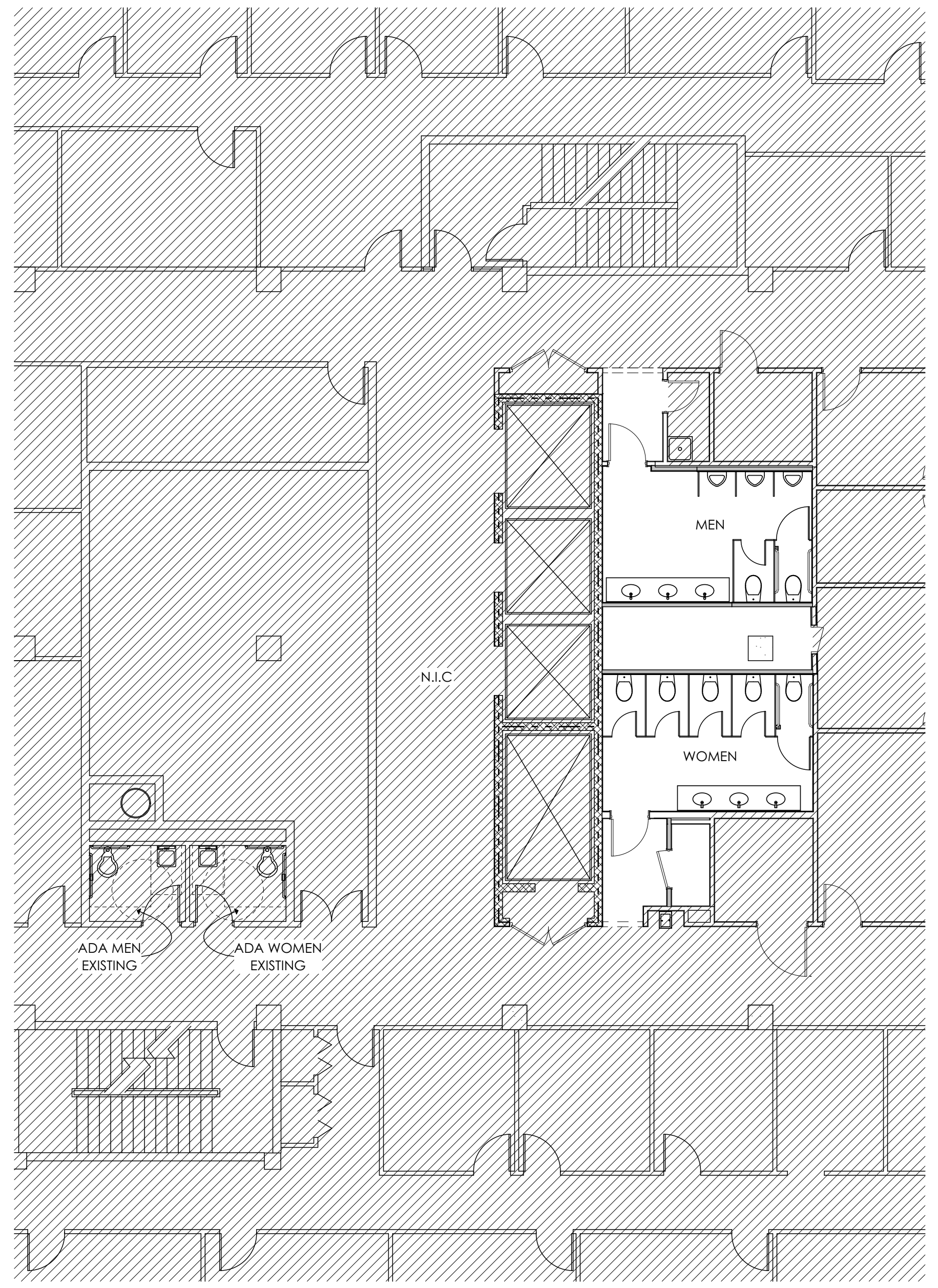
- (1) --- NOT USED ---
- (2) 42" GRAB BAR, MODEL NO. 3800P
- (3) TOILET TISSUE DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (4) SANITARY NAPKIN DISPOSAL, MODEL NO. 0852 (WOMEN'S ROOM ONLY)
- (5) SOAP DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (6) MIRROR, 18X36, 0600-1836
- (7) PAPER TOWEL DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (8) MIRROR, 24X60, 0600-2460
- (9) SEAT COVER DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (10) WASTE RECEPTACLE, 0458 (4" PROJECTION, 4" RECESS, 12 GALLONS)
- (11) ROOM SIGNAGE (REUSE EXISTING - PLASTIC SIGNAGE WITH RAISED BRAILLE AND BORDER. TO BE INSTALLED ADJACENT TO RESTROOM DOORS.

BASIS OF DESIGN: AMERICAN SPECIALTIES, UNLESS OTHERWISE SPECIFIED. ALL FINISHES TO BE STANDARD SATIN FINISH. ALL EXPOSED PIPES IN ADA RESTROOM SHALL BE WRAPPED.

NOTE: CONTRACTOR TO INSURE OWNER SUPPLIED ITEMS ARE INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS.



2 ENLARGED RENOVATION PLAN - TYPICAL W/ DETAILS
 SCALE: 1/2" = 1'-0"
 0 1' 2' 4'



1 ADA RESTROOM LOCATION PLAN - TYP. ALL FLOORS
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'

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RENOVATION PLANS

A104

LEGEND

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- WORK LEGEND NOTE
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- ELEVATION/SECTION NUMBER
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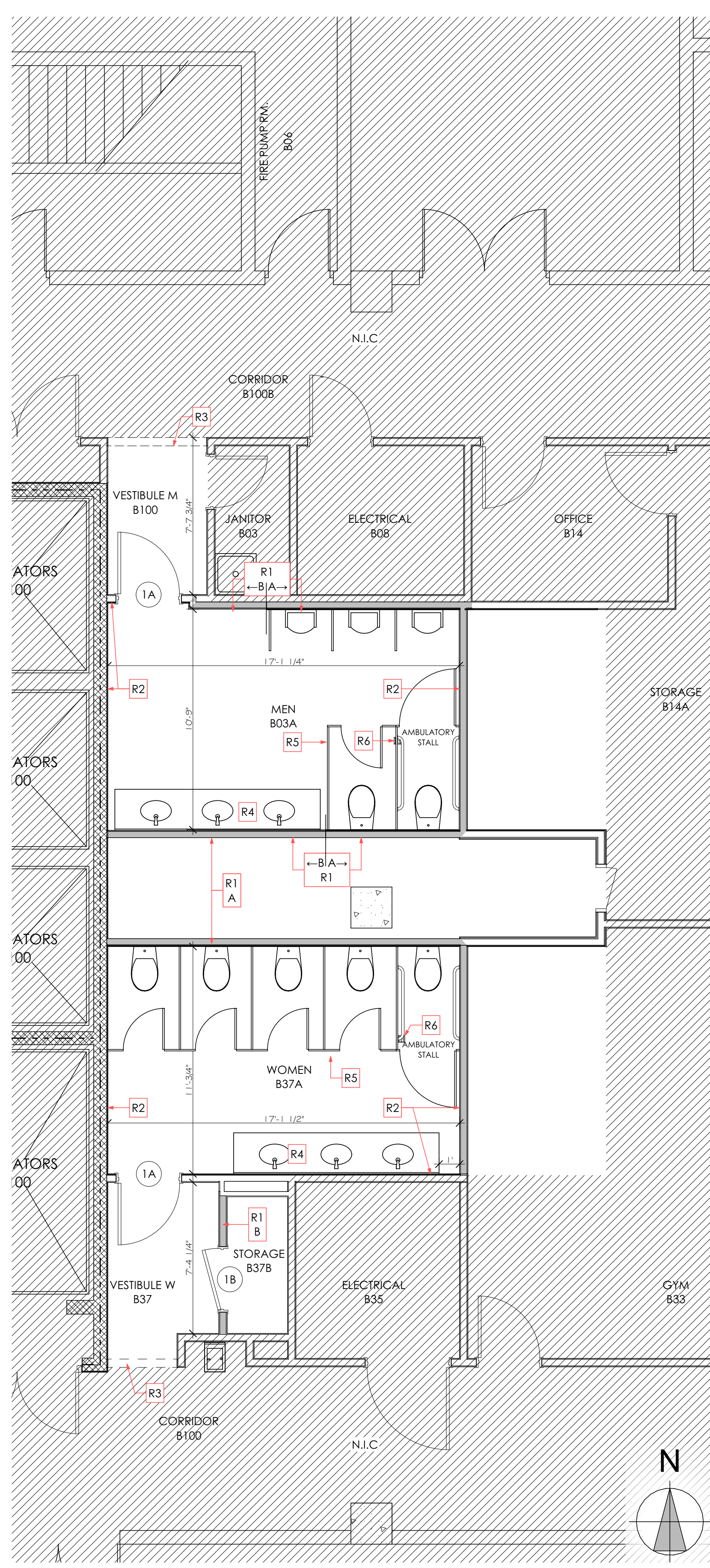
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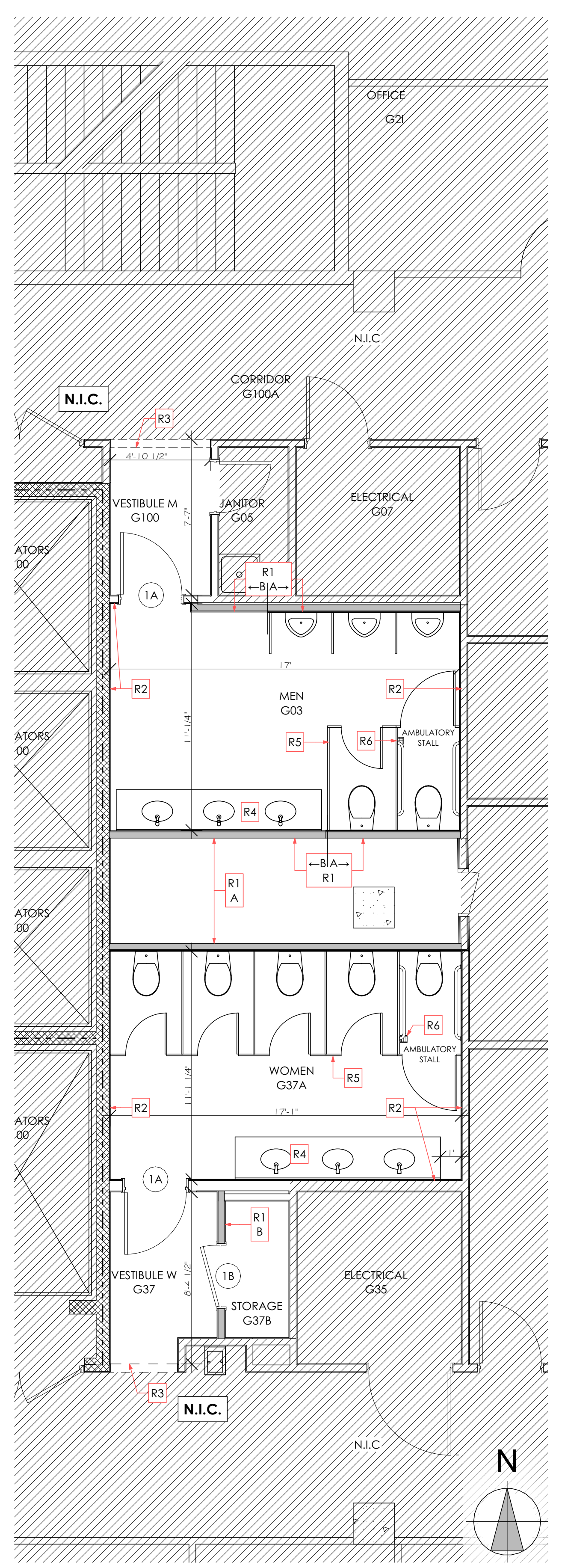
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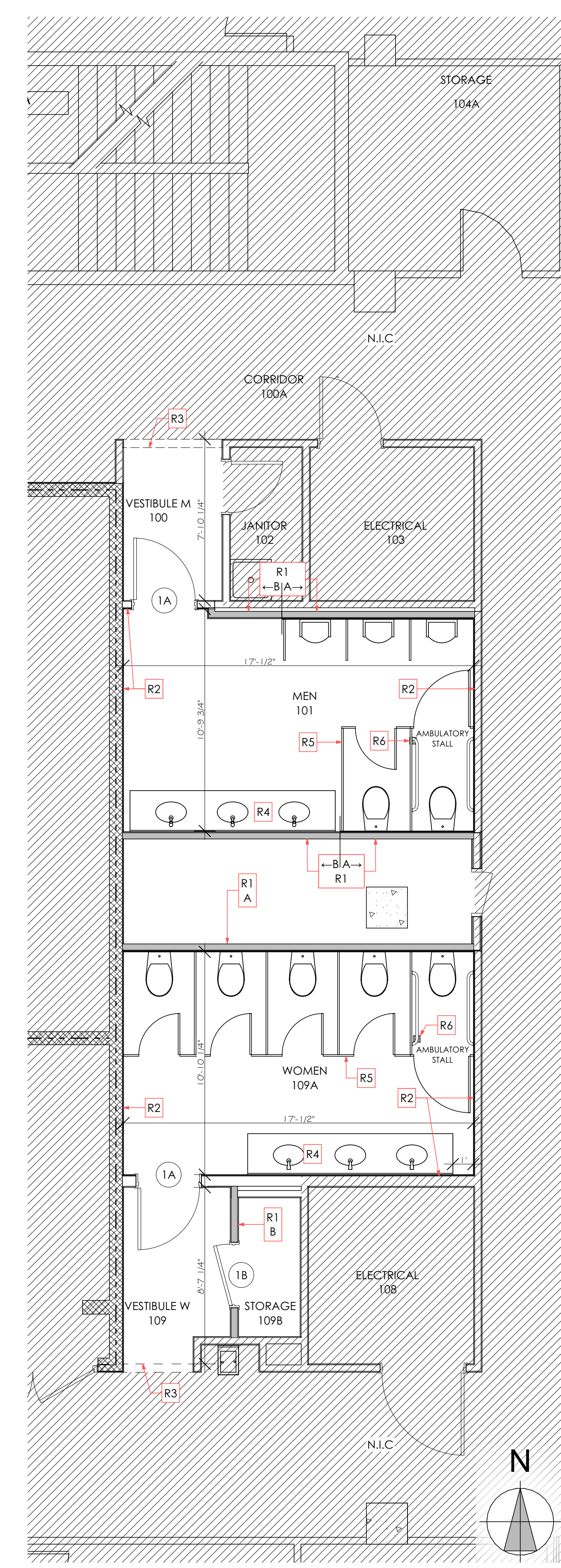
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- R5** INSTALL NEW TOILET PARTITIONS; SEE FINISH SCHEDULE NOTES, ELEVATIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- R6** NEW SQUARE FLOOR DRAIN. SEE P SHEETS.



1 BASEMENT RENOVATION PLAN
 SCALE: 1/4" = 1'-0"



2 GROUND FLOOR RENOVATION PLAN
 SCALE: 1/4" = 1'-0"



3 FIRST FLOOR RENOVATION PLAN
 SCALE: 1/4" = 1'-0"



LEGEND

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- ELEVATION/SECTION NUMBER
1
A500
SHEET NUMBER
- ROOM
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ROOM NAME, NUMBER
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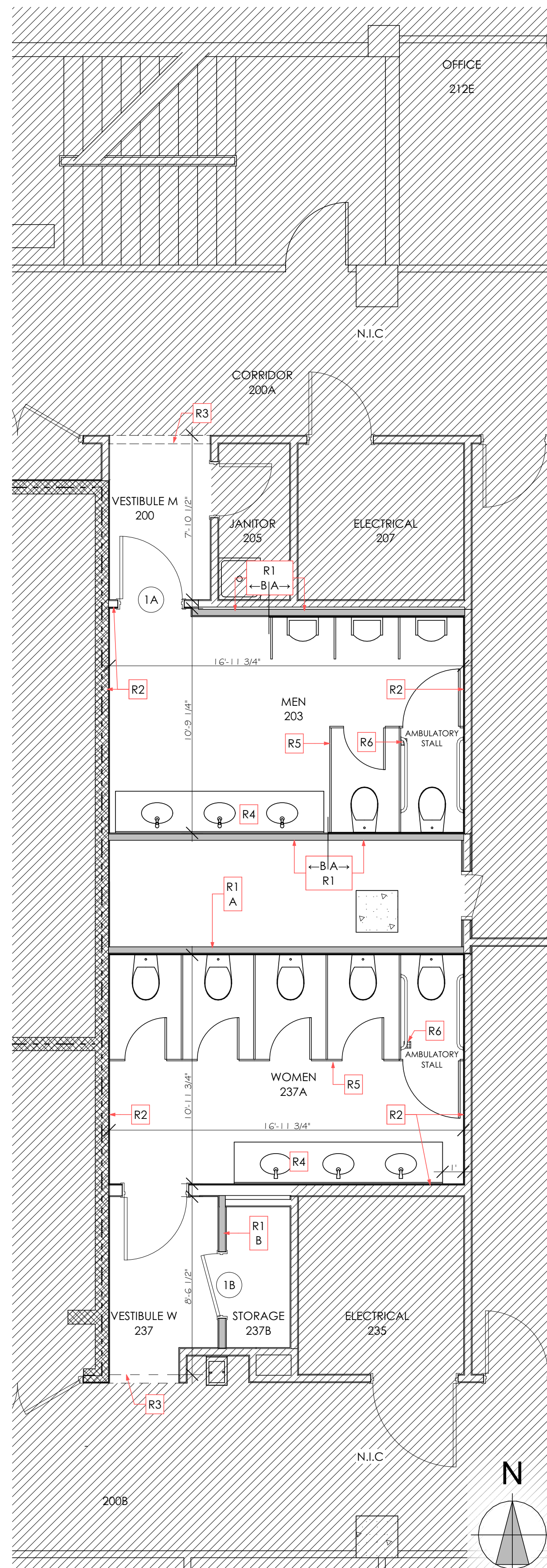
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INSTALL NEW FINISHES, FIXTURES AND ACCESSORIES AS LISTED/SHOWN ON SCHEDULES/ELEVATIONS.

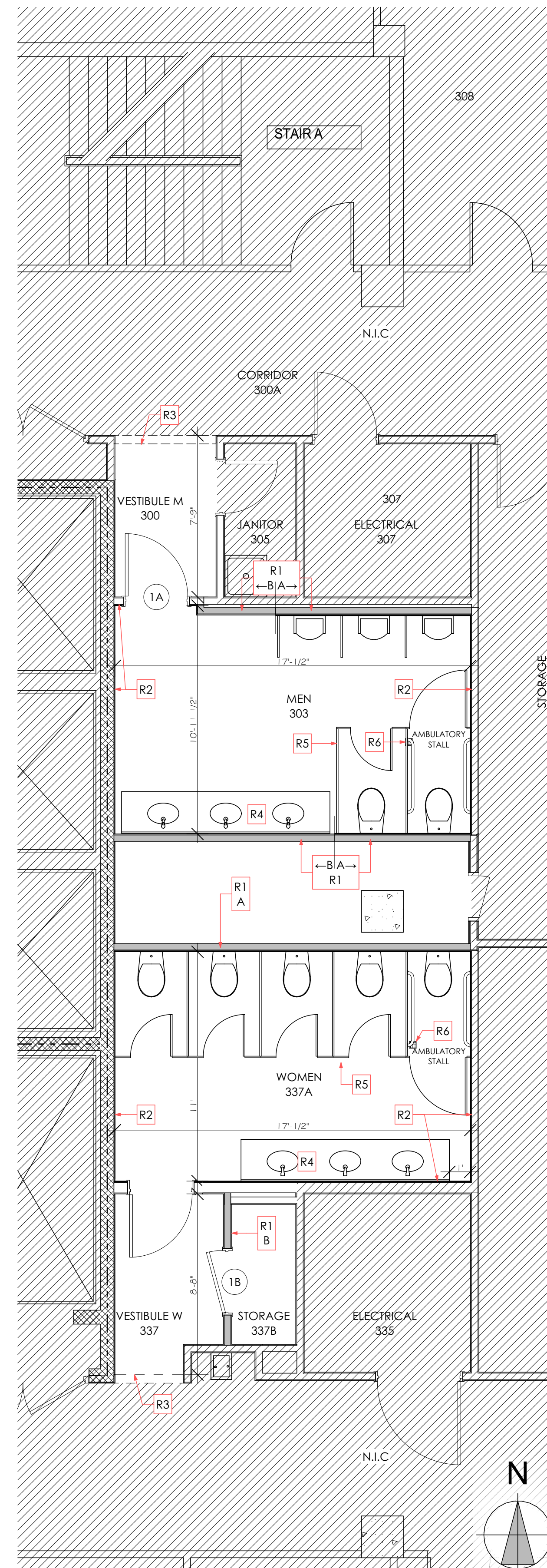
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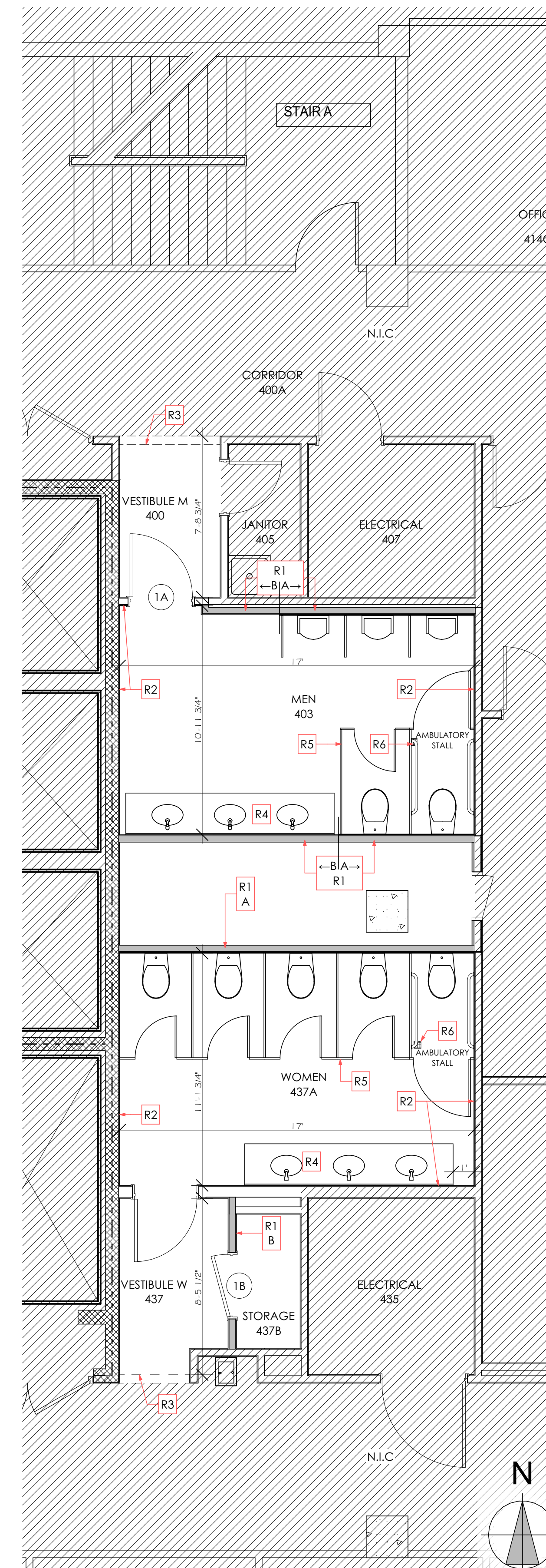
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- R6** NEW SQUARE FLOOR DRAIN. SEE P SHEETS.



1 SECOND FLOOR RENOVATION PLAN
 A105 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR RENOVATION PLAN
 A105 SCALE: 1/4" = 1'-0"



3 FOURTH FLOOR RENOVATION PLAN
 A105 SCALE: 1/4" = 1'-0"

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RENOVATION PLANS

A106

LEGEND

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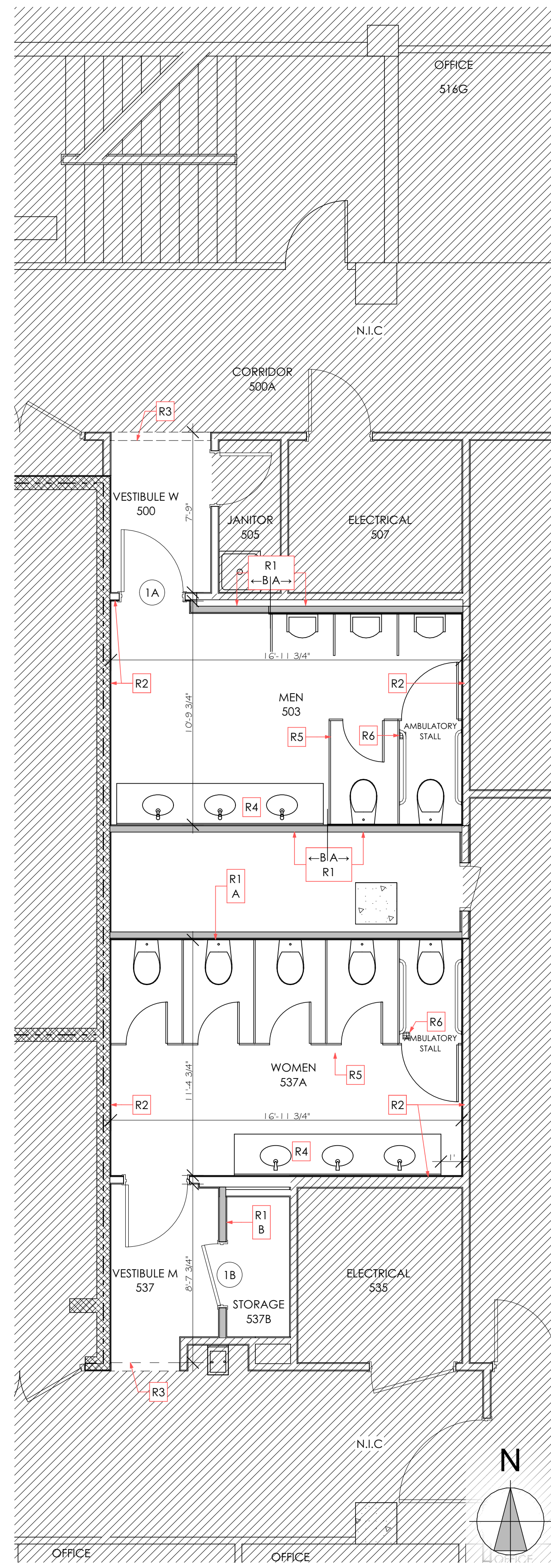
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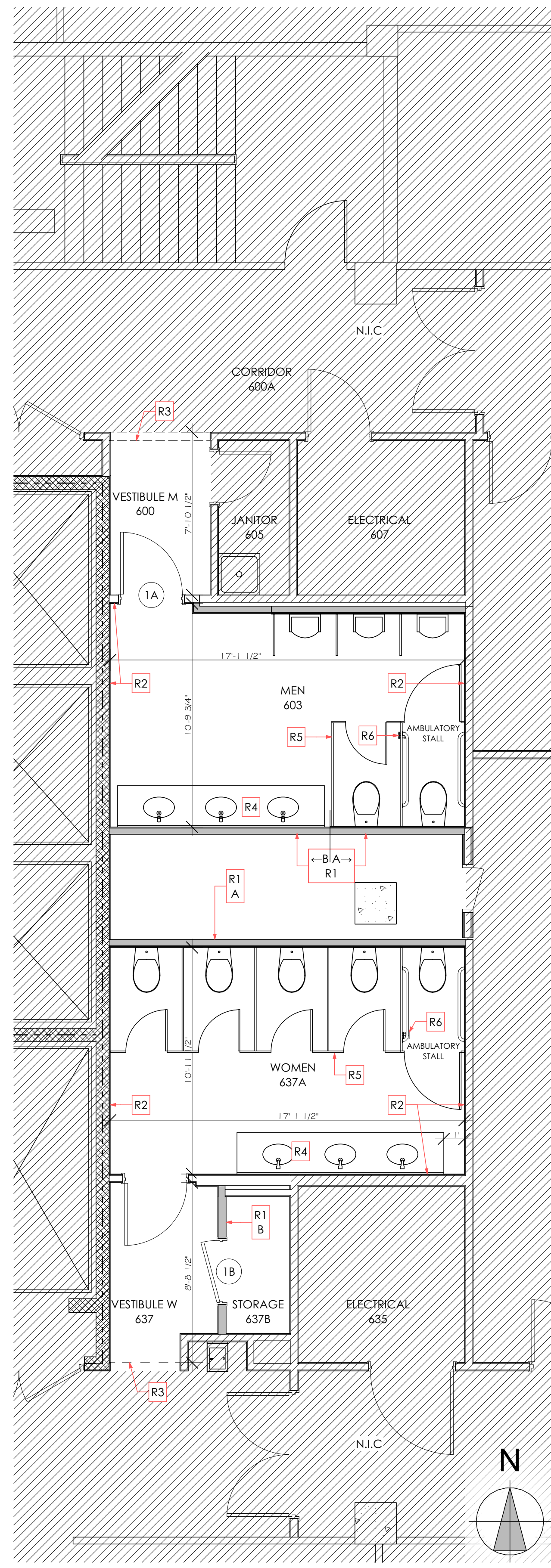
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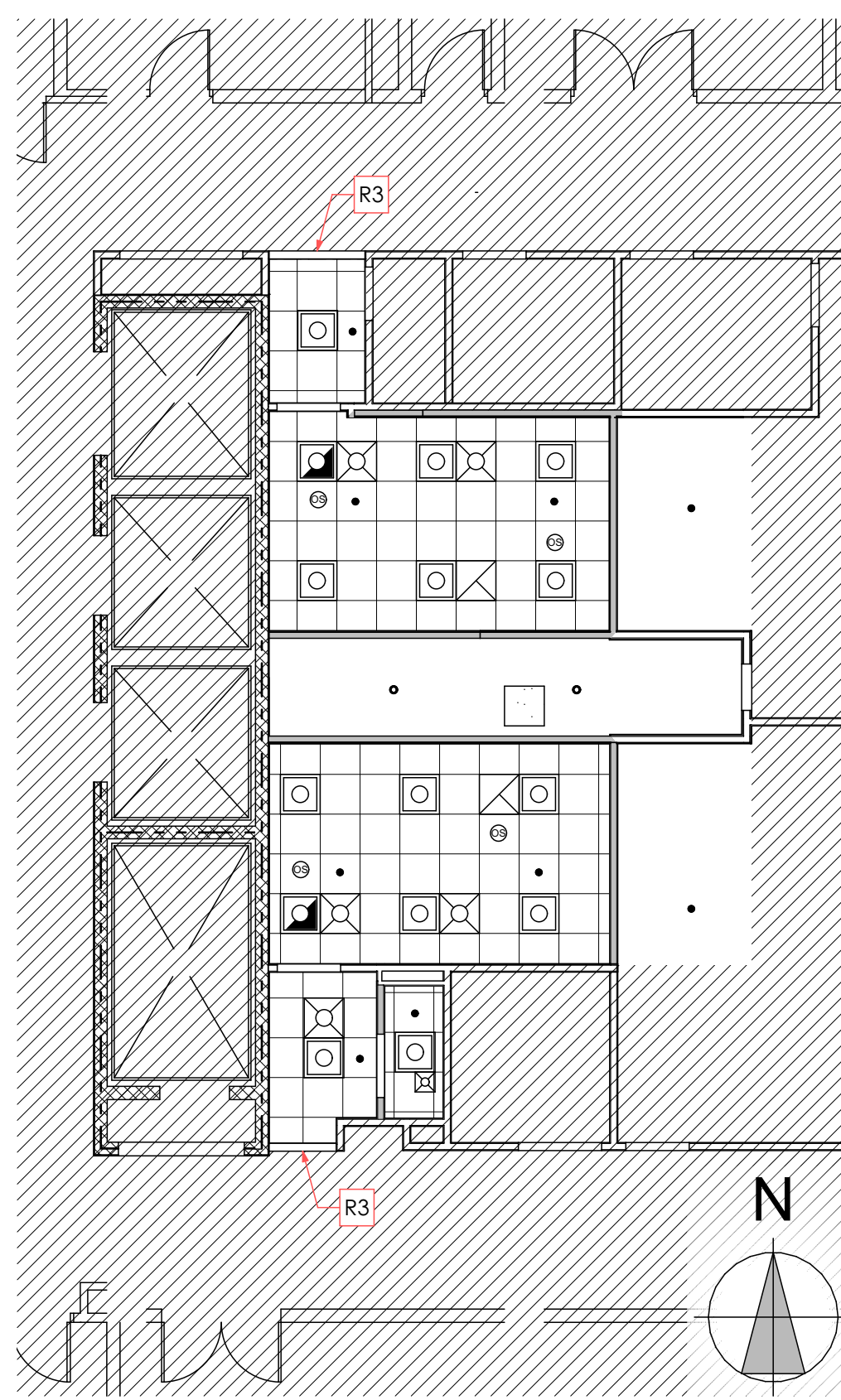
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- R2** INSTALL NEW WALL GYPSUM BOARD ON EXISTING FRAMING/FURRING.
- R3** FINISH EXISTING EXPOSED PARTITION/HEADER EDGES WHERE PORTIONS OF PARTITIONS/CEILINGS WERE REMOVED. MEN'S HEADER TO MATCH EXISTING CEILING HEIGHT. WOMEN'S HEADER HEIGHT FINISH OUT AT 7'-10" MIN. ABOVE FINISHED FLOOR. COORDINATE WITH ARCHITECT. MATCH EXISTING MATERIALS AND FINISH.
- R4** INSTALL IN WALL BLOCKING AND NEW MILLWORK. INCLUDE FRONT AND SIDE WATERFALL APRON AND UNDER COUNTER PANELS. CONFIRM BRACKET SPACING WITH QUARTZ MANUFACTURER. SEE ELEVATIONS AND DETAILS.
- R5** INSTALL NEW TOILET PARTITIONS; SEE FINISH SCHEDULE NOTES, ELEVATIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- R6** NEW SQUARE FLOOR DRAIN. SEE P SHEETS.



1 FIFTH FLOOR RENOVATION PLAN
 SCALE: 1/4" = 1'-0"

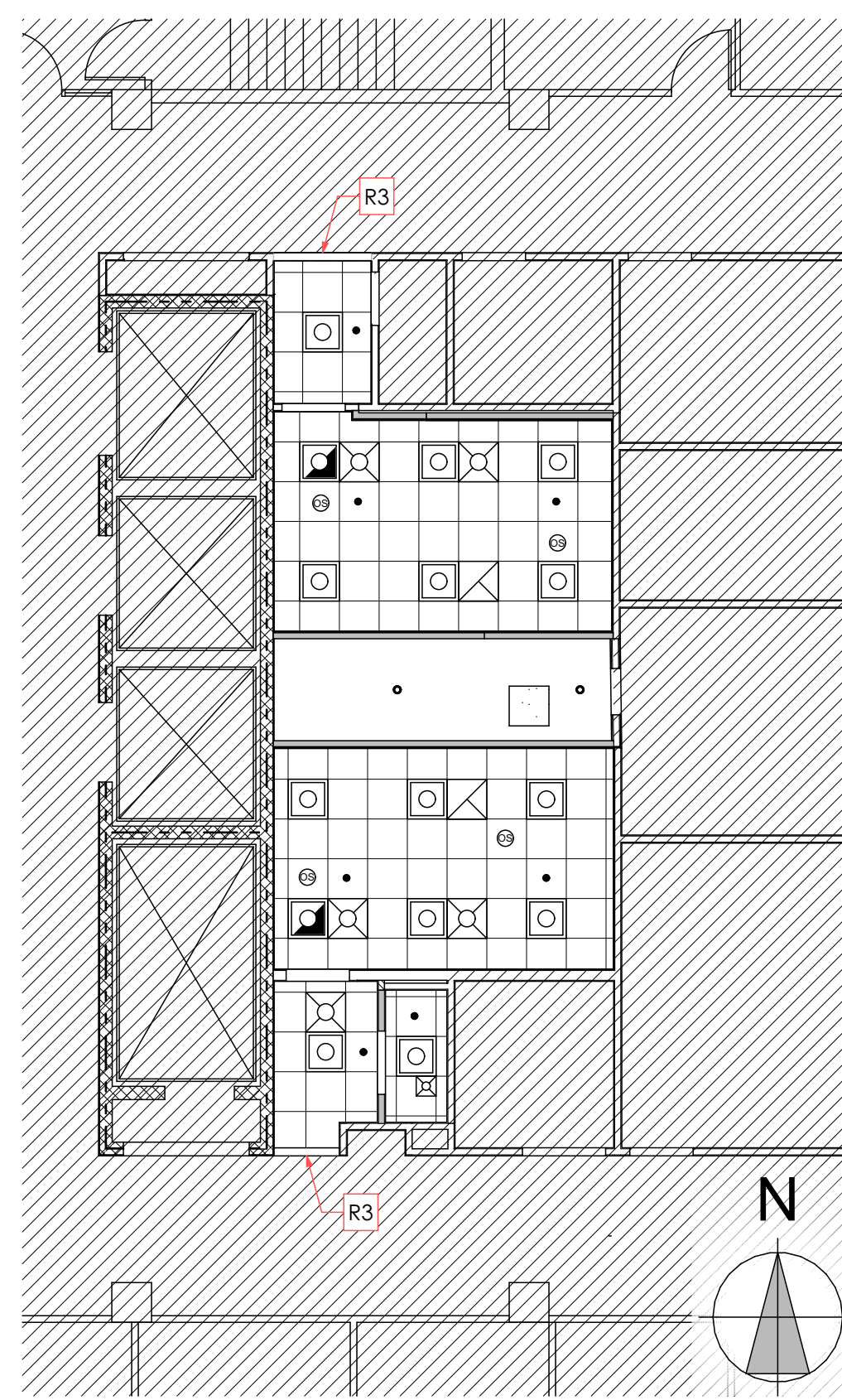


2 SIXTH FLOOR RENOVATION PLAN
 SCALE: 1/4" = 1'-0"



1
A400
BASEMENT REFLECTED
CEILING PLAN

SCALE: 1/8" = 1'-0" 0 4' 8' 16'



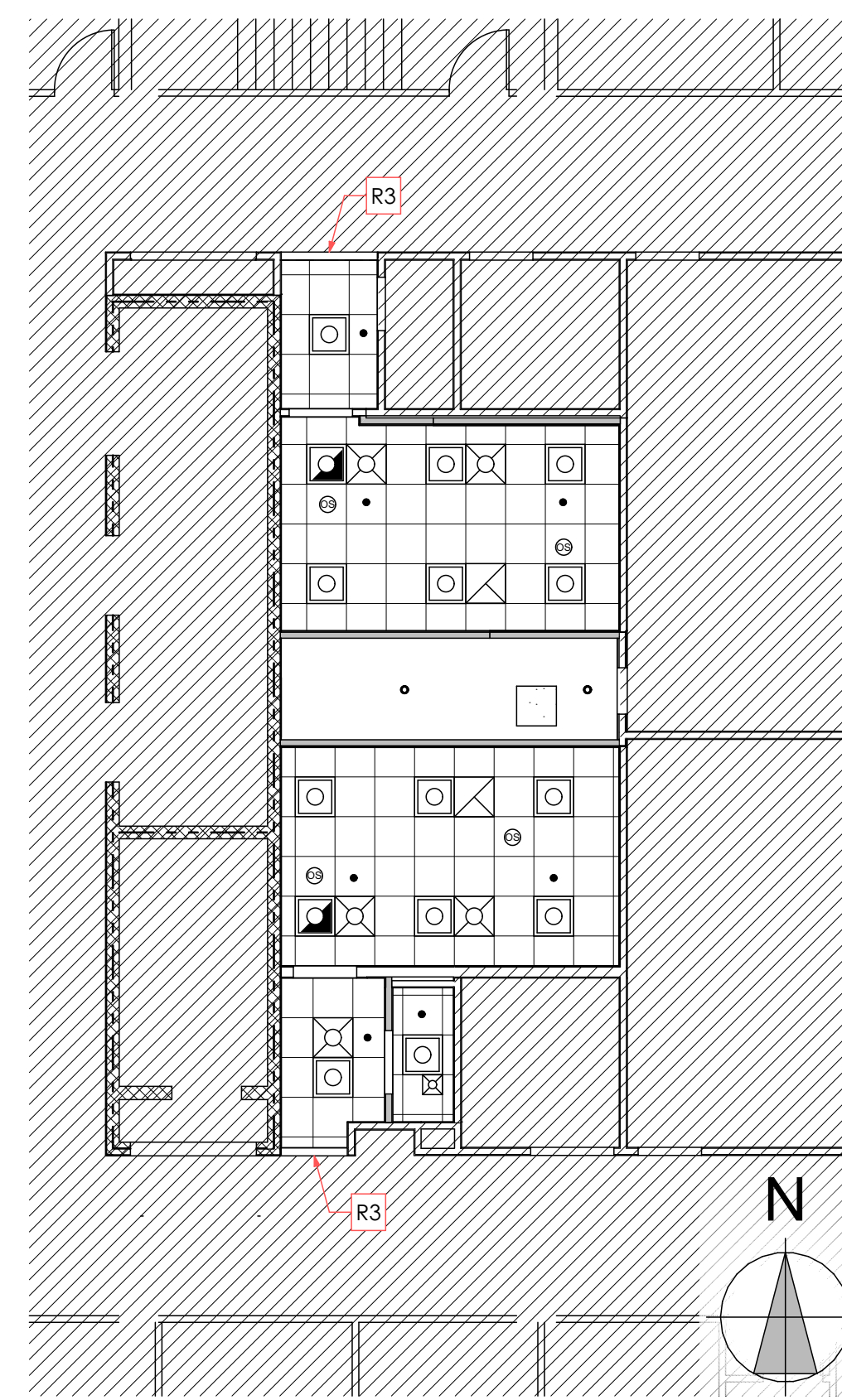
2
A400
GROUND FLOOR REFLECTED
CEILING PLAN

SCALE: 1/8" = 1'-0" 0 4' 8' 16'



3
A400
FIRST FLOOR REFLECTED
CEILING PLAN

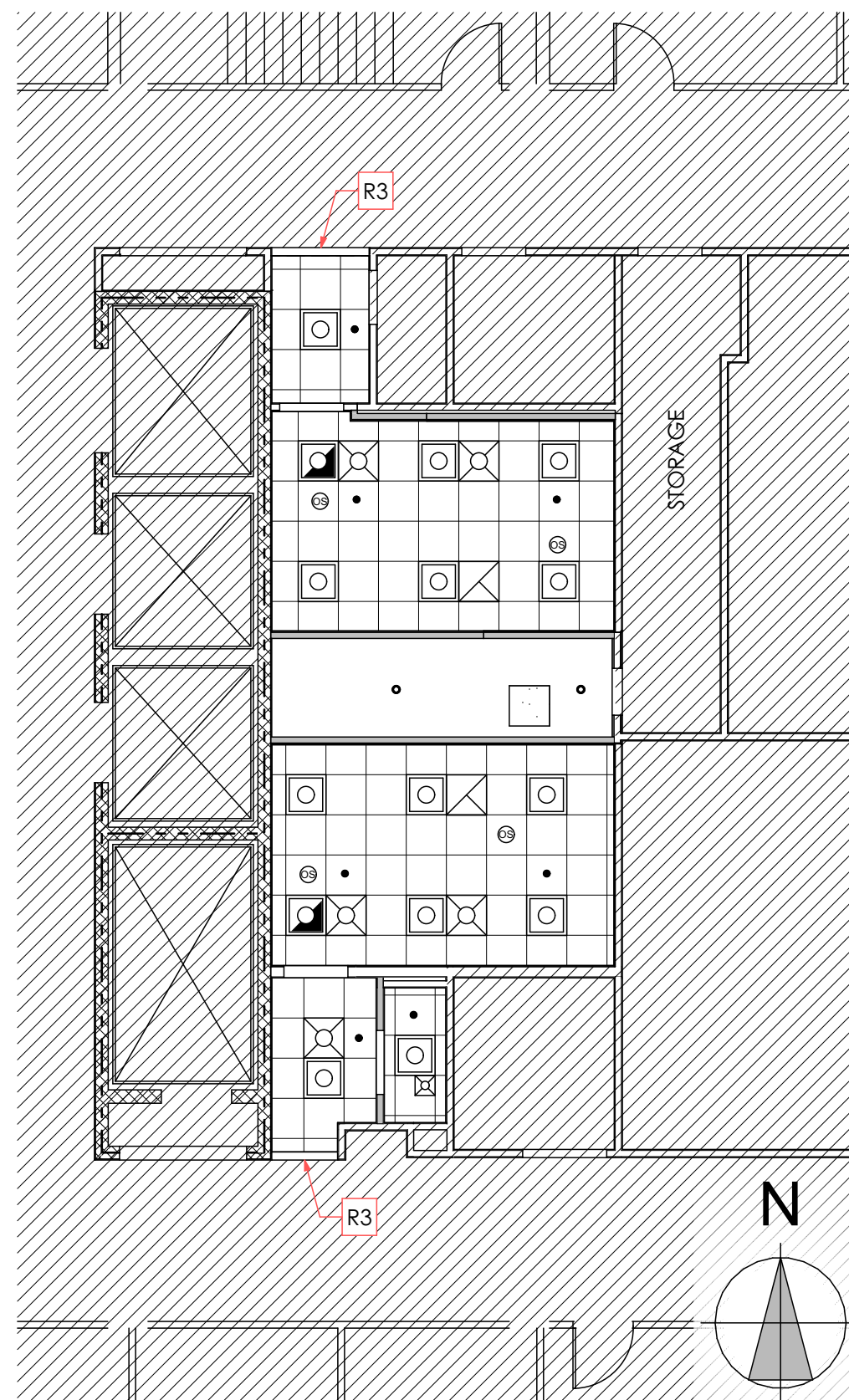
SCALE: 1/8" = 1'-0" 0 4' 8' 16'



4
A400
SECOND FLOOR REFLECTED
CEILING PLAN

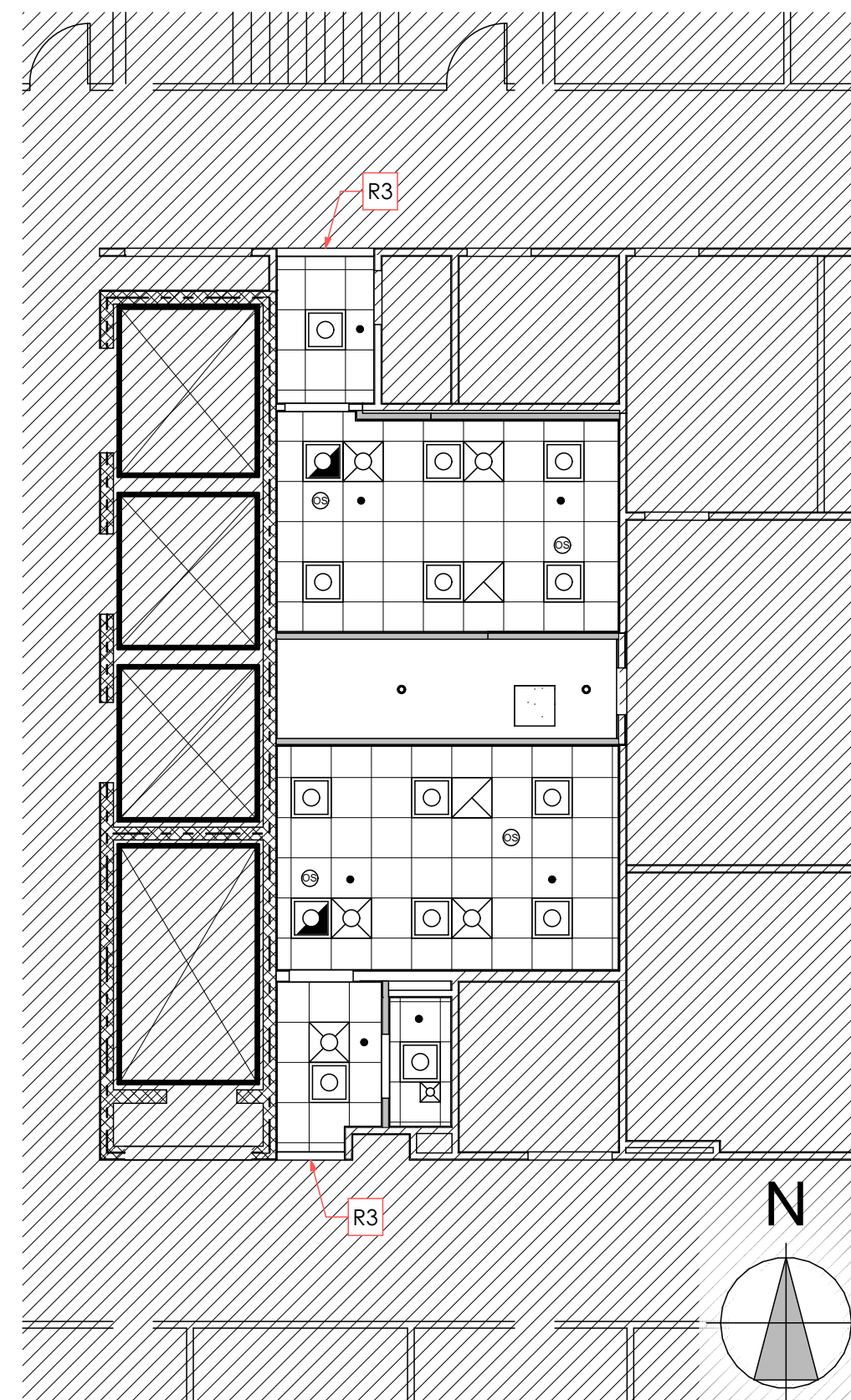
SCALE: 1/8" = 1'-0" 0 4' 8' 16'

*** NOTE: COORDINATE ALL IN CEILING EQUIPMENT WITH MECHANICAL, FIRE PROTECTION AND ELECTRICAL SHEETS. SEE MECHANICAL, FIRE PROTECTION AND ELECTRICAL LEGENDS.



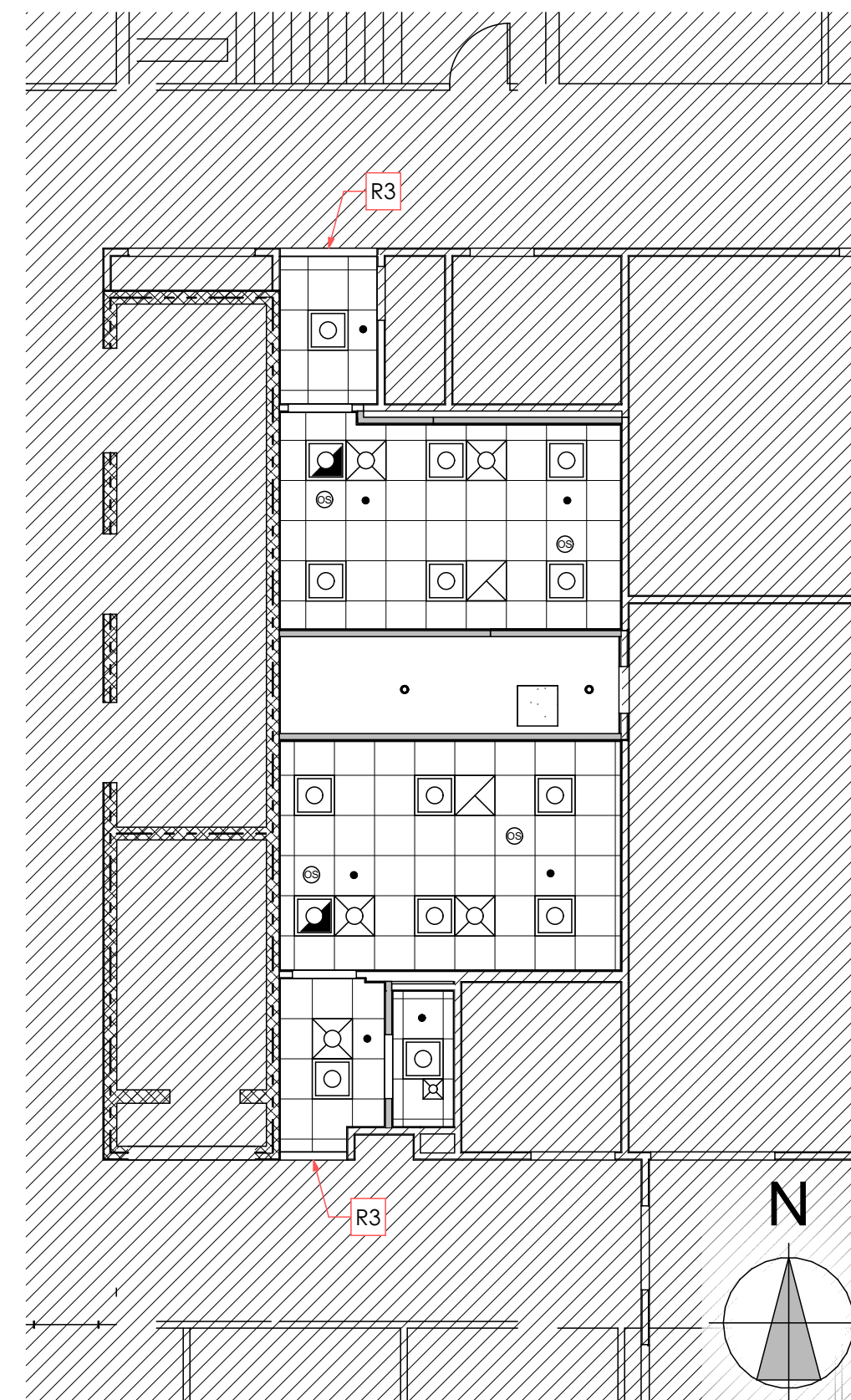
5
A400
THIRD FLOOR REFLECTED
CEILING PLAN

SCALE: 1/8" = 1'-0" 0 4' 8' 16'



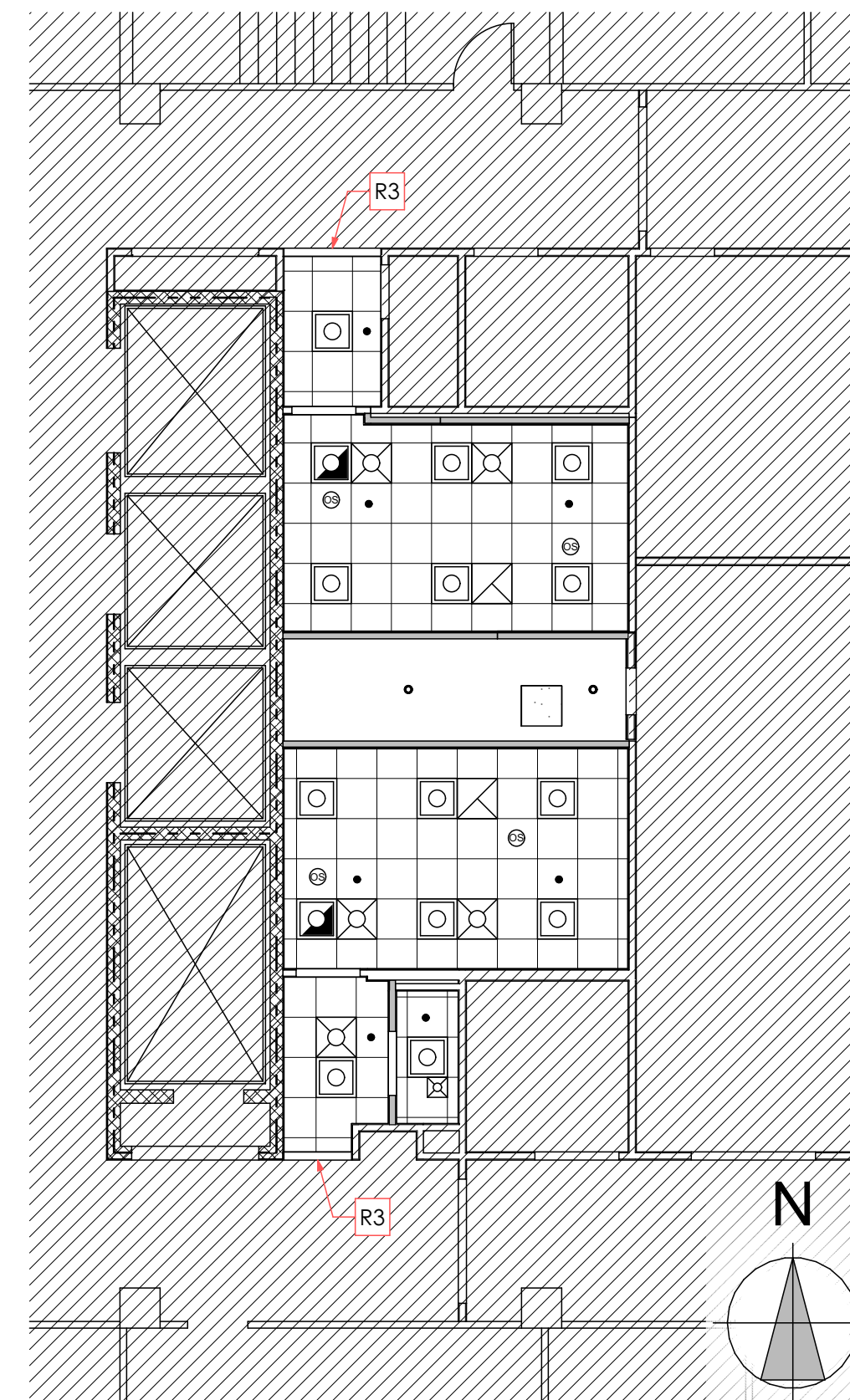
6
A400
FOURTH FLOOR REFLECTED
CEILING PLAN

SCALE: 1/8" = 1'-0" 0 4' 8' 16'



7
A400
FIFTH FLOOR REFLECTED
CEILING PLAN

SCALE: 1/8" = 1'-0" 0 4' 8' 16'



8
A400
SIXTH FLOOR REFLECTED
CEILING PLAN

SCALE: 1/8" = 1'-0" 0 4' 8' 16'

LEGEND

- | | |
|---|---|
| NEW DOOR, SEE DOOR SCHEDULE, SHEET A000 | EXISTING WALL TO REMAIN |
| EXISTING DOOR TO REMAIN | EXISTING WALL TO BE REMOVED |
| EXISTING DOOR TO BE REMOVED | NEW INTERIOR PARTITION WALL, SEE RENOVATION NOTES FOR WALL TYPES |
| WORK LEGEND NOTE | EXISTING 2 HOUR MIN. FIRE RATED WALL TO REMAIN, FIRE SEAL ALL NEW AND EXISTING PENETRATIONS |
| N.I.C. NOT IN CONTRACT | EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS |
| A.F.F. ABOVE FINISH FLOOR | ELEVATION/SECTION NUMBER SHEET NUMBER |
| SIM. SIMILAR | ROOM ROOM NAME, NUMBER |
| TYP. TYPICAL | REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS |
| MIR. MIRROR | |
| EX. EXISTING | |
| WD. WOOD | |
| HM. HOLLOW METAL | |
| ST. STAIN | |

RENOVATION NOTES

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INSTALL NEW FINISHES, FIXTURES AND ACCESSORIES AS LISTED/SHOWN ON SCHEDULES/ELEVATIONS.

INSTALL SIGNAGE SO THAT THE BASELINE OF THE LOWEST CHARACTER IS 48" MIN. A.F.F. AND THE BASELINE OF THE HIGHEST CHARACTER IS 60" MAX. A.F.F.

INSTALL NEW FLOORING AND CEILING TILE THROUGHOUT RENOVATED AREAS OF WORK. PREP FLOOR FOR INSTALLATION OF NEW MATERIALS. FLOORS TO BE LEVEL/EVEN, FLOAT ALL FLOORS FOR VCT. CONSULT ARCHITECT IF FLOOR LEVELER IS NEEDED. COORDINATE WITH FINISH SCHEDULE.

- R1** INSTALL NEW PARTITION WALL. PARTITION TYPES:
 - A - 3 5/8" METAL STUDS, TO DECK
 - 1/2" CEMENTITIOUS BACKER BOARD 6" ABOVE CEILING, GYP ABOVE TO DECK, ONE SIDE
 - TILE, 6" ABOVE CEILING, ONE SIDE, SEE FINISH SELECTIONS ON A000
 - B - 3 5/8" METAL STUDS, TO DECK
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- R6** NEW SQUARE FLOOR DRAIN. SEE P SHEETS.

CONSULTANTS

MECHANICAL / PLUMBING / ELECTRICAL
MCGINNIS & FLEMING ENGINEERING
820 EAST PARK AVENUE, SUITE 1-200
TALLAHASSEE, FL 32301
(850) 681-6424



**ARCHITECTURE
INTERIOR DESIGN
BUILDING ENVELOPE**
211 JOHN KNOX RD, SUITE 105
TALLAHASSEE, FL 32303
PH: (850) 385 9200
MLDARCHITECTS.COM

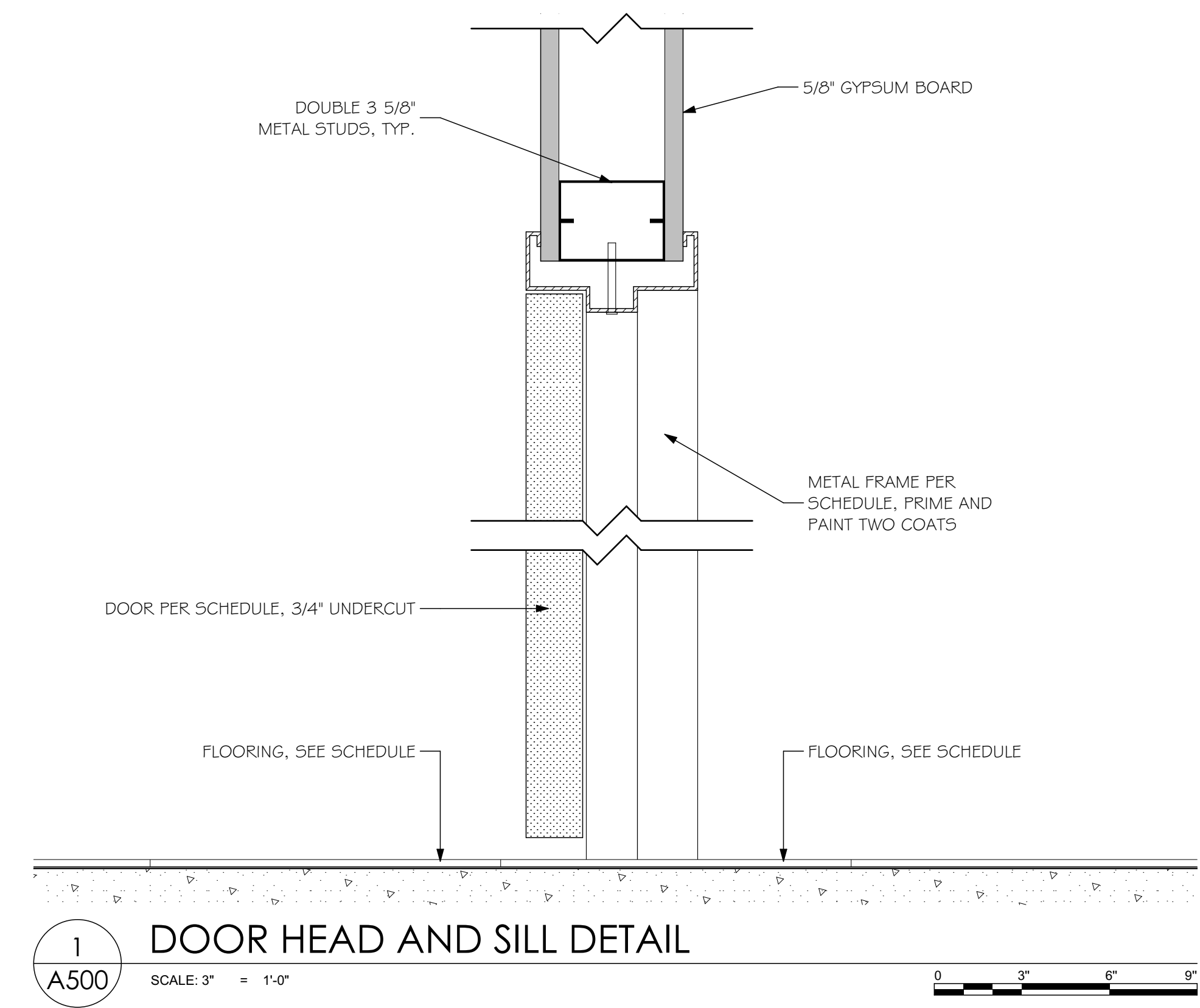
**FLETCHER BUILDING, DESIGN RESTROOM
REPAIR AND RENOVATIONS**
FLORIDA DEPARTMENT OF MANAGEMENT SERVICES
TALLAHASSEE, FLORIDA

CONSTRUCTION DOCUMENTS

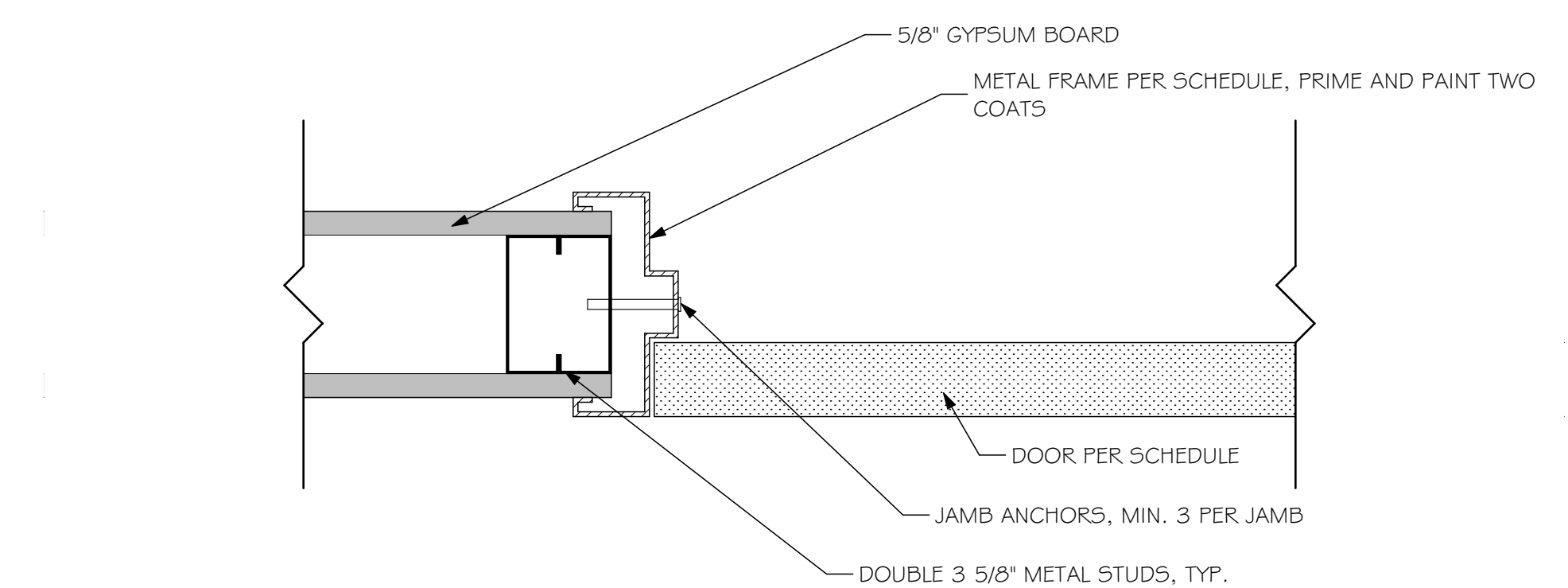
PROJ. NO. 176925
DATE 02/26/2026
DRAWN TR
CHECKED JH
APPROVED JS
REVISION
REVISION DATE

REFLECTED
CEILING PLANS

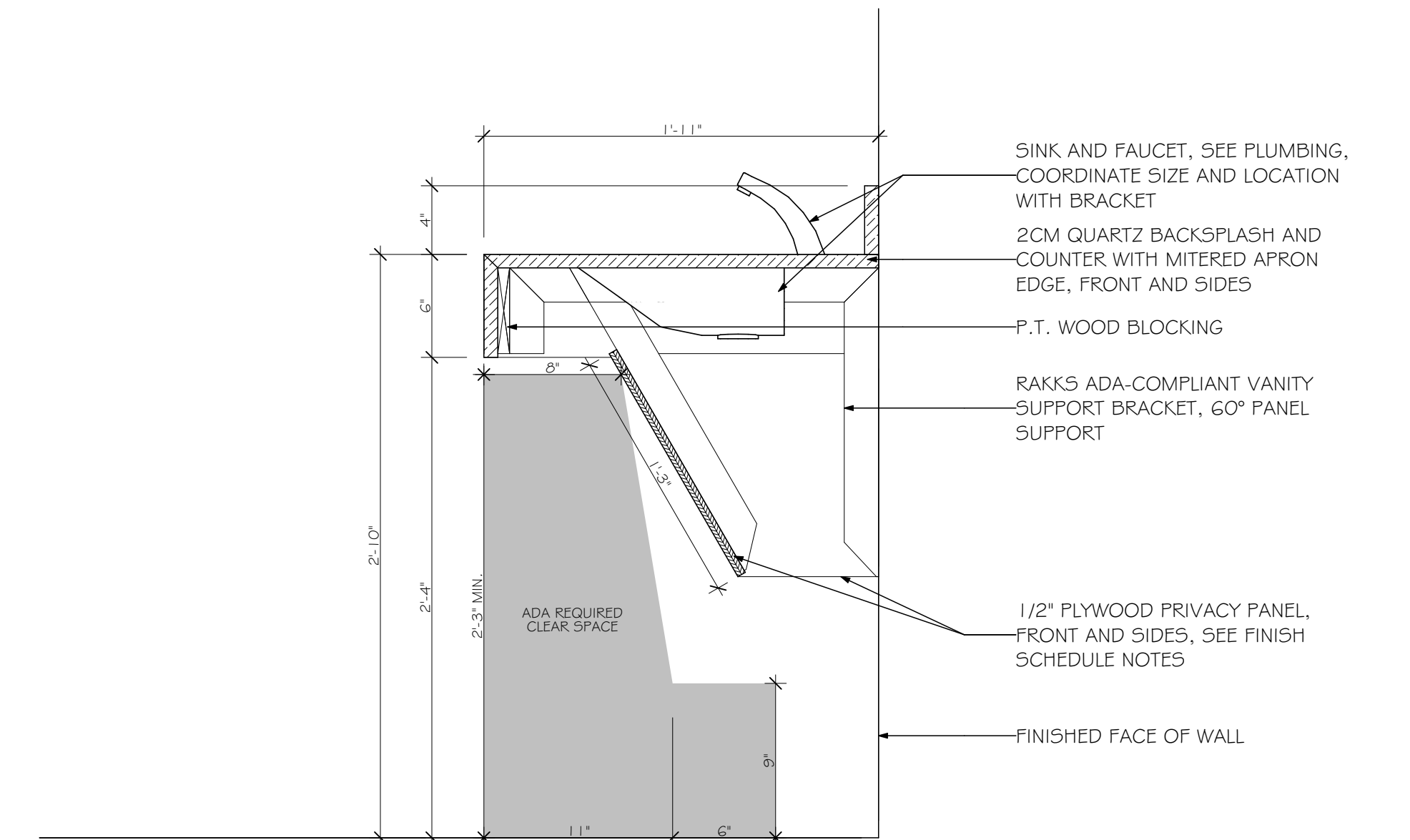
A400



1 DOOR HEAD AND SILL DETAIL
 SCALE: 3" = 1'-0"
 0 3" 6" 9"



2 DOOR JAMB DETAIL
 SCALE: 3" = 1'-0"
 0 3" 6" 9"



3 MILLWORK DETAIL - SINK SECTION
 SCALE: 1 1/2" = 1'-0"
 0 6" 12" 18"

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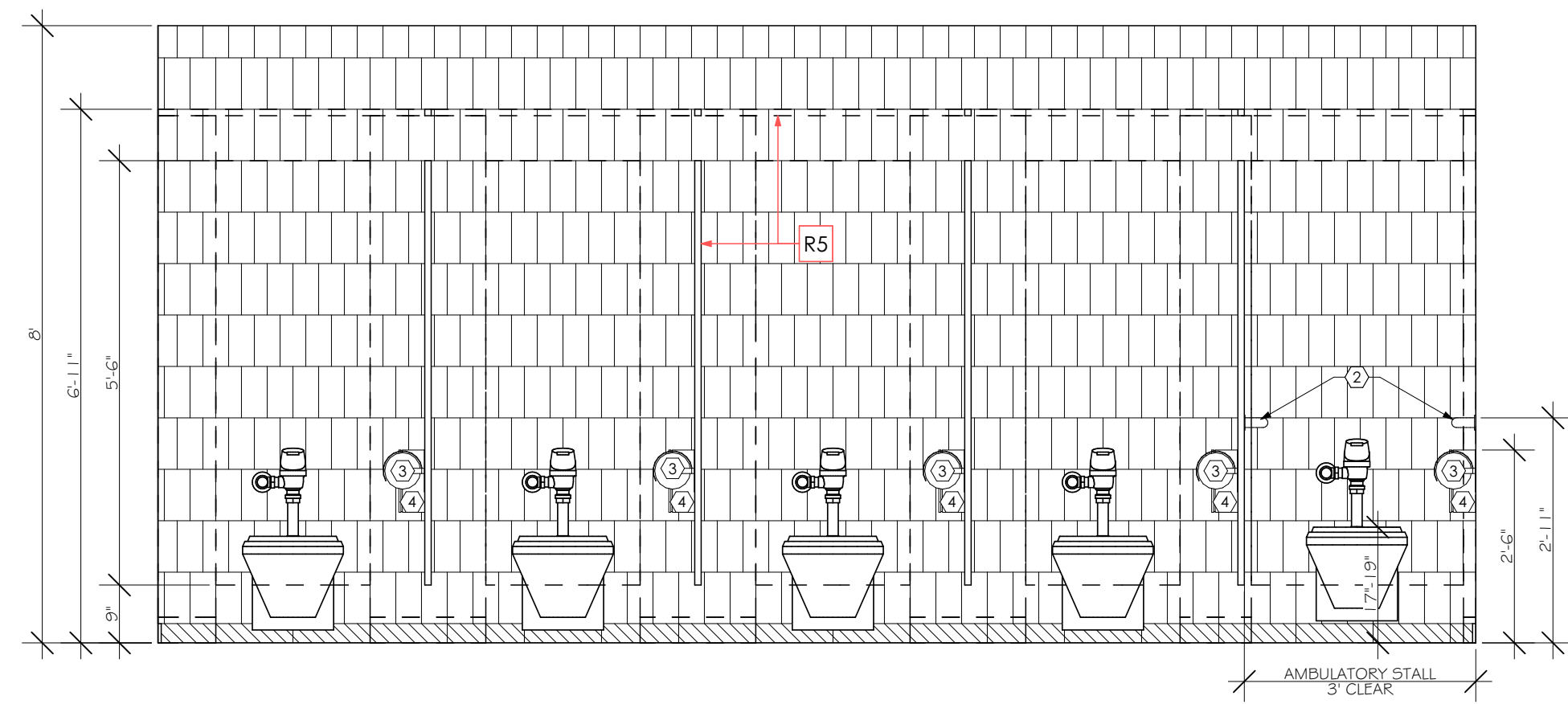
FLETCHER BUILDING, DESIGN RESTROOM
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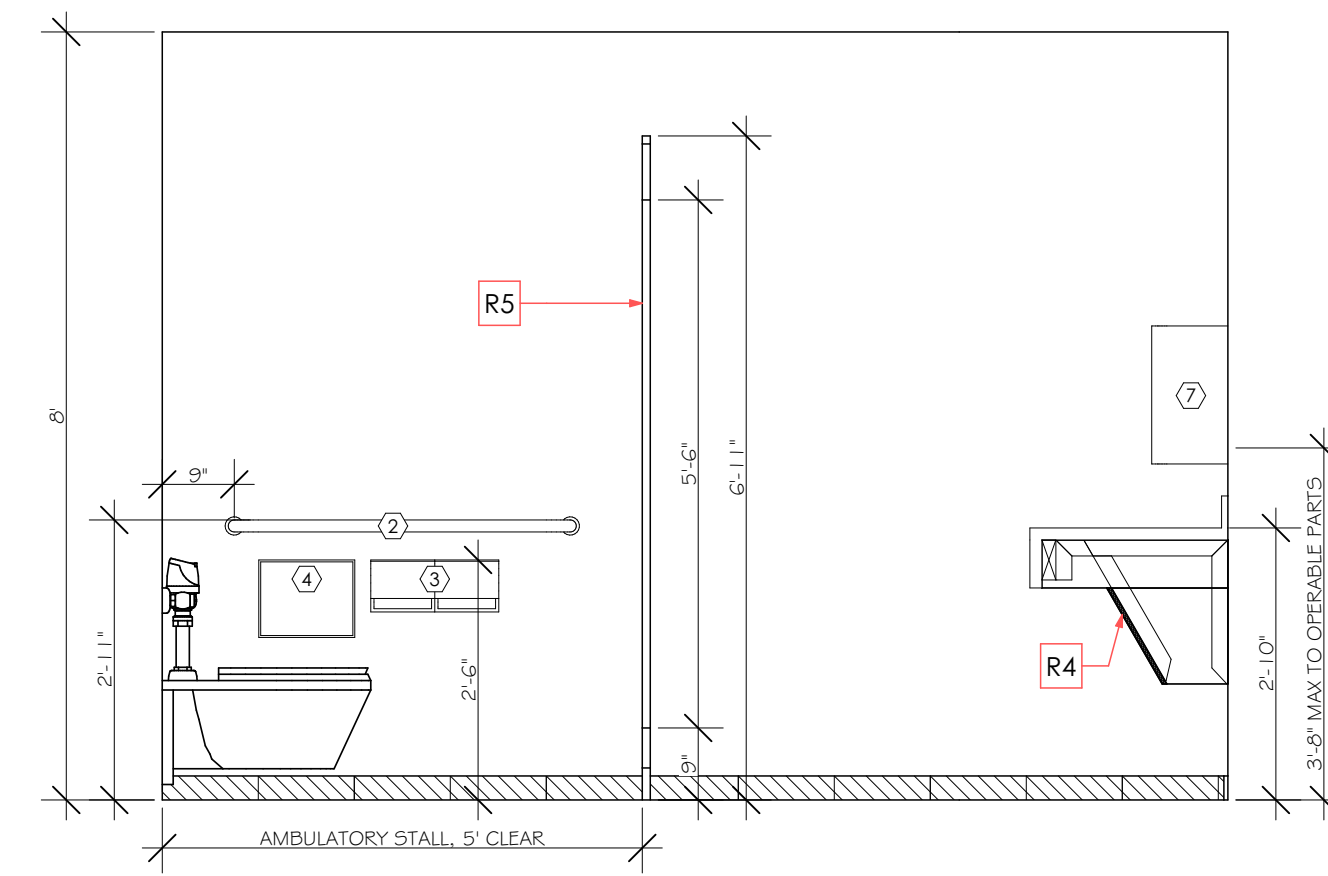
PROJ. NO.	176925
DATE	02/26/2026
DRAWN	TR
CHECKED	HM
APPROVED	JS
REVISION	
REVISION DATE	

DETAILS

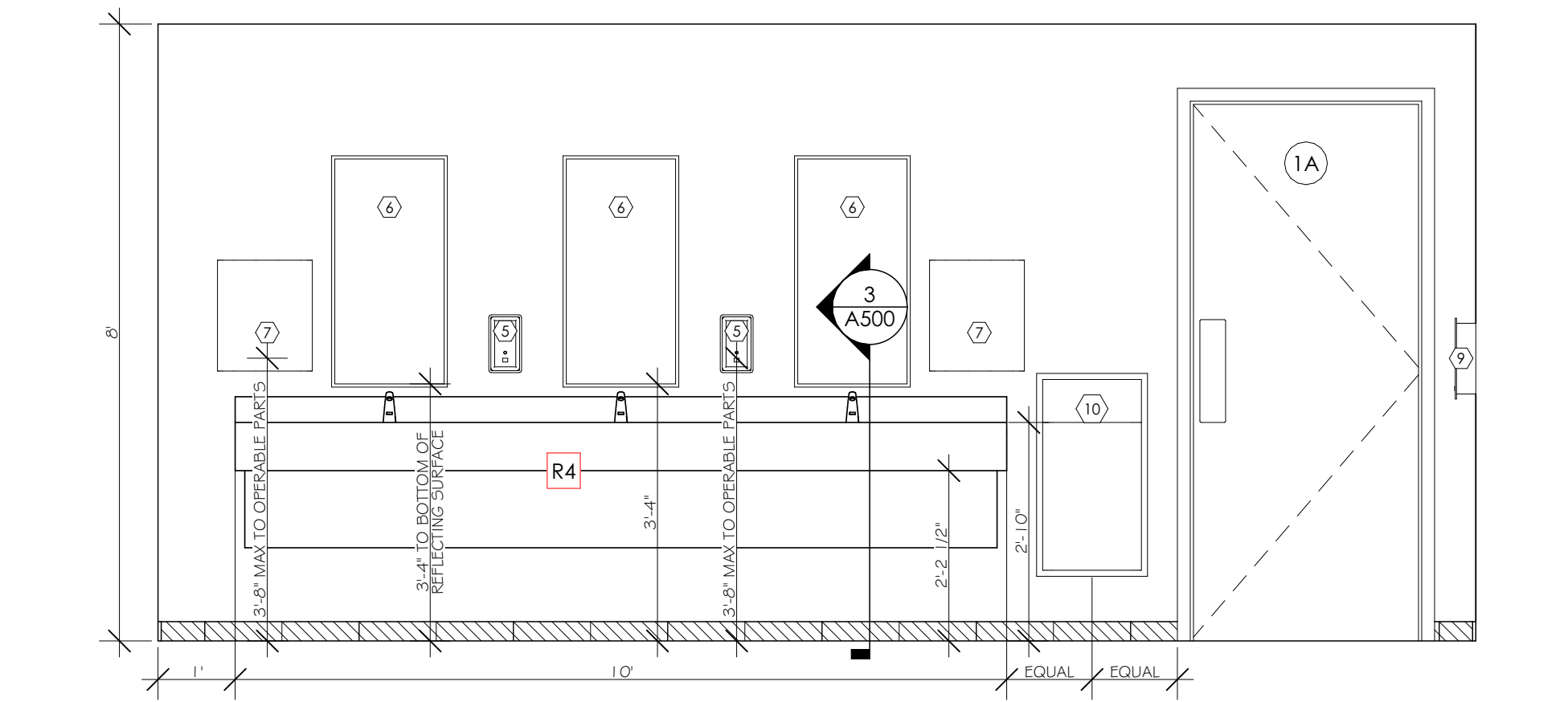
A500



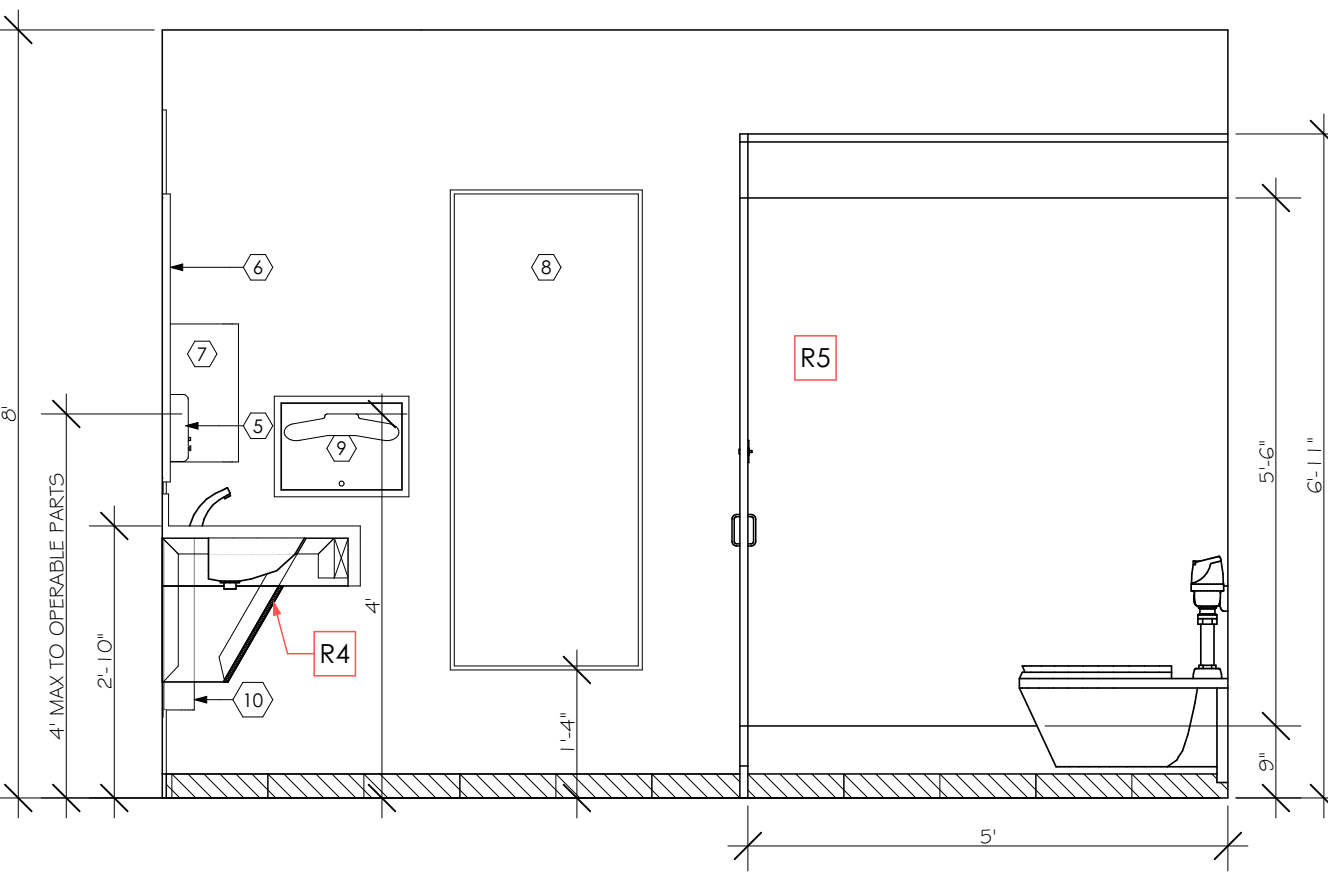
1 N WOMEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0" 0 1' 2' 4'



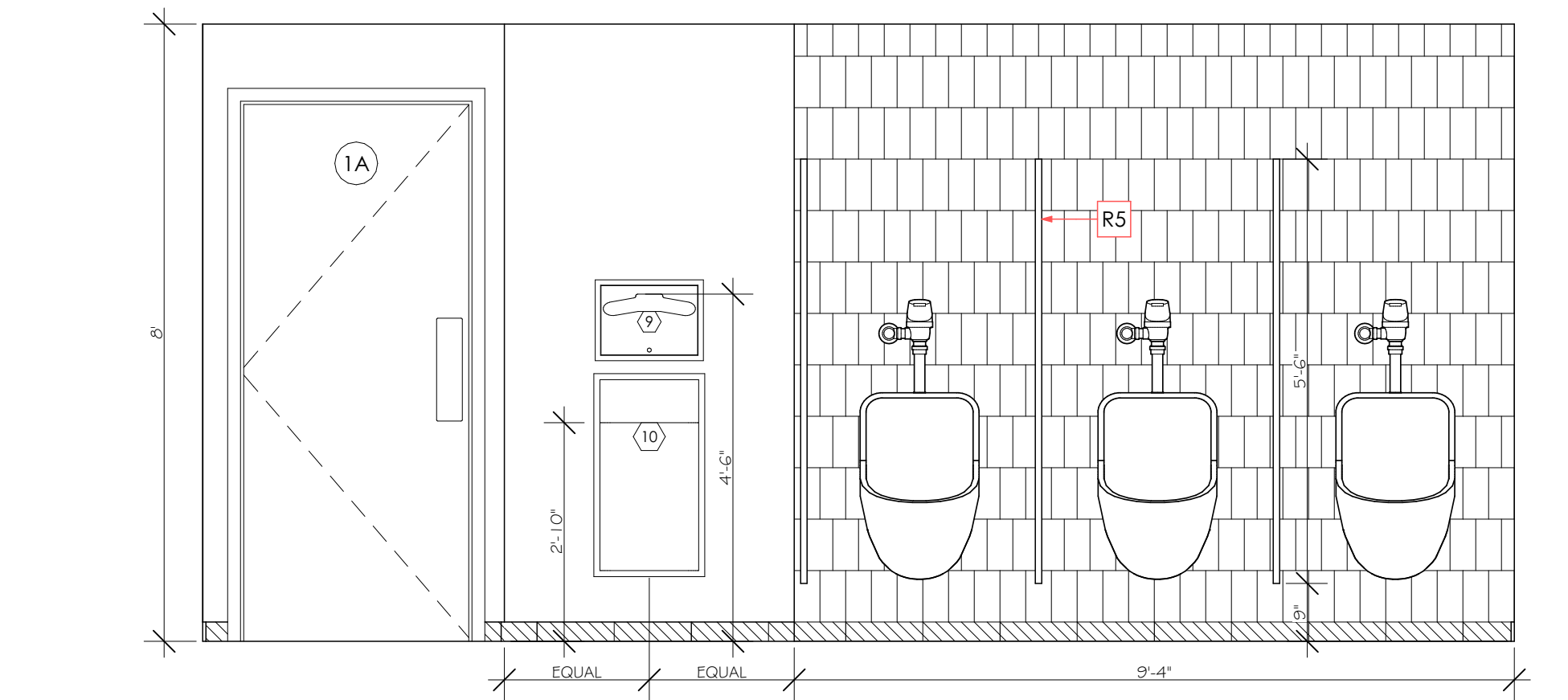
2 E WOMEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0" 0 1' 2' 4'



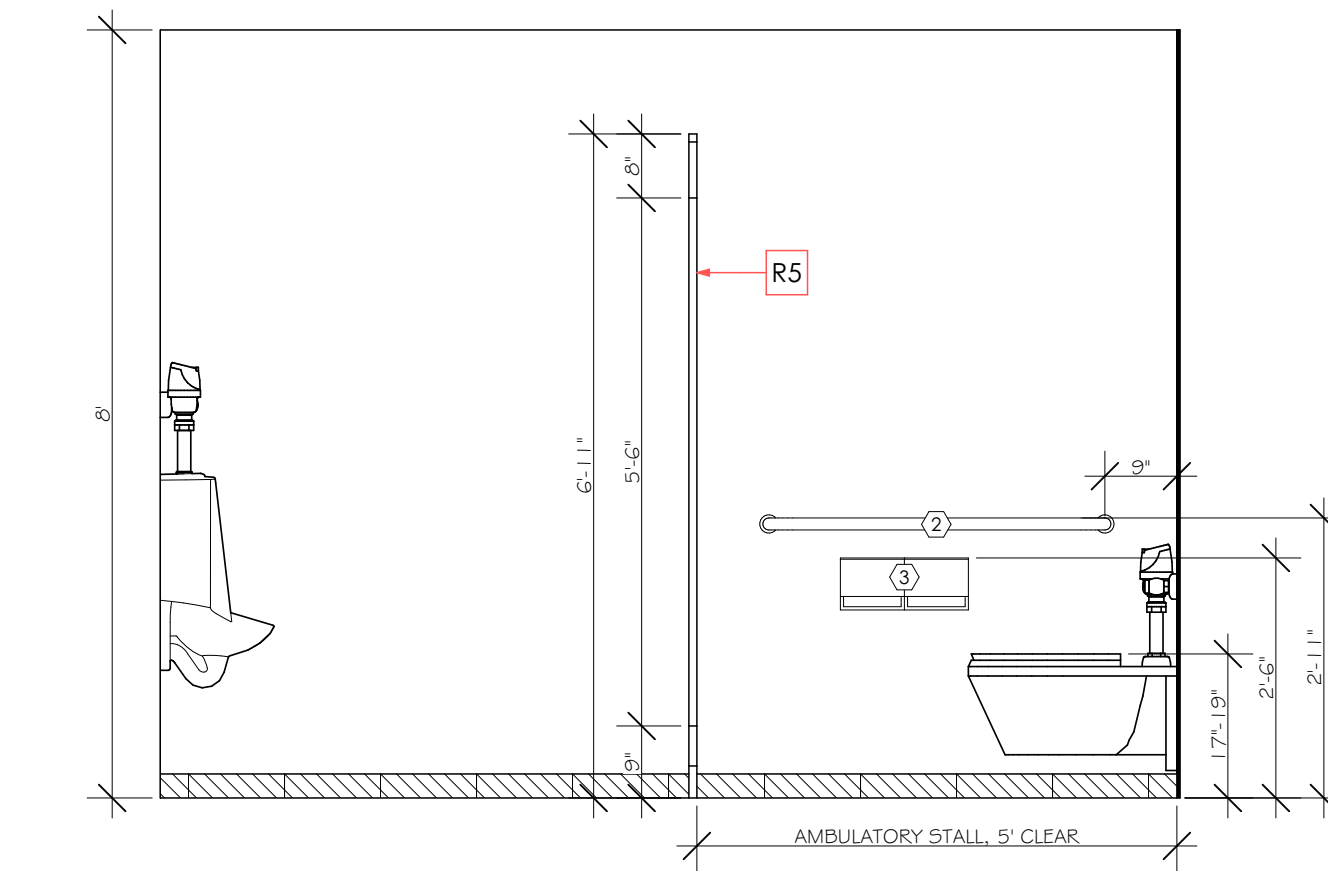
3 S WOMEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0" 0 1' 2' 4'



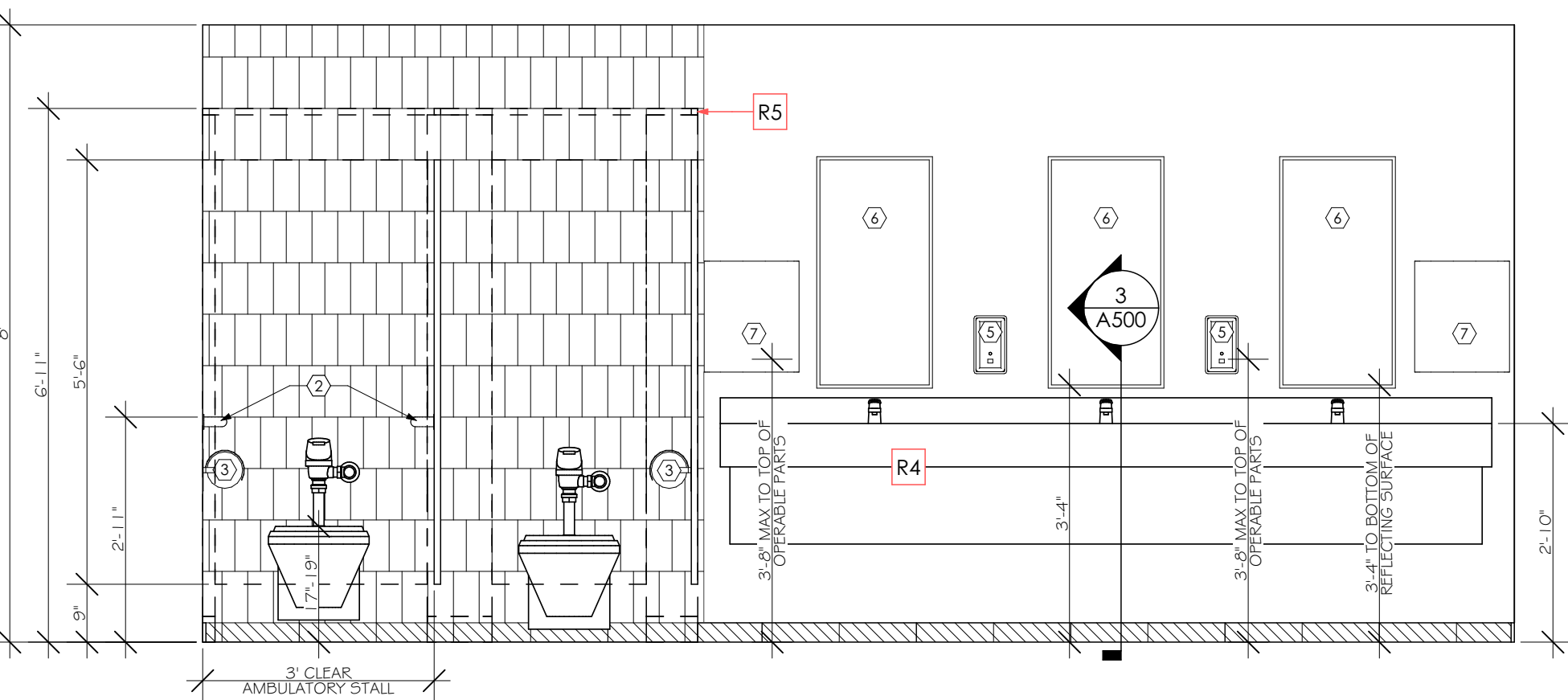
4 W WOMEN'S, ALL FLOORS SIM.
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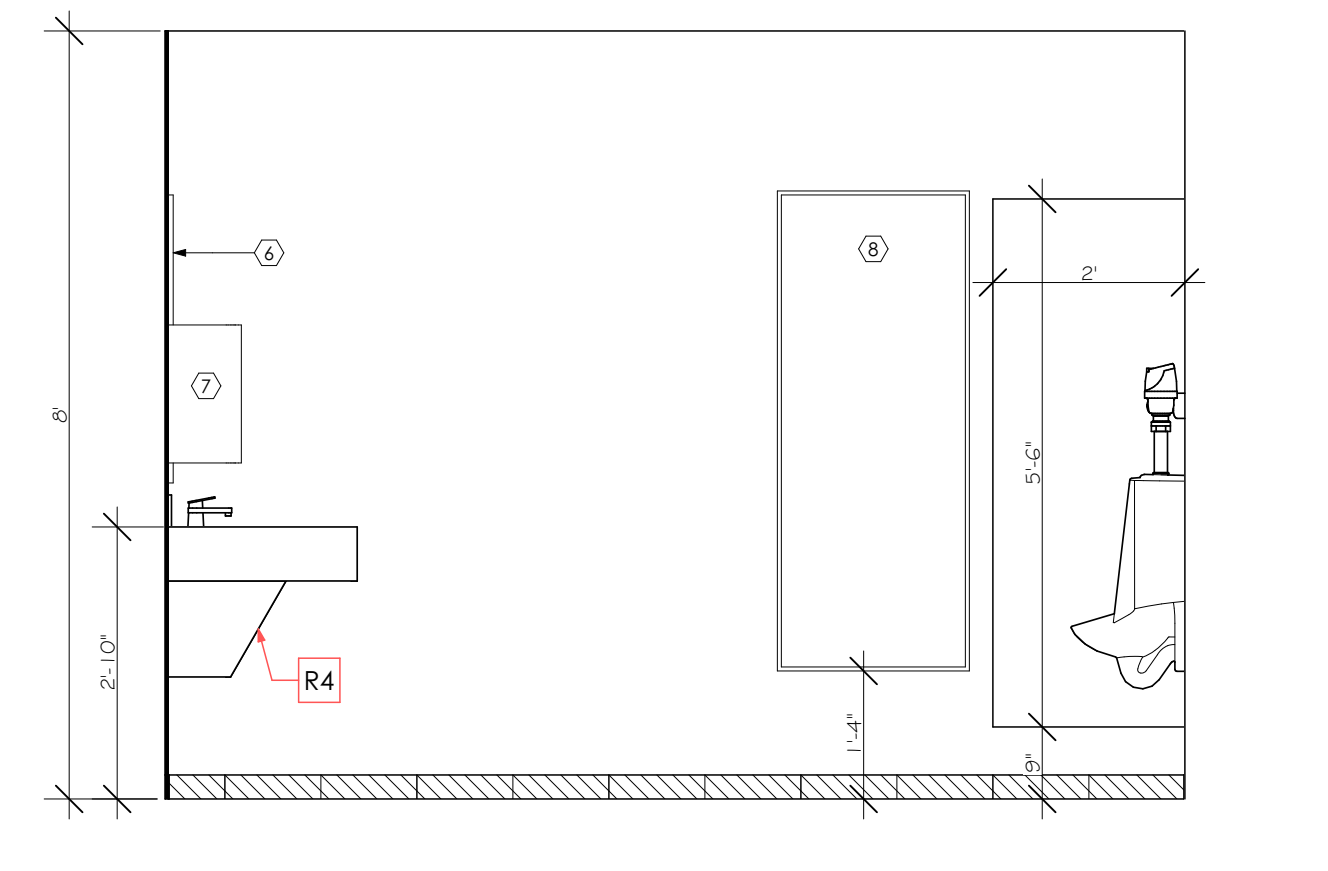
5 N MEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0" 0 1' 2' 4'



6 E MEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0" 0 1' 2' 4'



7 S MEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0" 0 1' 2' 4'



8 W MEN'S, ALL FLOORS SIM.
A600 SCALE: 1/2" = 1'-0" 0 1' 2' 4'

LEGEND

- NEW DOOR, SEE DOOR SCHEDULE, SHEET A000
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- WORK LEGEND NOTE
- N.I.C. NOT IN CONTRACT
- A.F.F. ABOVE FINISH FLOOR
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR
- EX. EXISTING
- WD. WOOD
- HM. HOLLOW METAL
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- EXISTING ROUND / NEW SQUARE FLOOR DRAIN, SEE P SHEETS
- ELEVATION/SECTION NUMBER
- SHEET NUMBER
- ROOM NAME, NUMBER
- REVISION AND LABEL INDICATING CHANGES TO ORIGINAL CONSTRUCTION DOCUMENTS

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ACCESSORY LEGEND

- (1)** --- NOT USED ---
- (2)** 42" GRAB BAR, MODEL NO. 3800P
- (3)** TOILET TISSUE DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (4)** SANITARY NAPKIN DISPOSAL, MODEL NO. 0852 (WOMEN'S ROOM ONLY)
- (5)** SOAP DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (6)** MIRROR, 18X36, 0600-1836
- (7)** PAPER TOWEL DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (8)** MIRROR, 24X60, 0600-2460
- (9)** SEAT COVER DISPENSER, PROVIDED BY OWNER'S SUPPLIER
- (10)** WASTE RECEPTACLE, 0458 (4" PROJECTION, 4" RECESS, 12 GALLONS)
- (11)** ROOM SIGNAGE (REUSE EXISTING - PLASTIC SIGNAGE WITH RAISED BRAILLE AND BORDER. TO BE INSTALLED ADJACENT TO RESTROOM DOORS.

BASIS OF DESIGN: AMERICAN SPECIALTIES, UNLESS OTHERWISE SPECIFIED. ALL FINISHES TO BE STANDARD SATIN FINISH. ALL EXPOSED PIPES IN ADA RESTROOM SHALL BE WRAPPED.

NOTE: CONTRACTOR TO INSURE OWNER SUPPLIED ITEMS ARE INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS.

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ELEVATIONS

A600