

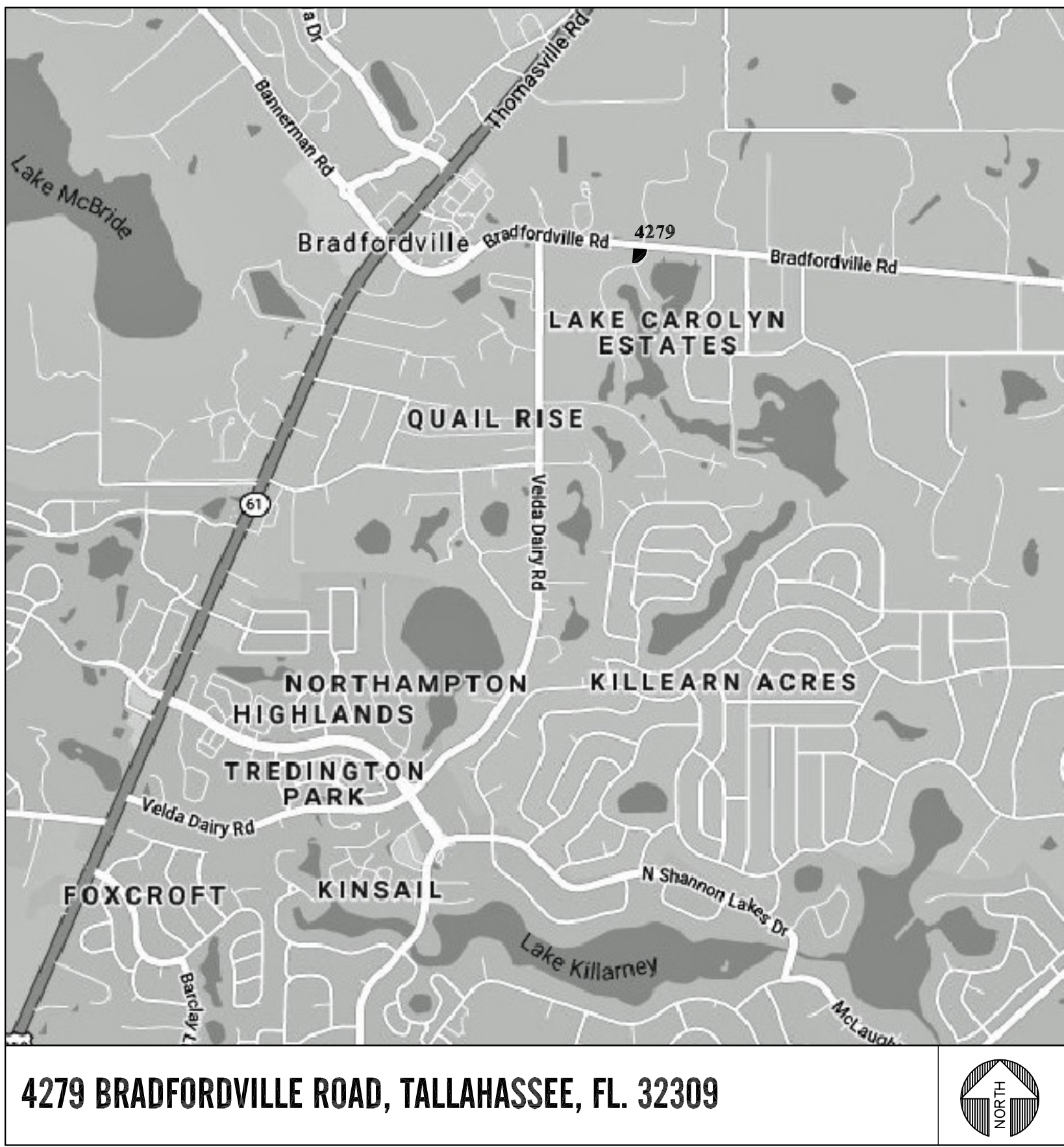
ST. MARY & ST. GEORGE COPTIC ORTHODOX CHURCH ST. JOHN CHRYSOSTOM STUDENT & FAMILY CENTER

4279 BRADFORDVILLE ROAD

TALLAHASSEE, FLORIDA 32309

RELEASE FOR PERMIT FEBRUARY 23, 2024

VICINITY MAP



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GOVERNING CODES

- FLORIDA BUILDING CODE, Building (FBC-B), 8th EDITION (2023)
FLORIDA BUILDING CODE, Energy Conservation (FBC-EC), 8th EDITION (2023)
FLORIDA BUILDING CODE, Mechanical (FBC-M), 8th EDITION (2023)
FLORIDA BUILDING CODE, Plumbing (FBC-P), 8th EDITION (2023)
FLORIDA BUILDING CODE, Existing Building (FBC-EB), 8th EDITION (2023)
FLORIDA BUILDING CODE, Accessibility (FBC-A), 8th EDITION (2023)
FLORIDA FIRE PREVENTION CODE (FFPC), 8th EDITION (2023)
NATIONAL ELECTRICAL CODE (NEC), NFPA 70-2020 EDITION

BUILDING DATA

CONSTRUCTION TYPE:
TYPE II-B (FBC-B, 8th Edition (2023)); Sprinkled
Primary Structural Frame: Non-Combustable & Unprotected
Interior First/Second Floor walls: Wood Framing
Second Floor Framing: Pre-Engineered Wood Trusses

OCCUPANCY CLASS: (F.B.C.) ASSEMBLY GROUP 'A-3'
(per FBC-B, 8th Edition (2023), Section 303.4- Places of Religious Worship)

OCCUPANT LOAD: 264 PERSONS MAX. ALLOWABLE
FIRST FLOOR:
Assembly Area (Multi-Purpose/ Unconcentrated): 1,736.0 sq.ft. / 15 net = 115 Occupants
Assembly Area (Chapel/ Concentrated): 211.9 sq.ft./ 7 net= 30 Occupants
Office Areas: 320.3 sq.ft./ 150= 2 Occupants
Storage Areas: 404.9 sq.ft./ 300= 1 Occupant
Lobby Area: 497.0 sq.ft./ 15 net= 33 Occupants
Meeting Rooms: 305.7 sq.ft./ 20 net= 15 Occupants
Kitchen Area: 427.3 sq.ft./ 200= 2 Occupants
SECOND FLOOR:
Assembly Area (Classrooms): 1,316.7 sq.ft./ 20 net= 65 Occupants
Audio/ Recording Rm.: 197.72 sq.ft./ 150= 1 Occupant
(per FBC-B, 8th Edition (2023), Section 1004- Table 1004.5)

AREA CALCULATIONS: TOTAL BUILDING AREA: 9,598.19 SQ. FT.
First Floor Area: 6,520.00 sq.ft.
Second Floor Area: 3,078.19 sq.ft.

BUILDING HEIGHT: 2 STORY (26'-6" OVERALL PARAPET HGT.)
TOWERS (35'-0" OVERALL HGT.)

MEANS OF EGRESS:
TOTAL NUMBER OF EXITS PROVIDED:
First Floor: 3 primary exits provided
Second Floor: 2 primary exits provided (via Stairwells)
(Per FBC-B, 8th Edition (2023), Section 1006.3, Table 1006.3.2,
Minimum Number of Exits or Access to Exits from Story)

FLORIDA PRODUCT APPROVAL NOTICE:

"Contractor shall make available to the Building Inspector documentation necessary to verify that all exterior envelope components requiring product approval per FS 553.842 are in compliance with product approval installation requirements."

LOCATION MAP



PROPERTY IDENTIFICATION:
PARCEL TAX ID: #142308 A0080
ST. MARY & ST. GEORGE COPTIC ORTHODOX CHURCH
4279 BRADFORDVILLE RD., TALLAHASSEE, FLORIDA 32309
LAND AREA: 2.23 acres
PROPERTY USE: CHURCHES
LEGAL: LAKE CAROLYN ESTATES, UNREC 23 2N 1E,
2.21 acres- LOTS 8 & 9 BLOCK A OR 1508/939,
2004/1614 (UT)
ZONING DISTRICT: RP (Residential Prevention)

STATEMENT OF VERIFICATION:

Per Tallahassee-Leon County FEMA Flood Zone Map parcel #12073C0137F is not located within the designated Zone AE, Zone A, Zone X500 or Zone AE Floodway.

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100 Madison Street,
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Bainbridge, GA 31817
troy@arcworksgroup.com

Troy A. Stencel
Professional Seal
Date: 02/23/2024
15:00:00

TROY ANTHONY STENCEL
FLORIDA ARCHITECT #A99221

GENERAL CONTRACTOR:
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SUBMITTAL			
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PERMIT	23 Feb 24	TAS	TAS

REVISIONS		
#	DATE	REMARKS

PROJECT NUMBER
AW23001

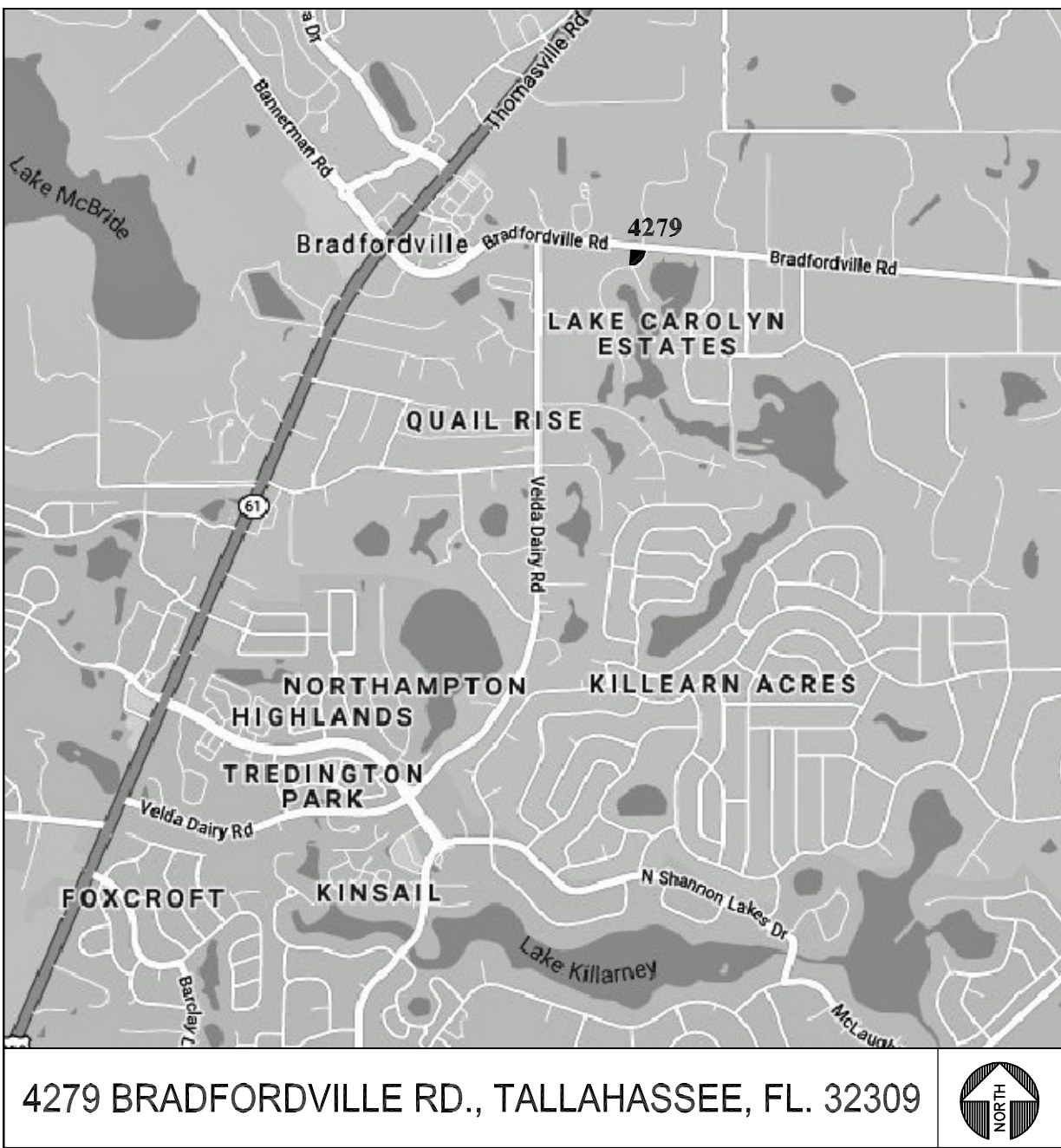
PHASE
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SHEET TITLE

COVERSHEET

SHEET NUMBER
A0.1

LOCATION MAP



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SUBMITTAL			
PHASE	DATE	DRAWN	CHECK
REVIEW	01 May	TAS	TAS
REVISED	03 June	TAS	TAS

#	DATE	REMARKS
A	17 July	Per Site Review Comments
B	02 Dec	Per Site Review Comments
C	01 Mar	Per Site Review Comments
D	30 Mar	Per Site Review Comments

PROJECT NUMBER	LSP200013
PHASE	Release for Permit
SHEET TITLE	SITE PLAN: MINOR MODIFICATION
SHEET NUMBER	A0.2

ORIGINAL SITE STATISTICS

PREDEVELOPMENT			
AREA OF THE SITE:	84,050 S.F.	1.93 A.C.	100%
PASTURE GRASS:	84,050 S.F.	1.93 A.C.	100%
POSTDEVELOPMENT			
SITE AREA:	84,050 S.F.	1.93 A.C.	100%
BUILDINGS:	10,582 S.F.	.24 A.C.	12.97%
SIDEWALKS:	2,821 S.F.	.0602 A.C.	3.13%
PAVED VEHICULAR USE:	9,540 S.F.	.219 A.C.	11.35%
PONDS:	6,904 S.F.	.158 A.C.	8.08%
PERVIOUS PARKING:	8,088 S.F.	.189 A.C.	10.31%
LANDSCAPED:	37,279 S.F.	.883 A.C.	44.34%
NATURAL:	6,200 S.F.	.148 A.C.	9.7%
CANOPIES:	376 S.F.	.008 A.C.	.45%

ORIGINAL POND DATA

FIRST 3/4" TREATMENT VOLUME			
V = 1.83 x 43560 x .75 / 12 = 3254 FT ³			
ELEV.	AREA	VOLUME	AGE VOLUME
133	3388	0	0
134	5083	4227	4227
134.17	FIRST 3/4"	2,634.5	5,281
135	8,517	1781	10183
135.5	7443		11944

SEQUENCE OF CONSTRUCTION

1. STAKE OUT SITE (BOUNDARY, NEW STRUCTURES, ETC.)
2. SET SEDIMENTATION CONTROL & TREE/NATURAL AREA BARRICADES.
3. CONSTRUCT STORMWATER MANAGEMENT FACILITY.
4. CONSTRUCT STRUCTURES
5. ROUGH & FINE GRADE VEHICULAR USE AREAS.
6. CONSTRUCT NEW PAVING.
7. GRADE & INSTALL ALL LANDSCAPING.
8. STABILIZE ALL AREAS OF SITE.
9. REMOVE ALL TEMPORARY BARRIERS.

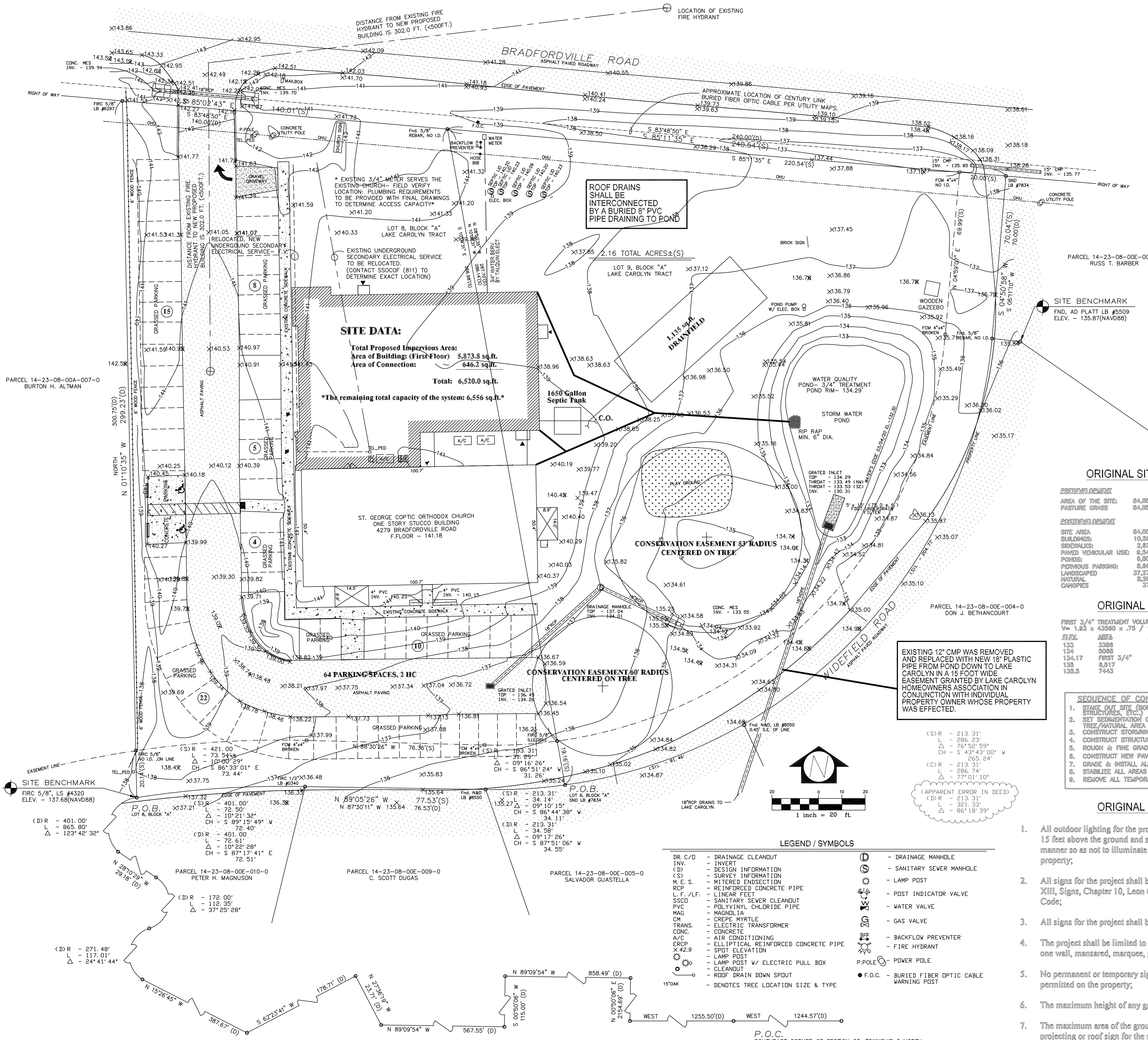
ORIGINAL SITE NOTES:

1. All outdoor lighting for the project shall not be mounted more than 15 feet above the ground and shall be shielded in such a manner so as not to illuminate areas outside the subject property;
2. All signs for the project shall be placed in accordance with Article XIII, Signs, Chapter 10, Leon County Land Development Code;
3. All signs for the project shall be directed at Bradfordville Road;
4. The project shall be limited to a maximum of one ground sign and one wall, mansard, marquee, projecting or roof sign;
5. No permanent or temporary signs with flashing lights will be permitted on the property;
6. The maximum height of any ground sign is limited to 10 feet;
7. The maximum area of the ground, wall, mansard, marquee, projecting or roof sign for the project shall be limited to a maximum of 40 square feet each

LEGEND / SYMBOLS

DR. C/D	- DRAINAGE CLEANDUT	D	- DRAINAGE MANHOLE
INV.	- INVERT	S	- SANITARY SEWER MANHOLE
(D)	- DESIGN INFORMATION	L	- LAMP POST
(S)	- SURVEY INFORMATION	V	- POST INDICATOR VALVE
M.E.S.	- MITERED ENDSECTION	W	- WATER VALVE
RCP	- REINFORCED CONCRETE PIPE	G	- GAS VALVE
L.F./LF.	- LINEAR FEET	BFP	- BACKFLOW PREVENTER
SSCD	- SANITARY SEWER CLEANDUT	F	- FIRE HYDRANT
PVC	- POLYVINYL CHLORIDE PIPE	P.POLE	- POWER POLE
MAG	- MAGNETIC	F.O.C.	- BURIED FIBER OPTIC CABLE
CM	- CREPE MYRTLE		- WARNING POST
TRANS.	- ELECTRIC TRANSFORMER		
CONC.	- CONCRETE		
A/C	- AIR CONDITIONING		
ERCP	- ELLIPTICAL REINFORCED CONCRETE PIPE		
X-42.9	- SPOT ELEVATION		
LAMP POST	- LAMP POST		
LAMP POST W/ ELECTRIC PULL BOX	- LAMP POST W/ ELECTRIC PULL BOX		
CLEANDUT	- CLEANDUT		
ROOF DRAIN DOWN SPOUT	- ROOF DRAIN DOWN SPOUT		
15'OK	- DENOTES TREE LOCATION SIZE & TYPE		

P.O.C.
SOUTHEAST CORNER OF SECTION 23, TOWNSHIP 2 NORTH,
RANGE 1 EAST, LEON COUNTY, FLORIDA.



SITE DATA:

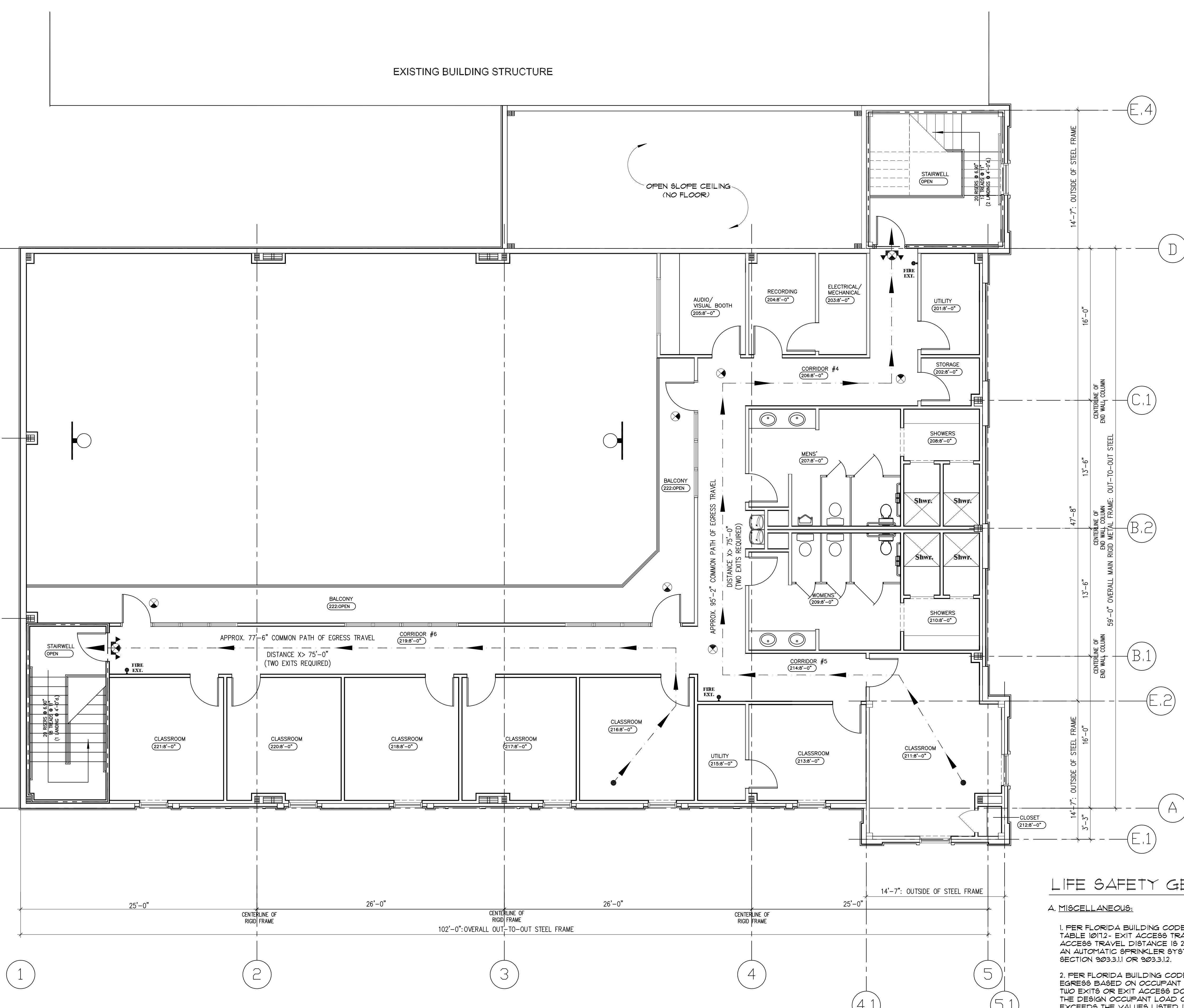
Total Proposed Impervious Area:
Area of Building (First Floor) 5,873.8 sq.ft.
Area of Connection: 646.2 sq.ft.
Total: 6,520.0 sq.ft.
The remaining total capacity of the system: 6,556 sq.ft.

ROOF DRAINS
SHALL BE
INTERCONNECTED
BY A BURIED 8" PVC
PIPE DRAINING TO POND

CONSERVATION EASEMENT 60' RADIUS
CENTERED ON TREE

CONSERVATION EASEMENT 60' RADIUS
CENTERED ON TREE

EXISTING 12" CMP WAS REMOVED
AND REPLACED WITH NEW 18" PLASTIC
PIPE FROM POND DOWN TO LAKE
CAROLYN IN A 15 FOOT WIDE
EASEMENT GRANTED BY LAKE CAROLYN
HOMEOWNERS ASSOCIATION IN
CONJUNCTION WITH INDIVIDUAL
PROPERTY OWNER WHOSE PROPERTY
WAS EFFECTED.



LEGEND:

POINT OF ORIGIN

DENOTES COMMON PATH OF EGRESS TRAVEL FROM FURTHEST DISTANCE

CEILING AND/OR WALL MOUNTED EXIT SIGNAGE w/ EMERGENCY LIGHTING

WALL MOUNTED DIRECTIONAL EXIT SIGNAGE

WALL MOUNTED FIRE EXTINGUISHERS

**SECOND FLOOR
LIFE SAFETY PLAN**

A1.0 3/16" = 1'-0"

- LIFE SAFETY GENERAL NOTES:**
- A. MISCELLANEOUS:**
- PER FLORIDA BUILDING CODE - BUILDING (FBC-B), 8th EDITION (2023), SECTION 1007, TABLE 1007.2, EXIT ACCESS TRAVEL DISTANCE, FOR OCCUPANCY GROUP A-3, THE EXIT ACCESS TRAVEL DISTANCE IS 250 FEET WITH A BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH FBC-B, 8th EDITION (2023), SECTION 903.3.1.1 OR 903.3.1.2.
 - PER FLORIDA BUILDING CODE - BUILDING (FBC-B), 8th EDITION (2023), SECTION 1006.2.1, EGRESS BASED ON OCCUPANT LOAD AND COMMON PATH OF EGRESS TRAVEL DISTANCE, TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE THE DESIGN OCCUPANT LOAD OR THE COMMON PATH OF EGRESS TRAVEL DISTANCE EXCEEDS THE VALUES LISTED IN TABLE 1006.2.1. FOR OCCUPANCY GROUP A-3, SPRINKLED, WITH A MAXIMUM OCCUPANT LOAD OF SPACE IS 49 OR LESS THE MAXIMUM TRAVEL COMMON PATH OF EGRESS TRAVEL DISTANCE IS 15 FEET.
 - SECOND FLOOR EXIT ACCESS TO FIRE-RATED STAIRWELLS THAT PROVIDE A SAFE PATH OF TRAVEL TO FIRST FLOOR LEVEL WITH DIRECT EXIT ACCESS TO EXTERIOR.
 - INSTALL NEW CEILING MOUNTED EXIT LIGHT/SIGN INCLUDING INTERIOR EMERGENCY WALL PACKS AS INDICATED ON ELECTRICAL DRAWINGS.
 - PROVIDE WALL MOUNTED A10BC FIRE EXTINGUISHERS AS LOCATED ON SECOND FLOOR PLAN.
 - LATCHES & LOCKS: ACCESS DOOR UNITS TO BE INSTALLED WITH PANIC DEVICE HARDWARE & CLOSERS. PROVIDE ALL BATHROOM DOORS WITH CLOSERS.

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Troy A. Stencil
Professional Seal
Troy Anthony Stencil
Date: 7/2024
05'00"

TROY ANTHONY STENCIL
FLORIDA ARCHITECT #AR99221

GENERAL CONTRACTOR:

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#	REMARKS

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SHEET TITLE
**SECOND FLOOR
LIFE SAFETY PLAN**

SHEET NUMBER
A1.1

NEW FLOOR PLAN GENERAL NOTES:

A. MISCELLANEOUS:

- PER FLORIDA BUILDING CODE - BUILDING (FBC-B), 8th EDITION (2023), SECTION 803.1, THE FLAME SPREAD/SMOKE DEVELOPED INDEX CLASSIFICATION REQUIRED FOR INTERIOR WALLS & CEILING FINISHES REQUIRED BY OCCUPANCY GROUP A-3, SPRINKLERED, IS CLASS 'B' WITH A FLAME SPREAD INDEX 26-75 & SMOKE DEVELOPED INDEX 0-450 FOR INTERIOR EXIT STAIRWAYS AND CORRIDORS, CLASS 'C' WITH A FLAME SPREAD INDEX 16-200 & SMOKE DEVELOPED INDEX 0-450 FOR ROOMS & ENCLOSED SPACES.
- ALL INTERIOR FRAMED WALLS TO BE 10'-0" HIGH, 2"x 4" WD. STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD, PROVIDE 'GREEN BOARD' IN RESTROOMS, GYPSUM BOARD ATTACHED TO STUDS & RUNNERS w/ TYPE 'S' PAN HEAD SCREWS, SECURE BASE RUNNER TO CONCRETE SLAB @ 24" O.C. WITH 'RAMSET', 3/4" TRAKFAST PINS (19MM).
- ALL INTERIOR WALLS, TO HAVE 5/8" GYPSUM BOARD OVER ALL WALL AREA AND RECEIVE ONE (1) PRIMER AND TWO (2) FINISH COAT OF ACRYLIC PAINT, PAINT COLOR & FINISH AS SELECTED BY OWNER.
- NEW FLOORING TO BE LUXURY VINYL TILE (LVT) THROUGHOUT. COLOR AS SELECTED BY OWNER, MULTI-PURPOSE ROOM TO HAVE SPECIAL FLOORING AS SELECTED BY OWNER.
- ALL NEW INTERIOR DOOR UNITS TO BE 3'-0"x 7'-0", SOLID WOOD CORE WITH BIRCH VENEER, SMOOTH SEMI-GLOSS FINISH, PROVIDE CLOSER FOR RESTROOM DOORS.
- PROVIDE NEW SUSPENDED METAL GRID w/ 2'-0"x 2'-0" ACOUSTICAL TILE CEILING AT 9'-0" AFF. CEILING TO HAVE LED TROFFER LIGHT FIXTURES - SEE ELECTRICAL PLANS.

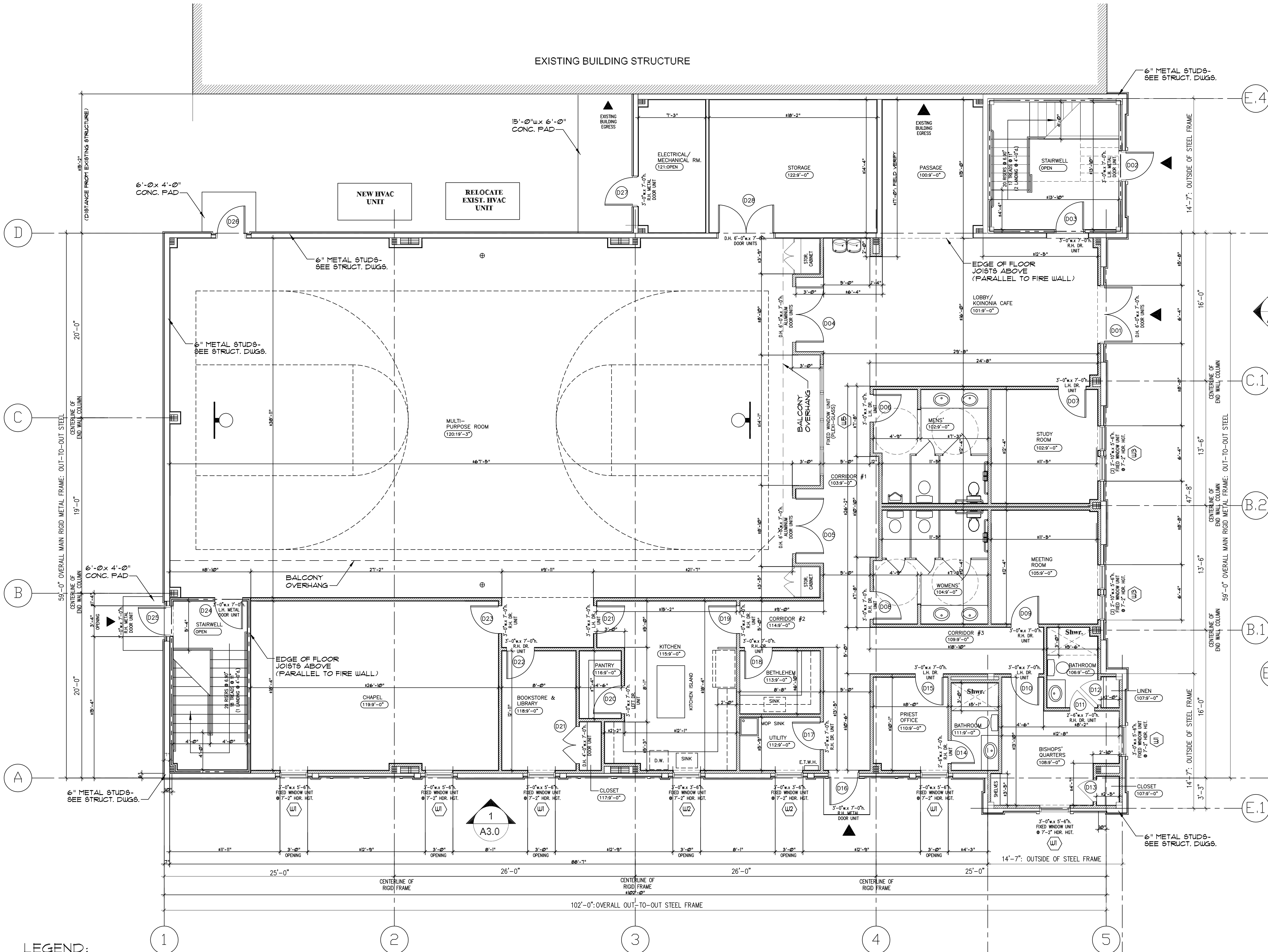
FRAMING NOTES:

A. ROUGH CARPENTRY:

- ALL JOISTS AND TIMBER FRAMING TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION MANUAL, 3rd EDITION.
- ALL CONNECTIONS AND JOINTS ARE TO BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND LEON COUNTY CODES & REGULATIONS.
- ALL FRAMING WILL FOLLOW RECOMMENDED STANDARDS FOR BLOCKING, CUTTING, DRILLING, AND BRIDGING. A SUFFICIENT NUMBER OF NAILS, SCREWS, AND BOLTS WILL BE USED TO INSURE PROPER RIGIDITY OF CONSTRUCTION.
 - STUDS IN BEARING WALL OR EXTERIOR PARTITION MAY BE NOTCHED A MAXIMUM OF 25% OF THEIR WIDTH.
 - NON-BEARING STUDS MAY BE NOTCHED A MAXIMUM OF 40% OF THEIR WIDTH, PROVIDED THE EDGE OF THE BORE IS NO CLOSER THAN 5/8" TO THE EDGE OF THE STUD.
- INTERIOR WALLS TO BE 2"x 4" STUDS SET @ 16" ON CENTER w/ 1 LAYER 5/8" THK. SHEETROCK BRAND FIRECODE CORE GYPSUM PANELS EACH SIDE; TAPE & FINISH. INTERIOR PERIMETER BEARING WALLS TO BE 2"x 4" STUDS SET @ 16" ON CENTER w/ 1 LAYER 5/8" THK. SHEETROCK BRAND FIRECODE CORE GYPSUM PANELS ONE SIDE.
- ROUGH HARDWARE TO BE HOT-DIPPED GALVANIZED OR CADMIUM PLATED. FASTENERS AT TREATED LUMBER TO BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL. FRAMING CONNECTORS TO BE SIMPSON, GRANGER, OR EQUAL.
- 16" DEEP, PRE-ENGINEERED WOOD OPEN WEB FLOOR TRUSSES SHALL BE INSTALLED AS PER MANUFACTURER'S DESIGN. CONTRACTOR SHALL PROVIDE MANUFACTURER'S FRAMING DRAWINGS TO BUILDING OFFICIAL, OWNER AND ARCHITECT.
- PROVIDE NAILERS, NAILING STRIPS, ETC., AS NECESSARY, FOR THE SECURE ATTACHMENT OF FINISH TRIM, TOILET ACCESSORIES, ETC.
- ALL EXTERIOR PERIMETER WALLS TO BE 6" MTL. STUDS @ 16" O.C. GAUGE OF METAL STUDS, HEIGHTS & ATTACHMENTS TO MAIN RIGID STEEL BUILDING FRAME AS SPECIFIED BY STRUCTURAL ENGINEER. SEE STRUCTURAL DRAWINGS. CONTRACTOR TO USE 3 5/8" MTL. STUDS ON EXTERIOR WALLS IN AREAS TO CREATE RECESSED DECORATIVE PANELS AS INDICATED ON ELEVATIONS.

B. LUMBER:

- LUMBER SHALL BE LIVE STOCK, THOROUGHLY SEASONED AND WELL MANUFACTURED. MATERIALS SHALL BE GENERALLY FREE FROM WARP THAT CANNOT BE CORRECTED BY BRIDGING OR NAILING. DIMENSIONS TO BE SHOWN ON PLANS.
- ALL WALL STUDS TO BE K-DRY, NO. 2 AND BETTER SOUTHERN YELLOW PINE. CONTRACTOR SHOULD USE DISCRETION.
- FLOOR JOISTS TO BE 16" DEEP, PRE-ENGINEERED WOOD OPEN WEB TRUSSES MANUFACTURED BY A QUALIFIED TRUSS FABRICATOR (CONTRACTOR RESPONSIBLE FOR OBTAINING STAMPED ENGINEERED DRAWINGS). BRIDGING OF JOISTS WILL BE APPROXIMATELY AT THE CENTER OF SPANS AND WILL FOLLOW MANUFACTURER'S RECOMMENDED PROCEDURES.
- SUB-FLOORING FOR SECOND FLOOR LEVEL WILL BE 3/4", T&G PLYWOOD OR ADVANTECH.
- EXTERIOR SHEATHING ON PERIMETER METAL STUDS WILL BE 1/2" O.S.B. SHEATHING. PLACEMENT OF SHEETS TO BE STAGGERED USING THE MINIMUM NUMBER OF JOINTS.



LEGEND:

- WALL TYPE "A": DENOTES IHR RATED WALL; 2"x 4" S.T.P. WOOD STUD WALL, @ 16" O.C. w/ 1 LAYER 5/8" THK. SHEETROCK BRAND FIRECODE CORE GYPSUM PANELS EACH SIDE; TAPE & FINISH (WALL TO ROOF STRUCTURE)
- WALL TYPE "B": DENOTES 10'-0" HIGH, 2"x 4" S.T.P. WD. STUD WALL @ 16" O.C. w/ 1 LAYER 5/8" THK. SHEETROCK BRAND FIRECODE CORE GYPSUM PANELS EACH SIDE; TAPE & FINISH: PAINT
- DENOTES WINDOW TAG (SEE WINDOW SCHEDULE)
- DENOTES DOOR TAG (SEE DOOR SCHEDULE)

NEW FIRST FLOOR PLAN
3/16" = 1'-0"

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NEW FIRST FLOOR PLAN, DETAILS & NOTES			
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A2.0

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ST. JOHN CHRYSOSTOM
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AW23001			
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SHEET TITLE			
NEW FIRST FLOOR PLAN, DETAILS & NOTES			
SHEET NUMBER			

A2.0

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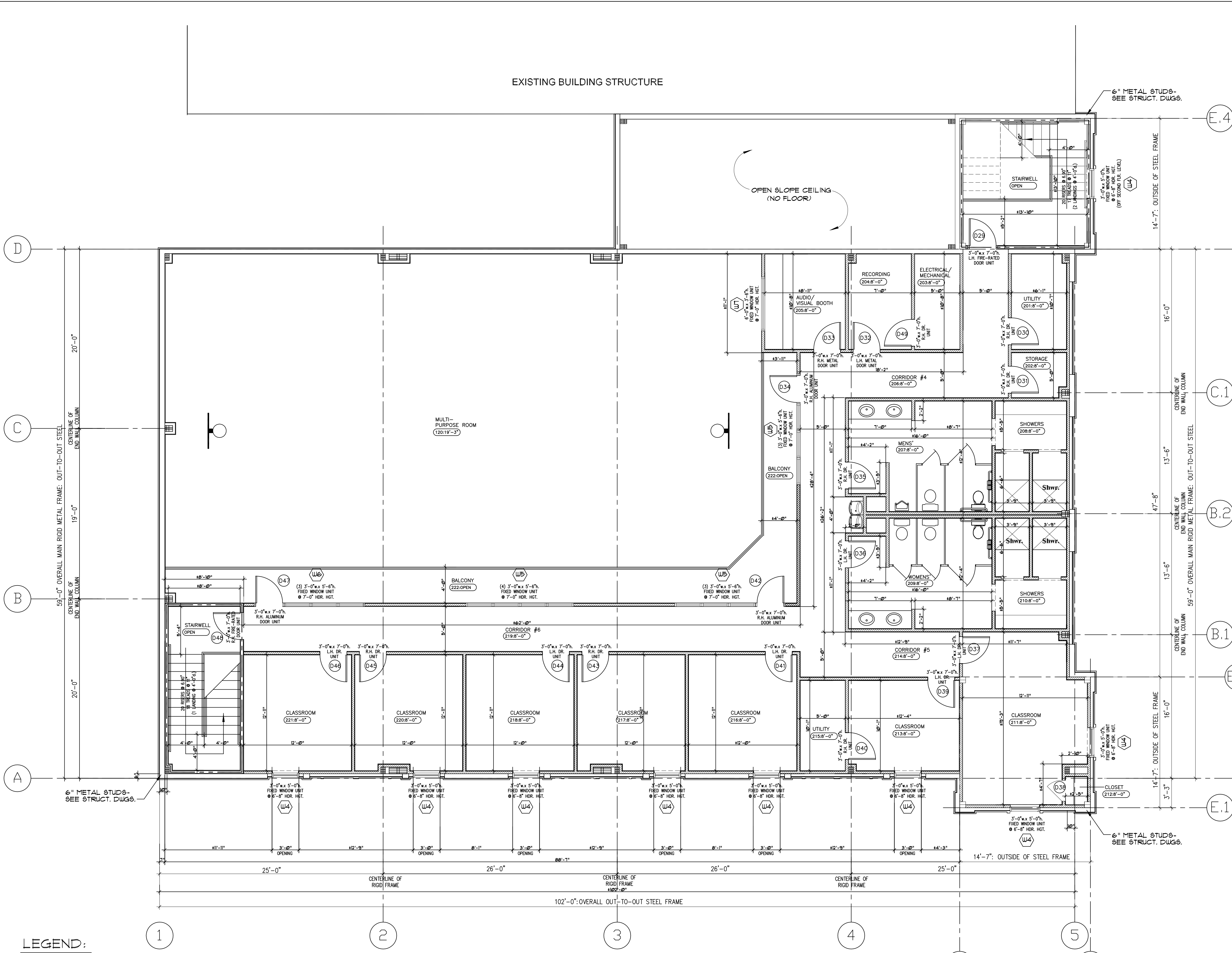
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NEW FLOOR PLAN GENERAL NOTES:

A. MISCELLANEOUS:

- PER FLORIDA BUILDING CODE - BUILDING (FBC-B), 8th EDITION (2023), SECTION 903.1, THE FLAME SPREAD, SMOKE DEVELOPED INDEX CLASSIFICATION REQUIRED FOR INTERIOR WALLS & CEILING FINISHES REQUIRED BY OCCUPANCY, GROUP A-3, SPRINKLERED, IS CLASS 'B' WITH A FLAME SPREAD INDEX 26-75 & SMOKE DEVELOPED INDEX 0-450 FOR INTERIOR EXIT STAIRWAYS AND CORRIDORS, CLASS 'C' WITH A FLAME SPREAD INDEX 16-200 & SMOKE DEVELOPED INDEX 0-450 FOR ROOMS & ENCLOSED SPACES.
- ALL INTERIOR FRAMED WALLS TO BE 9'-0" HIGH, 2"x 4" WD. STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD. PROVIDE 'GREEN BOARD' IN RESTROOMS. GYPSUM BOARD ATTACHED TO STUDS & RUNNERS w/ TYPE 'S', FAN HEAD SCREWS.
- ALL INTERIOR WALLS TO HAVE 5/8" GYPSUM BOARD OVER ALL WALL AREA AND RECEIVE ONE(1) PRIMER AND TWO (2) FINISH COATS OF ACRYLIC PAINT, PAINT COLOR & FINISH AS SELECTED BY OWNER.
- FLOORING ON SECOND FLOOR TO BE LUXURY VINYL TILE (LVT.) THROUGHOUT. COLOR AS SELECTED BY OWNER. FLOORING & WALLS IN RESTROOM SHOWER AREAS TO BE TILE AS SELECTED BY OWNER.
- ALL NEW INTERIOR DOOR UNITS TO BE 3'-0"x 7'-0", SOLID WOOD CORE WITH BIRCH VENEER, SMOOTH SEMI-GLOSS FINISH. PROVIDE CLOSER FOR RESTROOM DOORS.
- PROVIDE NEW SUSPENDED METAL GRID w/ 2'-0"x 2'-0" ACOUSTICAL TILE CEILING AT 8'-0" AFF. CEILING TO HAVE LED TROFFER LIGHT FIXTURES- SEE ELECTRICAL PLANS.

FRAMING NOTES:

A. ROUGH CARPENTRY:

- ALL JOISTS AND TIMBER FRAMING TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION MANUAL, 3rd EDITION.
- ALL CONNECTIONS AND JOINTS ARE TO BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND LEON COUNTY CODES & REGULATIONS.
- ALL FRAMING WILL FOLLOW RECOMMENDED STANDARDS FOR BLOCKING, CUTTING, DRILLING, AND BRIDGING. A SUFFICIENT NUMBER OF NAILS, SCREWS, AND BOLTS WILL BE USED TO INSURE PROPER RIGIDITY OF CONSTRUCTION.
 - STUDS IN BEARING WALL OR EXTERIOR PARTITION MAY BE NOTCHED A MAXIMUM OF 25% OF THEIR WIDTH.
 - NON-BEARING STUDS MAY BE NOTCHED A MAXIMUM OF 40% OF THEIR WIDTH, PROVIDED THE EDGE OF THE BORE IS NO CLOSER THAN 5/8" TO THE EDGE OF THE STUD.
- INTERIOR WALLS TO BE 2"x 4" STUDS SET @ 16" ON CENTER w/ 1 LAYER 5/8" THK. SHEETROCK GYPSUM PANELS EACH SIDE. TAPE & FINISH. INTERIOR PERIMETER WALLS TO BE 2"x 4" STUDS SET @ 16" ON CENTER w/ 1 LAYER 5/8" THK. SHEETROCK GYPSUM PANELS ONE SIDE.
- ROUGH HARDWARE TO BE HOT-DIPPED GALVANIZED OR CADMIUM PLATED. FASTENERS AT TREATED LUMBER TO BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL. FRAMING CONNECTORS TO BE SIMPSON, GRANGER, OR EQUAL.
- 16" DEEP, PRE-ENGINEERED WOOD OPEN WEB FLOOR TRUSSES SHALL BE INSTALLED AS PER MANUFACTURER'S DESIGN. CONTRACTOR SHALL PROVIDE MANUFACTURER'S FRAMING DRAWINGS TO BUILDING OFFICIAL, OWNER AND ARCHITECT.
- PROVIDE NAILERS, NAILING STRIPS, ETC., AS NECESSARY, FOR THE SECURE ATTACHMENT OF FINISH TRIM, TOILET ACCESSORIES, ETC.
- ALL EXTERIOR PERIMETER WALLS TO BE 6" MTL. STUDS @ 16" O.C. GAUGE OF METAL STUDS, HEIGHTS & ATTACHMENTS TO MAIN RIGID STEEL BUILDING FRAME AS SPECIFIED BY STRUCTURAL ENGINEER. SEE STRUCTURAL DRAWINGS. CONTRACTOR TO USE 3/8" MTL. STUDS ON EXTERIOR WALLS IN AREAS TO CREATE RECESSED DECORATIVE PANELS AS INDICATED ON ELEVATIONS.

B. LUMBER:

- LUMBER SHALL BE LIVE STOCK, THOROUGHLY SEASONED AND WELL MANUFACTURED. MATERIALS SHALL BE GENERALLY FREE FROM WARP THAT CANNOT BE CORRECTED BY BRIDGING OR NAILING. DIMENSIONS TO BE SHOWN ON PLANS.
- ALL WALL STUDS TO BE K-DRY, NO. 2 AND BETTER SOUTHERN YELLOW PINE. CONTRACTOR SHOULD USE DISCRETION.
- FLOOR JOISTS TO BE 16" DEEP, PRE-ENGINEERED WOOD OPEN WEB TRUSSES MANUFACTURED BY A QUALIFIED TRUSS FABRICATOR (CONTRACTOR RESPONSIBLE FOR OBTAINING STAMPPED ENGINEERED DRAWINGS). BRIDGING OF JOISTS WILL BE APPROXIMATELY AT THE CENTER OF SPANS AND WILL FOLLOW MANUFACTURER'S RECOMMENDED PROCEDURES.
- SUB-FLOORING FOR SECOND FLOOR LEVEL WILL BE 3/4", T&G PLYWOOD OR ADVANTECH.
- EXTERIOR SHEATHING ON PERIMETER METAL STUDS WILL BE 1/2" O.S.B. SHEATHING. PLACEMENT OF SHEETS TO BE STAGGERED USING THE MINIMUM NUMBER OF JOINTS.

LEGEND:

- WALL TYPE "A": DENOTES IHR RATED WALL; 2"x 4" S.T.P. WOOD STUD WALL @ 16" O.C. w/ 1 LAYER 5/8" THK. SHEETROCK BRAND FIRECODE CORE GYPSUM PANELS EACH SIDE; TAPE & FINISH (WALL TO ROOF STRUCTURE)
- WALL TYPE "B": DENOTES 9'-0" HIGH, 2"x 4" S.T.P. WD. STUD WALL @ 16" O.C. w/ 1 LAYER 5/8" THK. SHEETROCK GYPSUM PANELS EACH SIDE; TAPE & FINISH; PAINT
- DENOTES WINDOW TAG (SEE WINDOW SCHEDULE)
- DENOTES DOOR TAG (SEE DOOR SCHEDULE)

NEW
SECOND FLOOR PLAN
A2.1 3/16" = 1'-0"

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Troy A. Stencel
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TROY ANTHONY STENCEL
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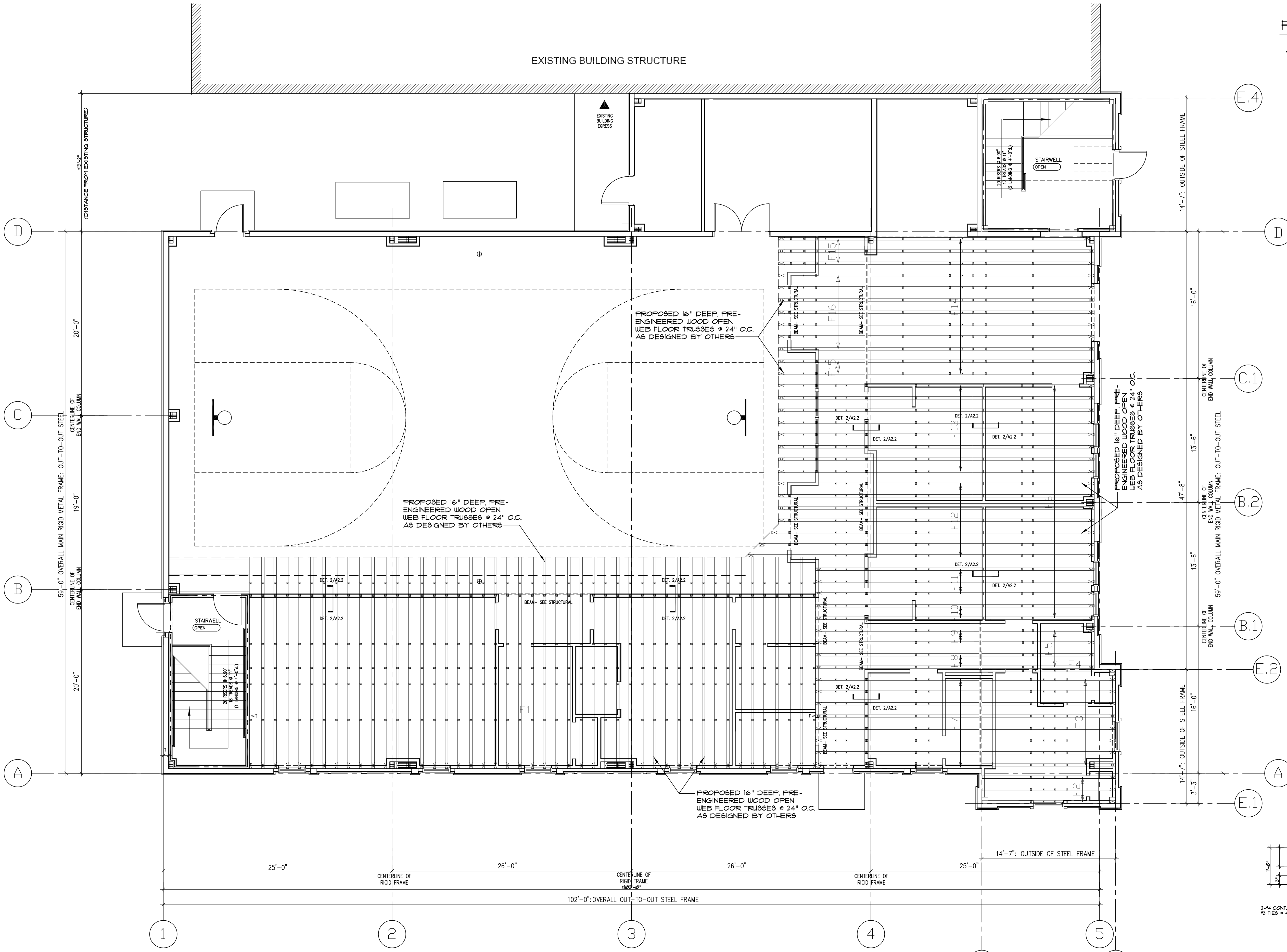
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SHEET TITLE
NEW
SECOND FLOOR PLAN,
DETAILS & NOTES

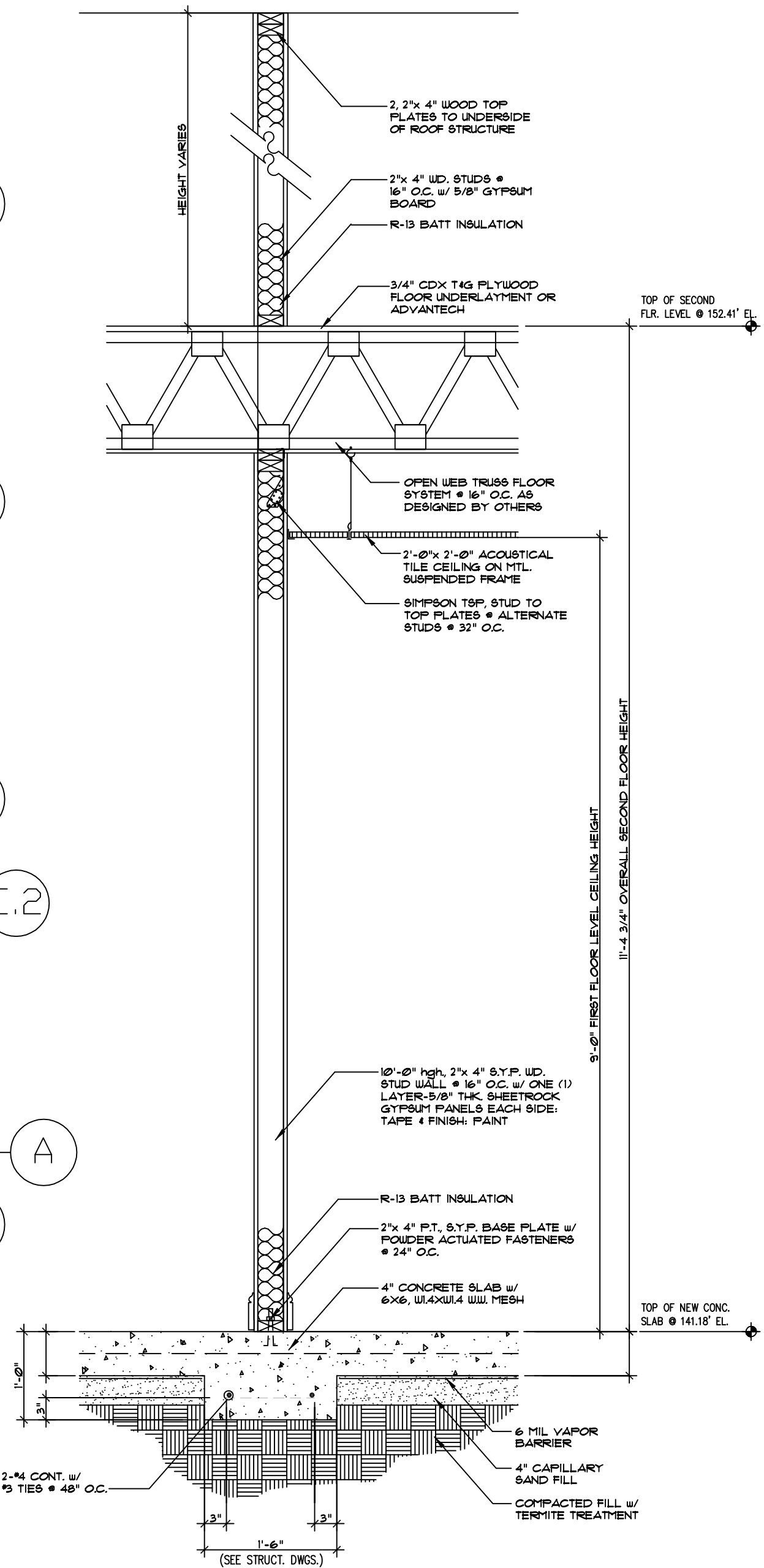
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FRAMING NOTES:

A. ROUGH CARPENTRY:

1. PROPOSED SECOND FLOOR TRUSS LAYOUT: 16" DEEP, PRE-ENGINEERED WOOD OPEN WEB FLOOR TRUSSES SHALL BE INSTALLED AS PER MANUFACTURER'S DESIGN. CONTRACTOR SHALL PROVIDE MANUFACTURER'S FRAMING DRAWINGS TO BUILDING OFFICIAL, OWNER AND ARCHITECT.
2. INTERIOR LOAD BEARING FIRST FLOOR STUD WALLS TO BE 2"x 4" STUDS SET @ 16" ON CENTER w/ ONE (1) LAYER 5/8" THK. SHEETROCK GYPSUM PANELS EACH SIDE. TAPE & FINISH. INTERIOR PERIMETER WALLS TO BE 2"x 4" STUDS SET @ 16" ON CENTER w/ 1 LAYER 5/8" THK. SHEETROCK GYPSUM PANELS ONE SIDE.
3. COORDINATE LOCATION OF LOAD BEARING WALLS WITH STRUCTURAL FOUNDATION PLAN DRAWINGS.



SECOND FLOOR
FRAMING PLAN

1
A2.2
3/16" = 1'-0"

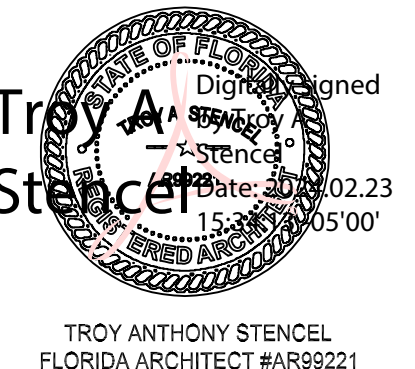
INTERIOR LOAD-
BEARING WALL

2
A2.2
3/16" = 1'-0"

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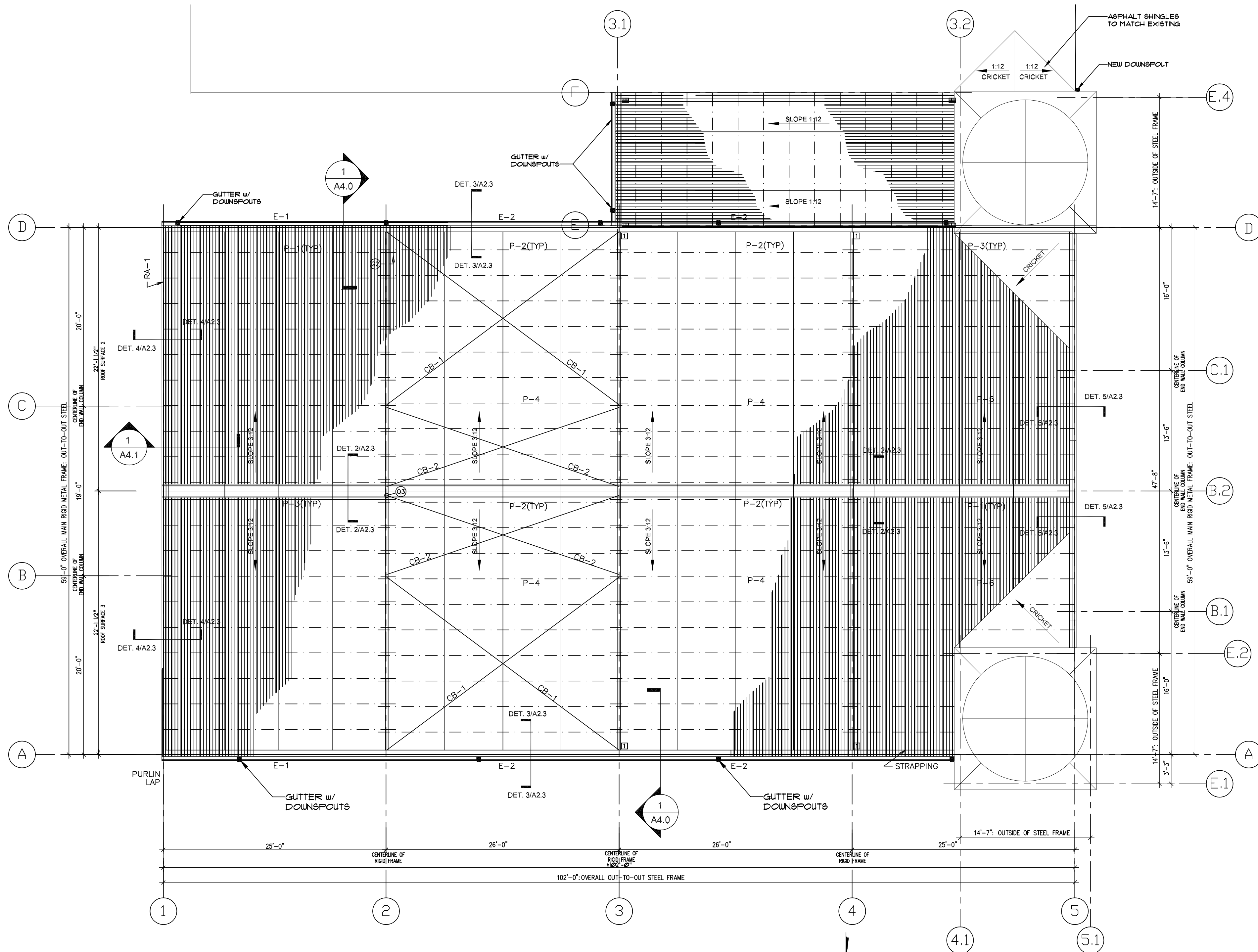
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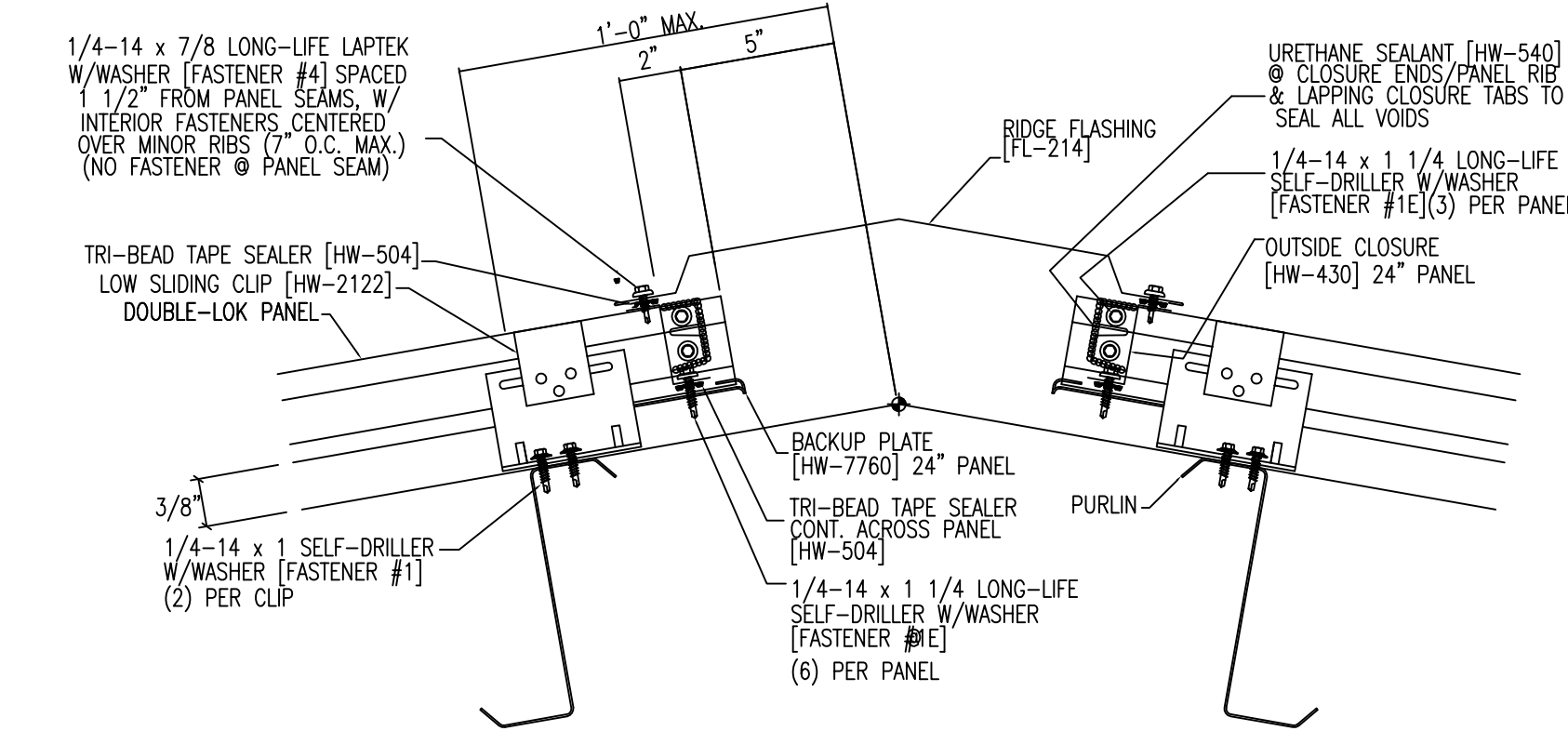
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SHEET TITLE
NEW
SECOND FLOOR
FRAMING PLAN &
SECTION

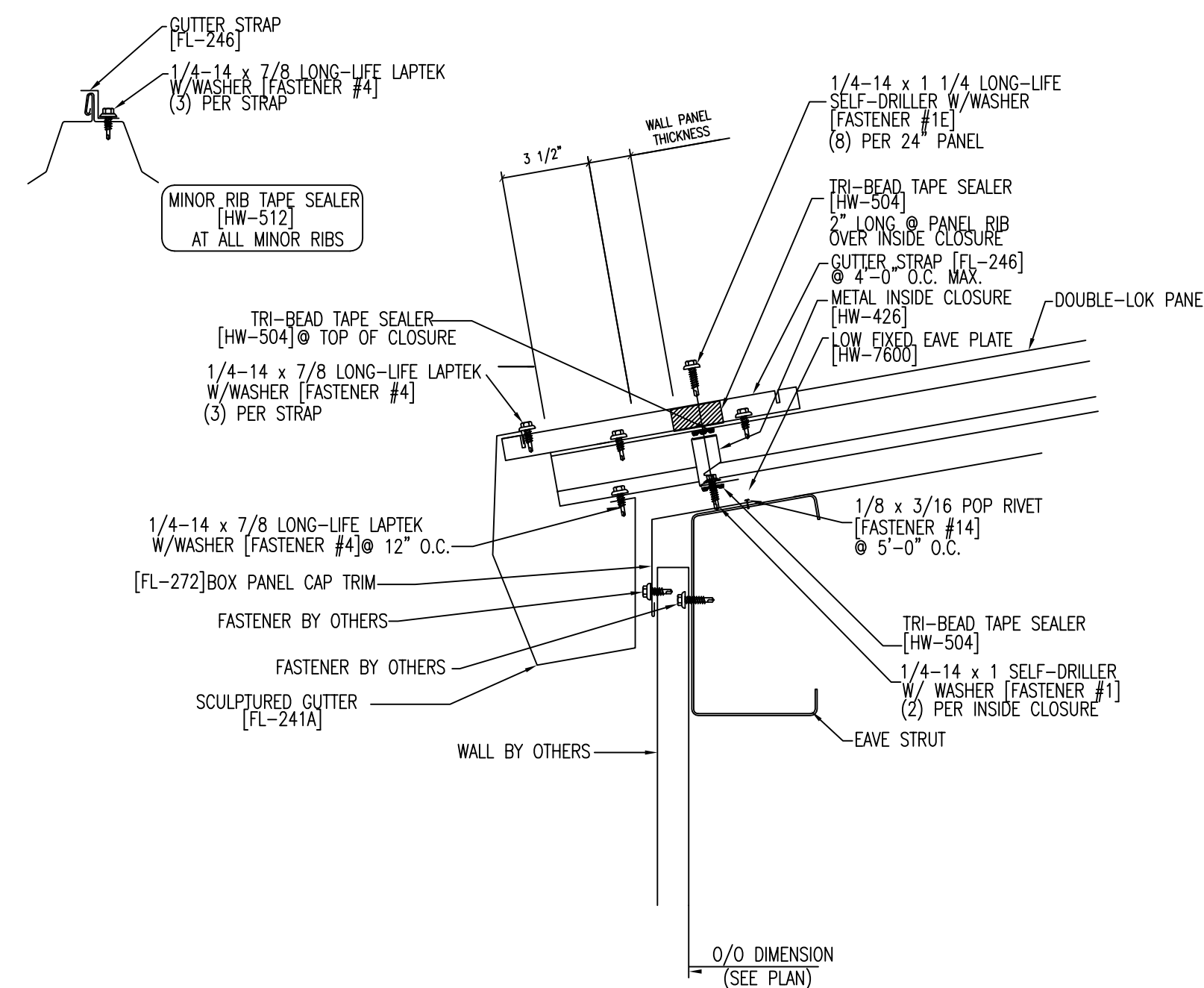
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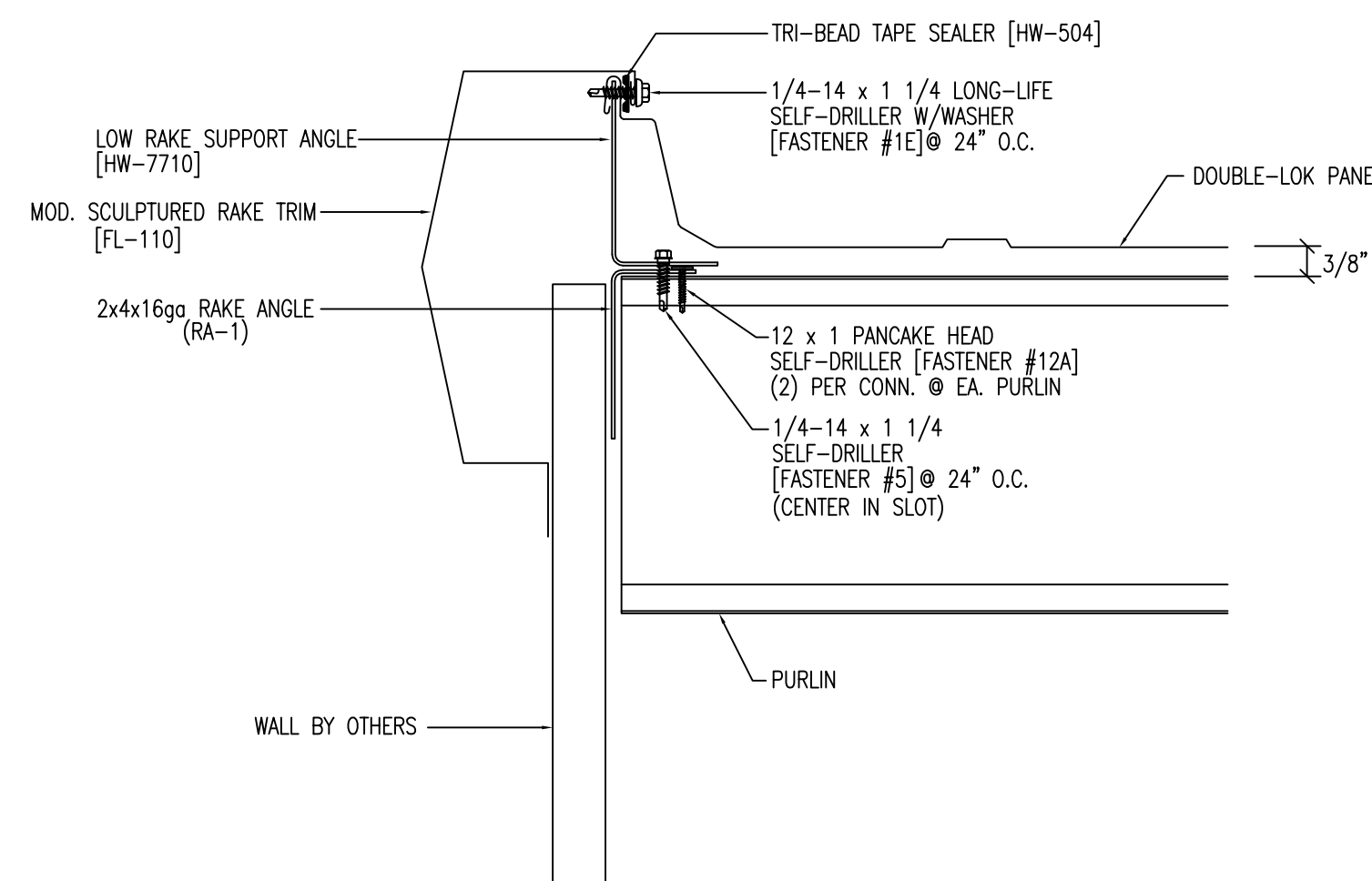
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A2.3
NEW ROOF PLAN
3/16" = 1'-0"



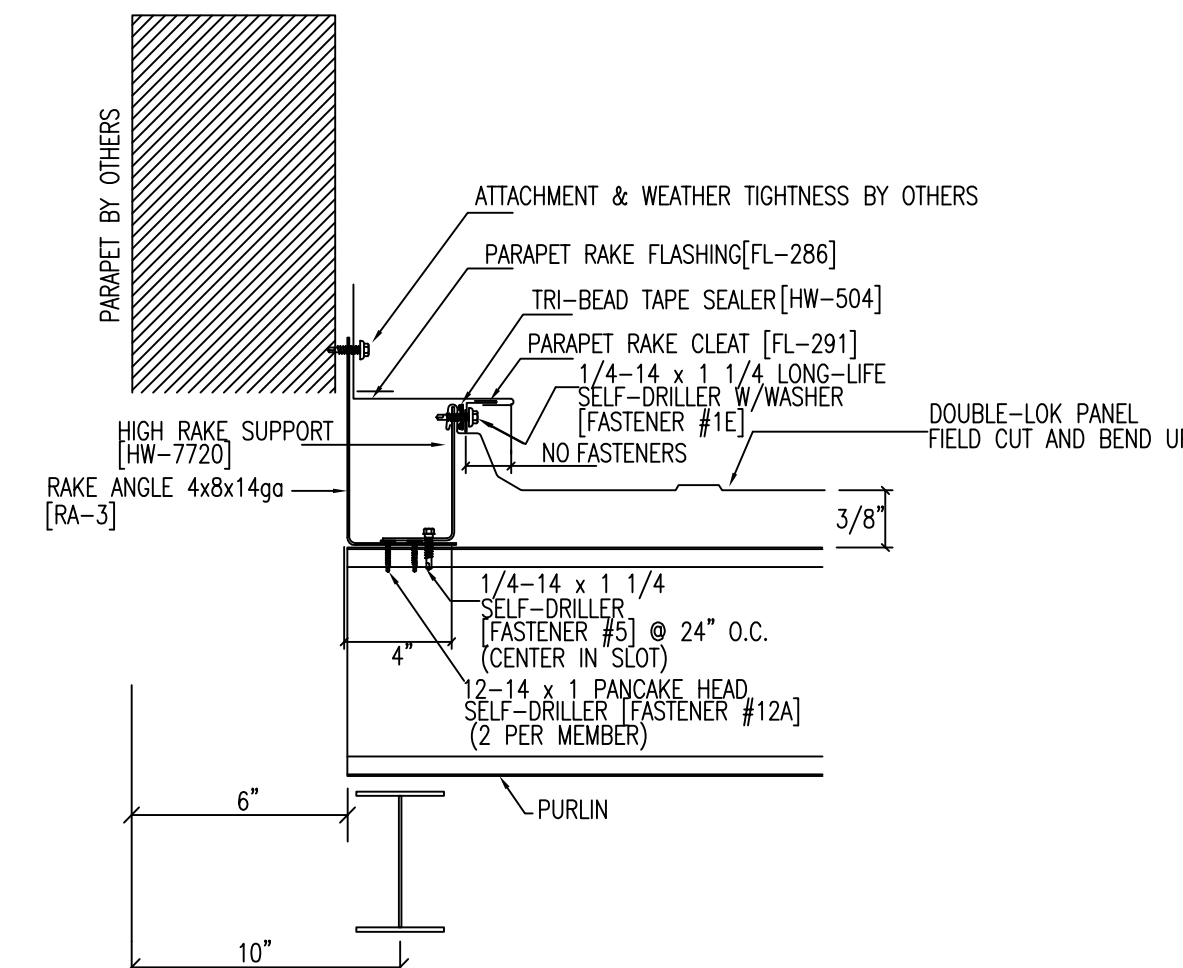
2
A2.3
RIDGE DETAIL
NOT TO SCALE



3
A2.3
GUTTER DETAIL
NOT TO SCALE



4
A2.3
RAKE DETAIL
NOT TO SCALE



5
A2.3
PARAPET DETAIL
NOT TO SCALE

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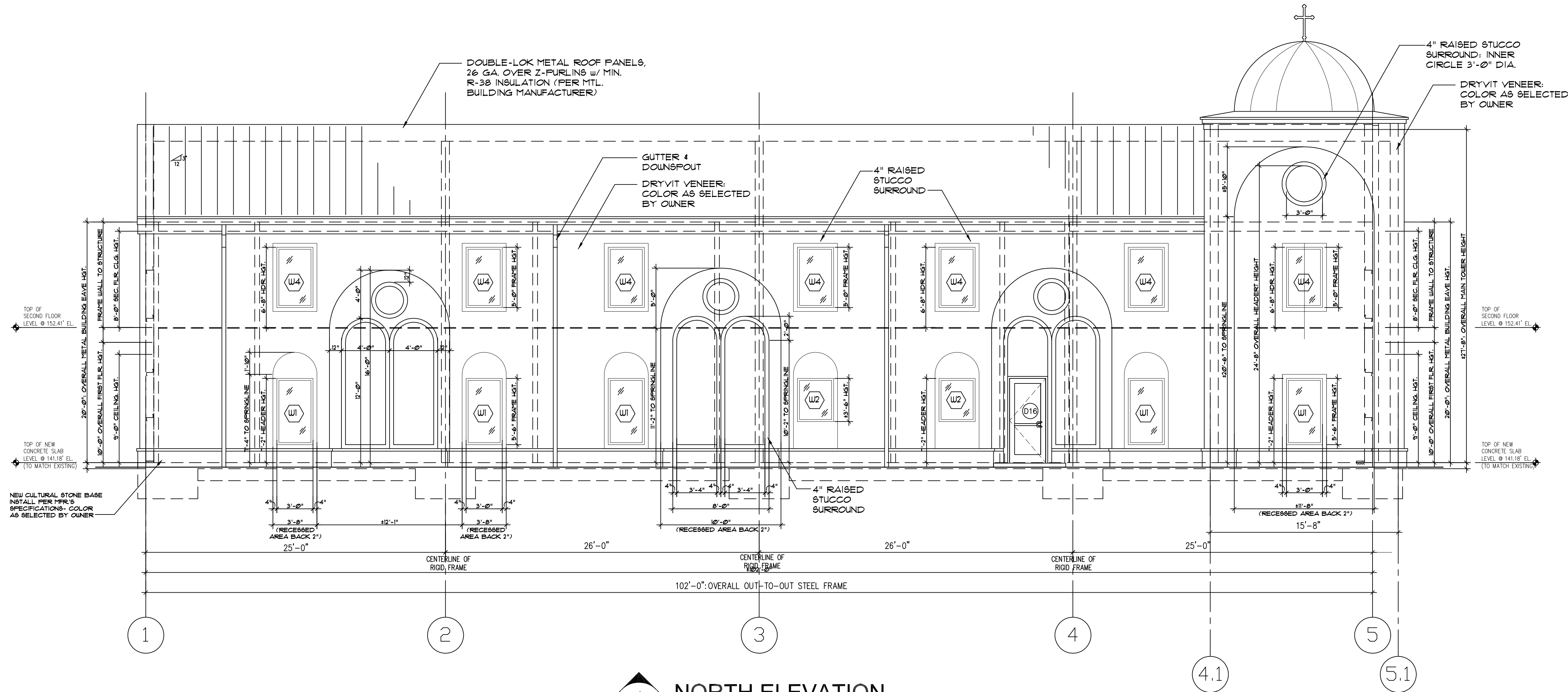
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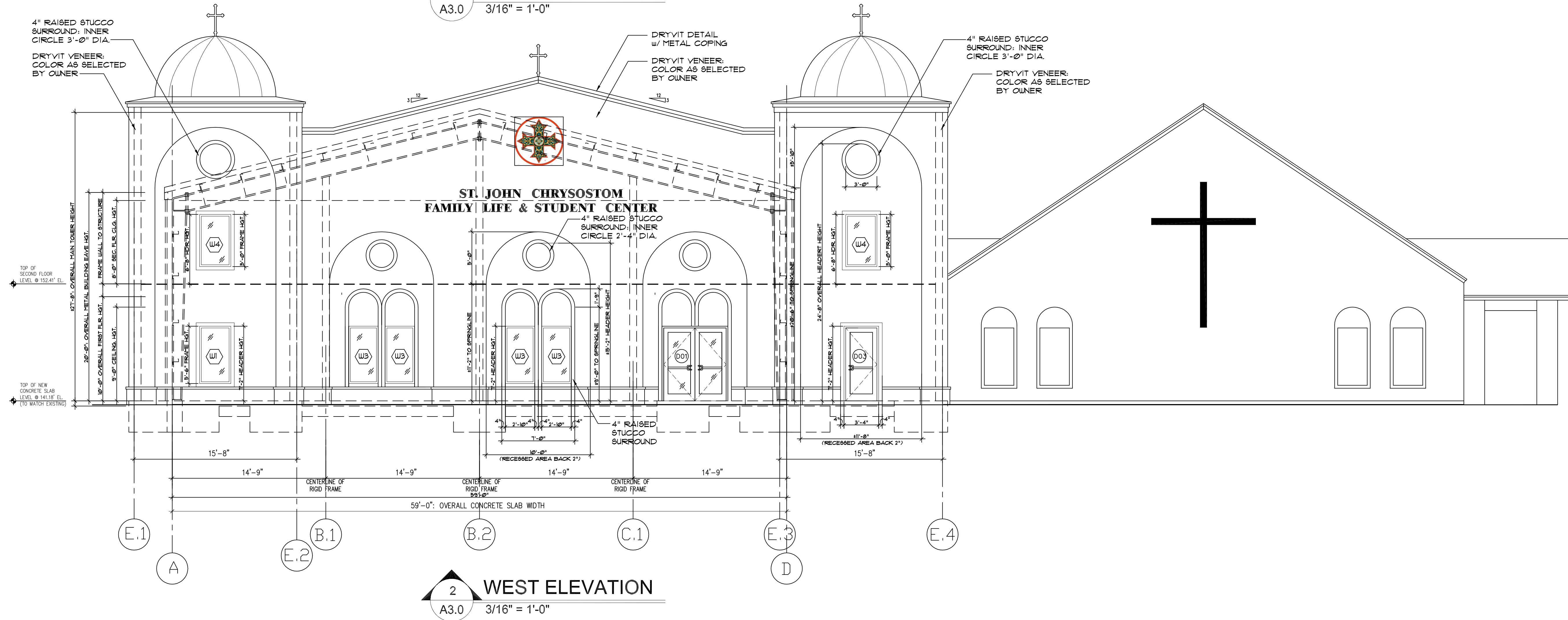
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NEW
ROOF PLAN,
DETAILS & NOTES

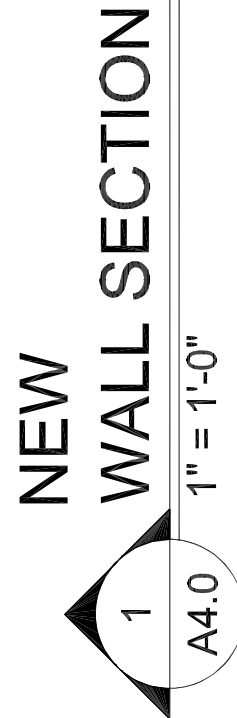
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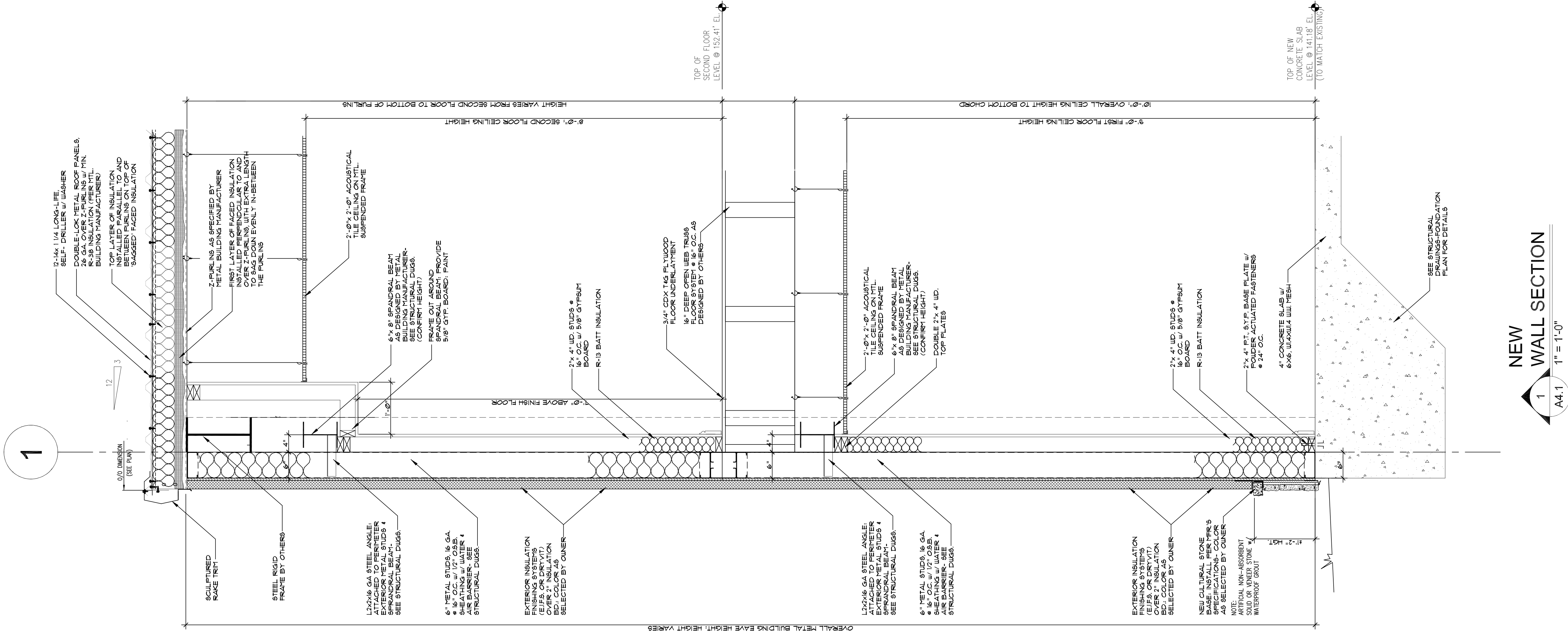


1 NORTH ELEVATION
A3.0 3/16" = 1'-0"



2 WEST ELEVATION
A3.0 3/16" = 1'-0"





NEW WALL SECTION
A4.1
1
1" = 1'-0"

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SHEET TITLE
NEW WALL SECTION

SHEET NUMBER
A4.1

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