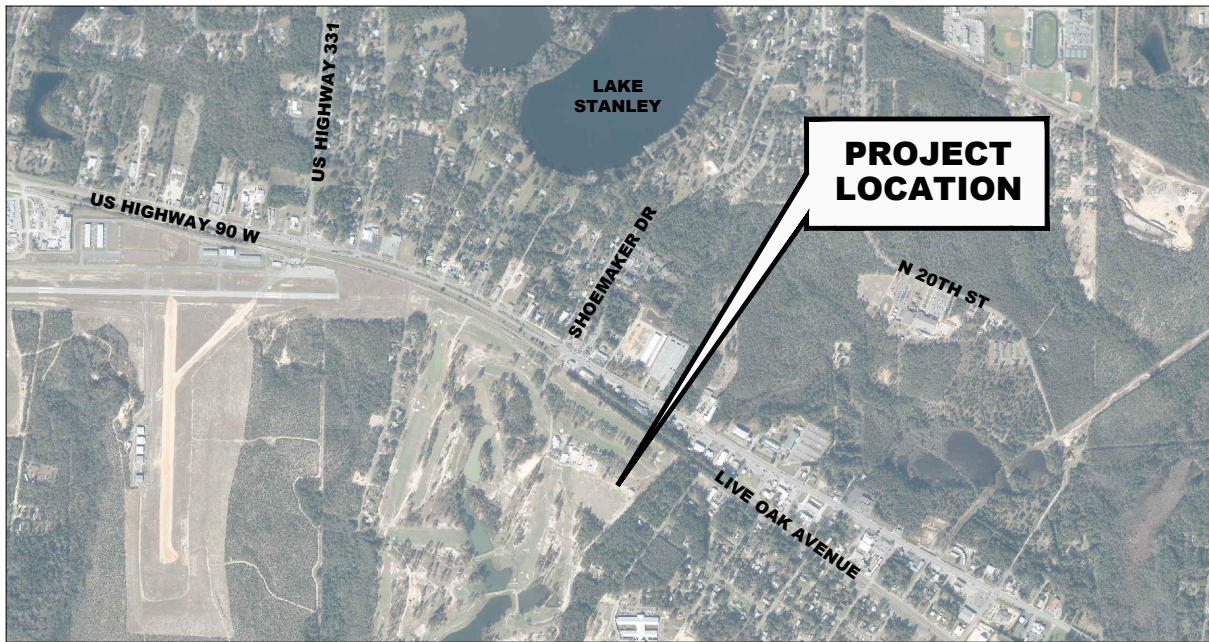


# EAGLE SPRINGS GOLF COURSE MAINTENANCE FACILITY LIVE OAK AVENUE EXTENSION

## WALTON COUNTY, FLORIDA

VICINITY MAP  
SCALE 1" = 2000"



SITE ADDRESS: 171 COUNTRY CLUB LN., DEFUNIAK SPRINGS, FL 32435  
PARCEL # 27-3N-19-19000-017-0000; 28-3N-19-19000-006-0000



BOARD OF COUNTY COMMISSIONERS  
76 N 6TH ST, DEFUNIAK SPRINGS, FL 32433  
850-892-8155

NOTE:  
ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS  
MAY HAVE BEEN ALTERED IN SIZE BY REPRODUCTION. THIS  
MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.



1625 SUMMIT LAKE DRIVE SUITE 200, TALLAHASSEE, FL 32317  
JUNE 2025  
DRMP PROJECT NO. 19-0328.010

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100% PLANS

### UTILITIES INFORMATION

(WATER/SEWER/GAS) CITY OF DEFUNIAK UTILITIES  
45 NORTH PARK STREET  
DEFUNIAK SPRINGS, FL 32433  
PHONE: (850) 892-8534

(ELECTRIC) GULF POWER  
1226 CIRCLE DRIVE  
DEFUNIAK SPRINGS, FL 32435  
PHONE: 1-800-225-5797

CALL 48 HOURS  
BEFORE YOU DIG

IT'S THE LAW!  
DIAL 811



SUNSHINE STATE ONE CALL OF FLORIDA, INC.

R E V I S I O N S				COVER			
NO.	DATE	DESCRIPTION	BY	DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
				RAJ	RAJ	MZ	BRL
EAGLE SPRINGS GOLF COURSE MAINTENANCE FACILITY LIVE OAK AVENUE EXTENSION WALTON COUNTY, FLORIDA				DO NOT SCALE THIS DRAWING — DIMENSIONS AND NOTES TAKE PREFERENCE			
DRMP ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS Certificate of Authorization No. 2648 6853 SW 18th Street, Suite 310, Boca Raton, FL 33433 Phone: 561.451.8124 Fax: 561.451.8142 WWW.DRMP.COM				BENJAMIN R. LENNON, P.E. State of Florida # 78674 PROJECT NO.: 19-0328.010 SCALE: AS SHOWN DATE: 06/2025 DRAWING: C1			



P:\Projects\19-0328.010\_Eagle\_Springs\_Golf\_Course\_Maintenance\_Fa\CADD\Cover\_Notes\_Details.dwg    Plotted: Jun 24, 2025    -- 11:01am by reJernigan

GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL WORK SHALL BE PERFORMED CONSISTENT WITH FDOT DESIGN STANDARDS (LATEST EDITION) AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
2. IF CONTRACTOR OR THEIR SUBCONTRACTORS DO NOT COMPLY WITH THE REQUIREMENTS OF THESE GENERAL NOTES, SPECIFICATIONS OR AGREEMENT BETWEEN OWNER AND CONTRACTOR, OWNER MAY, BUT IS NOT REQUIRED TO, GIVE WRITTEN NOTICE OF VIOLATION TO CONTRACTOR. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS FAIL TO COMPLY WITH REQUIREMENTS OF THESE GENERAL NOTES WITHIN TWENTY-FOUR (24) HOURS FROM THE TIME OWNER ISSUES SUCH WRITTEN NOTICE OF NONCOMPLIANCE, OR WITHIN THE TIME OF ABATEMENT PERIOD SPECIFIED BY ANY GOVERNMENTAL AGENCY, WHICHEVER PERIOD IS SHORTER, CONTRACTOR SHALL BE IN MATERIAL DEFAULT OF THIS CONTRACT.
3. THE PROJECT DESIGN HAS BEEN BASED UPON FIELD SURVEYS AND SITE VISITS BY DRMP.
4. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE, INCLUDING ALL SURFACE AND SUBSURFACE CONDITIONS, LIMITS OF CONSTRUCTION, WORK REQUIRED AND ALL OTHER CONDITIONS THAT MAY EFFECT THE SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO THE COMMENCEMENT OF WORK. IF CONTRACTOR DISCOVERS ANY ERRORS OR OMISSIONS IN THE PLANS OR SPECIFICATIONS, HE SHALL IMMEDIATELY NOTIFY OWNER OR OWNER'S AGENT.
5. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS NOT PROVIDED, GIVE ALL NOTICES REQUIRED BY, AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS, AND PERMIT CONDITIONS BEARING ON THE EXECUTION OF PROJECT, AS DRAWN AND SPECIFIED. IF CONTRACTOR OBSERVES THAT THE DRAWINGS OR SPECIFICATION ARE IN VARIANCE WITH ANY APPLICABLE LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS OR PERMIT CONDITIONS, HE SHALL TAKE ANY ACTIONS NECESSARY TO MITIGATE ANY POTENTIAL DAMAGE, AND PROMPTLY NOTIFY ENGINEER IN WRITING OF SUCH VARIANCE. ANY NECESSARY CHANGES TO THE DRAWING AND SPECIFICATIONS SHALL BE MADE IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR.
6. CONTRACTOR SHALL BE RESPONSIBLE TO OWNER AND ENGINEER FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, AND ALL SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY WORK UNDER THIS CONTRACT BETWEEN OWNER AND CONTRACTOR, FOR THIS PROJECT.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS WITH ALL GOVERNMENTAL AGENCIES, DEPARTMENT OR BODIES, PUBLIC AND PRIVATE UTILITIES, CARRIERS OR SERVICE COMPANIES, AND CORPORATIONS OWNING OR CONTROLLING ANY ROADWAYS, RAILWAYS, WATER, SEWER, GAS, ELECTRICAL, TELEPHONE OR TELEGRAPH FACILITIES, SUCH AS PAVEMENT, TRACKS, PIPING, WIRES, CABLES, CONDUITS, POLES, GUYS OR OTHER SIMILAR FACILITIES, INCLUDING INCIDENTAL STRUCTURES CONNECTED TO SUCH SERVICES, THAT ARE ENCOUNTERED DURING THE PROJECT, IN ORDER THAT SUCH ITEMS MAY BE PROPERLY PROTECTED, SUPPORTED OR RELOCATED AS NEEDED.
8. UNLESS OTHERWISE SPECIFIED IN THESE GENERAL CONDITIONS, SPECIFICATIONS OR IN THE AGREEMENT BETWEEN OWNER AND CONTRACTOR, ALL CONSTRUCTION IS TO BE GOVERNED BY THE PLANS, SPECIFICATION AND APPLICABLE PERMITS, ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS, PERMIT CONDITIONS AND BUILDING AND SAFETY CODES BEARING ON THE EXECUTION OF THE PROJECT.
9. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC OR UTILITY RIGHT-OF-WAY OR EASEMENT, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMITS FROM THE APPLICABLE JURISDICTION RESPONSIBLE FOR SUCH RIGHT-OF-WAY OR EASEMENT. ADDITIONALLY, CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE CALL AT 1 (800) 432-4770 AT LEAST 72 HOURS PRIOR TO DIGGING OR OTHERWISE DISTURBING UTILITIES.
10. CONTRACTOR SHALL PRESERVE AND PROTECT ALL PERMANENT REFERENCE MONUMENTS, CONTROL POINTS, BENCHMARKS AND PROPERTY CORNERS. IN THE EVENT ANY REFERENCE MONUMENTS, CONTROL POINTS, BENCHMARKS OR PROPERTY CORNERS ARE DISTURBED, CONTRACTOR SHALL EMPLOY A FLORIDA REGISTERED LAND SURVEYOR TO RESET OR REPLACE SUCH.
11. THE OWNER, OWNER'S AGENT AND INSPECTORS OF APPLICABLE GOVERNMENT JURISDICTIONS AND AGENCIES SHALL HAVE ACCESS TO THE PROJECT AT ALL TIMES. CONTRACTOR SHALL PROVIDE REASONABLE AND PROPER FACILITIES FOR SUCH ACCESS AND INSPECTION OF THE WORK.
12. CONTRACTOR SHALL COMPLY IN EVERY ASPECT WITH THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (OSHA) AS AMENDED AND ALL RULES, STATUTES AND REGULATIONS NOW OR HEREAFTER IN EFFECT UNDER SAID ACT. THE CONTRACTOR FURTHER AGREES TO COMPLY WITH ANY OTHER APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS OR PERMIT CONDITIONS PERTAINING TO JOB SAFETY AND HEALTH, INCLUDING, BUT NOT LIMITED TO CFR 1910 AND 1926.
13. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE BUILDING AND SAFETY CODES, FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS OR PERMIT CONDITIONS, INCLUDING BUT NOT LIMITED TO, LAWFUL ORDERS OF ANY QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THE PROTECTION AGAINST INJURY, DAMAGE, OR LOSS TO PERSONNEL, EQUIPMENT OR MATERIALS, OR DESIGNED TO PROTECT THE ENVIRONMENT. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE AND REQUIRED SAFEGUARDS FOR THE SAFETY AND PROTECTION OF ALL PERSONNEL, EQUIPMENT OR MATERIALS, INCLUDING BUT NOT LIMITED TO, POSTING OF DANGER SIGNS AND OTHER WARNING AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES OF THE EXISTENCE OF HAZARDS AND SAFETY REGULATIONS.
14. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL REASONABLE AND PRUDENT PRECAUTIONS FOR THE SAFE AND SECURE PROTECTION OF ALL INCOMPLETE WORK, MATERIALS AND EQUIPMENT STORED ONSITE AND OFFSITE, AND ANY UNAUTHORIZED ACCESS TO SUCH.
15. CONTRACTOR SHALL, AT ALL TIMES, UTILIZE ALL NORMALLY ACCEPTED AND REASONABLY EXPECTED SAFETY PRACTICES AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS OR PERMIT CONDITIONS, AND GUIDELINES AND RECOMMENDATIONS PERTAINING TO THE SAFE UTILIZATION OF ALL EQUIPMENT AND MATERIALS, AS PUBLISHED BY MANUFACTURER OR SUPPLIER.
16. PRIOR TO INITIATING ANY EXCAVATION (INCLUDING, BUT NOT LIMITED TO, TUNNELS, DITCHES, SWALES, STORMWATER PONDS, CANALS, OR ARTIFICIAL LAKES), CONTRACTOR SHALL REVIEW AND MAKE ARRANGEMENTS TO COMPLY IN EVERY RESPECT WITH THE PROVISIONS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS OR PERMIT CONDITIONS, (INCLUDING BUT NOT LIMITED TO CFR 1926 SUBPART P, OSHA DIRECTIVES CPL 2.69 AND 2.87 AND STATE OF FLORIDA DHR REQUIREMENTS) PERTAINING TO SAFE TRENCHING AND EXCAVATION. CONTRACTOR SHALL INSTALL ALL NECESSARY FENCES AND BARRIERS, AND TAKE ALL OTHER REASONABLE AND PRUDENT STEPS TO ENSURE THAT ACCESS TO EXCAVATIONS BY UNAUTHORIZED INDIVIDUALS IS PREVENTED.
17. CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE AND REQUIRED PROTECTION TO PREVENT INJURY, DAMAGE OR LOSS TO:

A. ALL INDIVIDUALS INCLUDING CONTRACTOR'S EMPLOYEES, AND ALL SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, INSPECTORS AND ANY OTHER PERSONS PERFORMING ANY WORK UNDER A CONTRACT WITH THE CONTRACTOR;

B. ALL THE WORK, MATERIALS AND EQUIPMENT TO BE INCORPORATED INTO THE FINAL PRODUCT, WHETHER IN STORAGE ONSITE OR OFFSITE, UNDER THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR ANY OF THE SUBCONTRACTORS; AND

C. OTHER PROPERTY AT THE SITE OR ADJACENT TO THE SITE, INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS, ROADWAYS, STRUCTURES AND UTILITIES NOT DESIGNATED FOR REMOVAL OR DEMOLITION DURING THE COURSE OF THE PROJECT.

D. ALL DAMAGE OR LOSS TO ANY PROPERTY, UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER, CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, CONTRACTOR'S EMPLOYEES, ANY SUBCONTRACTORS OR THEIR AGENTS, EMPLOYEES OR OTHER PERSONS PERFORMING WORK UNDER A CONTRACT WITH THE CONTRACTOR FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SHALL BE REMEDIED BY THE CONTRACTOR, EXCEPT FOR DAMAGE OR PROPERTY LOSS ATTRIBUTED

- SOLELY TO THE ACTS OR OMISSIONS OF THE OWNER OR THE ENGINEER, OR ANY SUBCONTRACTORS OR THEIR AGENTS, EMPLOYEES OR OTHER PERSONS PERFORMING WORK FOR THEM, OR FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SHALL AND NOT PROPERLY ATTRIBUTABLE IN WHOLE OR IN PART TO THE FAULT OR NEGLIGENCE OF THE CONTRACTOR.
18. ALL INJURY, DAMAGE OR LOSSES TO ANY PERSONNEL, EQUIPMENT, MATERIALS OR PROPERTY, AS NOTED IN THIS PARAGRAPH 18, CAUSED IN WHOLE OR IN PART, THROUGH FAULT OR NEGLIGENCE BY CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR BY ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SHALL BE REMEDIED BY THE CONTRACTOR, EXCEPT FOR INJURY, DAMAGE OR LOSS PROPERLY ATTRIBUTABLE SOLELY TO THE ACTS, ERRORS OR OMISSIONS OF OWNER, ENGINEER OR ANYONE EMPLOYED BY THEM, OR FOR THOSE ACTS ANY OF THEM MAY BE LIABLE AND NOT PROPERLY ATTRIBUTABLE IN WHOLE OR IN PART TO THE FAULT OR NEGLIGENCE OF THE CONTRACTOR.
19. UNTIL THE FINAL ACCEPTANCE OF THE PROJECT BY OWNER, CONTRACTOR SHALL HAVE THE COMPLETE CHARGE AND CARE OF, AND SHALL BEAR ALL RISKS AND EXPENSES FOR ANY INJURY, DAMAGE OR LOSS, OR TO ANY PORTION OF THE WORK, ALL MATERIALS STORED ONSITE OR OFFSITE BY THE ACTION OF THE ELEMENTS, OR FROM ANY OTHER CAUSE WHETHER ARISING FROM THE EXECUTION OR NON-EXECUTION OF THE WORK. CONTRACTOR SHALL BEAR ALL EXPENSES FOR ANY REPAIRS, REBUILDING OR RESTORATION, AND MAKE GOOD ALL INJURIES, DAMAGES OR LOSSES TO ANY PORTION OF THE WORK BEFORE FINAL ACCEPTANCE OF THE PROJECT BY OWNER.
20. CONTRACTOR SHALL NOT LOAD, CAUSE OR PERMIT ANY PART OF THE WORK TO BE LOADED SO AS TO ENDANGER SAFETY.
21. THOSE PARTS OF THE WORK IN PLACE, WHICH ARE SUBJECT TO DAMAGE, BECAUSE OF ACTIVITIES OR OPERATIONS BEING CARRIED OUT ADJACENT TO, SHALL BE COVERED, BOARDED UP OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION BY CONTRACTOR AT HIS EXPENSE.
22. PERMANENT OPENINGS USED AS THOROUGHFARES FOR THE INTRODUCTION OF WORK, PERSONNEL, EQUIPMENT AND/OR MATERIALS TO STRUCTURES SHALL HAVE HEADS, JAMBS AND SILLS WELL BLOCKED AND BOARDED BY THE CONTRACTOR. OWNER RETAINS THE AUTHORITY, BUT ASSUMES NO DUTY TO ESTABLISH STANDARDS OF PROTECTION, AND TO REVIEW THE EFFICIENCY OF PROTECTIVE MEASURES TAKEN BY CONTRACTOR.
23. ADEQUATE TRAFFIC CONTROL, BARRICADES AND FLAGMEN SERVICES SHALL BE FURNISHED AND MAINTAINED BY CONTRACTOR AT ALL POINTS WHERE CONVEYING EQUIPMENT ENGAGED ON THE WORK REGULARLY ENTER ONTO, EXITS FROM OR CROSSES TRAFFIC CARRYING ROADS.
24. CONTRACTOR SHALL PROTECT AND KEEP OWNER (INCLUDING THEIR AGENTS AND EMPLOYEES) FREE AND HARMLESS FROM ANY AND ALL LIABILITY, PUBLIC OR PRIVATE, PENALTIES, CONTRACTUAL OR OTHERWISE, LOSSES, DAMAGES, COST, ATTORNEY'S FEES, EXPENSES, CAUSE OF ACTION, CLAIMS OR OTHER JUDGMENTS RESULTING FROM VIOLATIONS UNDER OSHA OR ANY RULES, STATUTES OR REGULATIONS PROMULGATED THERE UNDER, OR ANY FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF THE WORK OR WORK TO BE PERFORMED ON THIS PROJECT. CONTRACTOR SHALL INDEMNIFY OWNER (INCLUDING THEIR AGENTS AND EMPLOYEES) FROM ANY SUCH CLAIMS, PENALTIES, SUITS OR ACTIONS, PUBLIC OR PRIVATE, ADMINISTRATIVE OR JUDICIAL, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES PAID OR INCURRED BY, OR ON BEHALF OF OWNER, JOINTLY OR SEVERALLY, AND/OR THEIR AGENT AND EMPLOYEES. CONTRACTOR FURTHER AGREES IN THE EVENT OF A CLAIMED VIOLATION OF ANY FEDERAL, STATE OR LOCAL SAFETY AND HEALTH LAW OR REGULATION ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF THE WORK, OR WORK TO BE PERFORMED ON THIS PROJECT, OWNER MAY IMMEDIATELY TAKE ALL ACTIONS DEEMED NECESSARY TO REMEDY THE CLAIMED VIOLATIONS. ANY AND ALL COST OR EXPENSES PAID OR INCURRED BY OWNER IN TAKING SUCH ACTION SHALL BE BORNE SOLELY BY CONTRACTOR, AND CONTRACTOR AGREES TO PROTECT, HOLD HARMLESS AND INDEMNIFY OWNER AGAINST ANY AND ALL SUCH COST OR EXPENSES.
25. ALL WORK PERFORMED UNDER THIS CONTRACT, AND ALL EQUIPMENT, APPLIANCES, TOOLS AND LIKE ITEMS USED IN THE PERFORMANCE OF THE WORK SHALL CONFORM TO ALL APPLICABLE BUILDING AND SAFETY CODES, AND REGULATIONS OF ANY PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION. IN THE EVENT OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT INTERPRETATION OR REGULATION SHALL APPLY.
26. "HAZARDOUS MATERIALS" MEANS ANY SUBSTANCE WHICH:

A. THE PRESENCE OF REQUIRES INVESTIGATION OR REMEDIATION UNDER ANY PRESENT FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS OR PERMIT CONDITIONS, OR

B. IS OR BECOMES DEFINED AS A "HAZARDOUS WASTE", "HAZARDOUS SUBSTANCE", POLLUTANT OR CONTAMINATE UNDER ANY PRESENT FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS OR PERMIT CONDITIONS OR AMENDMENTS, INCLUDING BUT NOT LIMITED TO, THE 1980 COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (CERCLA) AND/OR THE 1976 RESOURCE CONSERVATION AND RECOVERY ACT (RCRA); OR

C. IS TOXIC, EXPLOSIVE, CORROSIVE, FLAMMABLE, INFECTIOUS, RADIOACTIVE, CARCINOGENIC, MUTAGENIC OR OTHERWISE HAZARDOUS AND IS REGULATED BY ANY GOVERNMENTAL AUTHORITY, AGENCY, DEPARTMENT, COMMISSION, BOARD OR INSTRUMENTALITY OF THE UNITED STATES, THE STATE(S) IN WHICH THE PROJECT IS LOCATED OR ANY POLITICAL SUBDIVISION THEREOF, OR

D. THE PRESENCE OF ON THE PREMISES CAUSES OR THREATENS TO CAUSE A NUISANCE UPON THE PREMISES OR TO ADJACENT PROPERTIES OR POSES OR THREATENS TO POSE A HAZARD TO THE HEALTH OR SAFETY OF PERSONS ON OR ABOUT THE PREMISES, OR

E. THE PRESENCE OF ON THE PREMISES CAUSES OR THREATENS TO CAUSE A NUISANCE UPON THE PREMISES OR TO ADJACENT PROPERTIES OR POSES OR THREATENS TO POSE A HAZARD TO THE ENVIRONMENT, OR

F. CONTAINS GASOLINE, DIESEL FUEL OR OTHER PETROLEUM HYDROCARBONS, OR

G. CONTAIN POLYCHLORINATED BIPHENYLS (PCBS), ASBESTOS, MERCURY, LEAD OR UREA FORMALDEHYDE FOAM INSULATION.
27. CONTRACTOR AND ITS SUBCONTRACTORS SHALL PROPERLY USE, HANDLE, TRANSPORT AND DISPOSE OF ALL HAZARDOUS MATERIALS IN COMPLIANCE WITH ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, STATUTES, REGULATIONS OR PERMIT CONDITIONS, INCLUDING BUT NOT LIMITED TO, LAWFUL ORDERS OF ANY QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THE PROTECTION AGAINST INJURY, DAMAGE, OR LOSS TO PERSONNEL, EQUIPMENT OR MATERIALS, OR DESIGNED TO PROTECT THE ENVIRONMENT.
28. CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE IMPROPER DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIALS OR SUBSTANCES CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL TAKE ALL SUCH ACTIONS AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECTS OF SUCH SPILL ON ANY PERSON OR PROPERTY, NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND NOTIFY OWNER IN WRITING.
29. CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS PROJECT, REMOVE ALL SUPPLIES, MATERIALS AND WASTE CONTAINING HAZARDOUS MATERIALS FROM THE JOB SITE. CONTRACTOR SHALL BEAR ALL FINANCIAL RESPONSIBILITY, BETWEEN THE PARTIES OF THE CONTRACT, FOR COMPLIANCE WITH THE PROVISIONS OF THESE GENERAL NOTES, SPECIFICATIONS OR AGREEMENT BETWEEN OWNER AND CONTRACTOR.
30. CONTRACTOR AGREES TO INDEMNIFY, DEFEND, PROTECT AND HOLD HARMLESS OWNER FROM AND AGAINST ANY CLAIMS INCLUDING, WITHOUT LIMITATION, ACTUAL ATTORNEY'S FEES AND ANY COST OF INVESTIGATION, SOIL TESTING, GOVERNMENTAL APPROVALS, REMEDIATION AND CLEANUP ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE FAILURE OF CONTRACTOR OR ITS SUBCONTRACTORS, OR THEIR AGENTS, EMPLOYEES, OFFICERS OR REPRESENTATIVES, TO COMPLY WITH THE TERMS OF THESE GENERAL NOTES.

31. SHOULD THE CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSE OF ANY HAZARDOUS MATERIALS ON OR ABOUT THE JOB SITE IN VIOLATION OF THESE GENERAL NOTES, SPECIFICATIONS OR AGREEMENT BETWEEN OWNER AND CONTRACTOR OR IN THE EVENT OF ANY SPILL, RELEASE OR ANY REPORTABLE OCCURRENCES, CONTRACTORS SHALL IMMEDIATELY TAKE SUCH ACTIONS AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECTS OF SUCH SPILLS ON PERSONS, PROPERTY OR THE ENVIRONMENT, NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND INFORM THE OWNER IN WRITING.
32. IN THE EVENT CONTRACTOR OR ANY OF ITS SUBCONTRACTORS ENCOUNTER ON THE PREMISES ANY PIPELINE, UNDERGROUND STORAGE TANK OR OTHER CONTAINER OF ANY KIND, THAT MAY CONTAIN A HAZARDOUS MATERIAL, OR ENCOUNTER ANY MATERIAL REASONABLY BELIEVED TO BE A HAZARDOUS MATERIAL, CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO THE OWNER IN WRITING.
33. MENTION OF A MANUFACTURER'S PROPRIETARY PRODUCT ON THESE PLANS IS TO ESTABLISH TYPE AND QUALITY ONLY. OTHER MANUFACTURER'S PRODUCTS OF SIMILAR QUALITY TYPE AND QUANTITY WILL ALSO BE CONSIDERED.
34. CONTRACTOR SHALL PROVIDE AS BUILT PLANS CERTIFIED BY A FLORIDA LICENSED SURVEYOR.
35. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND ACCEPTING THE EXISTING CONDITIONS OF THE SITE PRIOR TO BIDDING.
36. EXISTING UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL ENSURE THAT THE UTILITY SYSTEMS DO NOT CONFLICT WITH THE PROPOSED PROJECT. CONFLICTS SHALL BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
37. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES IN CONFLICT WITH THE WORK, CONSTRUCTION OF TEMPORARY UTILITIES IN THE EVENT THAT EXISTING UTILITY SERVICE MUST BE INTERRUPTED AND ANY OTHER CONSTRUCTION RELATED ACTIVITIES THAT MAY AFFECT EXISTING OR PROPOSED UTILITIES. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS BASED ON INFORMATION PROVIDED BY THE UTILITY OWNERS, AVAILABLE RECORDS, AND SURVEYED FIELD INFORMATION. THE INFORMATION MAY NOT REFLECT ACTUAL CONDITIONS, INCLUDE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR SHOW THE UTILITIES IN THE CORRECT HORIZONTAL OR VERTICAL LOCATIONS. THE CONTRACTOR WILL MAKE HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UTILITIES AS NECESSARY TO ESTABLISH THEIR LOCATIONS AND AVOID DAMAGE.
38. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL GRADE STAKES, LINES, AND LEVELS
39. THE CONTRACTOR SHALL SOLID SOD ALL DISTURBED AREAS UNLESS OTHERWISE SPECIFIED OR SHOWN.
40. NO SEPARATE PAYMENT WILL BE MADE FOR DEWATERING. THE COSTS FOR DEWATERING ARE INCLUDED IN THE UNIT PRICES FOR CONSTRUCTING THIS PROJECT.
41. ALL AREAS, STREETS, DRIVEWAYS, PARKING LOTS, ETC. DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL OR BETTER CONDITION.
42. THE CONTRACTOR WILL HAVE ALL REQUIRED PERMITS IN-HAND PRIOR TO BEGINNING CONSTRUCTION, AND WILL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMITS OBTAINED BY THE OWNER AND THOSE PERMITS OBTAINED BY THE CONTRACTOR.
43. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR WILL SUBMIT TO THE OWNER'S PROJECT MANAGER A SCHEDULE OF VALUES, A CONSTRUCTION SCHEDULE, AND A SAFETY PLAN.
44. THE CONSTRUCTION SCHEDULE WILL DESCRIBE IN DETAIL HOW THE CONSTRUCTION IS TO BE PHASED, ESTABLISH START AND FINISH DATES FOR ALL SIGNIFICANT CONSTRUCTION ACTIVITIES, AND IDENTIFY ALL CONTROLLING ITEMS OF WORK. THE SCHEDULE IS TO BE APPROVED BY THE OWNER'S PROJECT MANAGER, AND WILL BE UPDATED ON A MONTHLY BASIS TO REFLECT ACTUAL WORK PROGRESS. PAYMENT FOR PREPARING, UPDATING AND SUBMITTING THE SCHEDULE WILL BE INCLUDED IN THE PAY ITEM FOR MOBILIZATION OR OTHER PAY ITEMS AS APPROPRIATE.
45. THE CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN FOR APPROVAL BY THE OWNER'S PROJECT MANAGER AND WILL ADDRESS THE INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT SEDIMENT AND EROSION CONTROL DEVICES TO BE USED DURING EACH PHASE OF CONSTRUCTION, INCLUDING TREE REMOVAL, CLEARING AND GRUBBING, EXCAVATION, HAULING OF EXCAVATED MATERIALS, AND PLACEMENT OF EMBANKMENT AND BACKFILL. THE PLAN ALSO WILL DETAIL THE EROSION CONTROL MEASURES TO BE EMPLOYED AT ALL STOCKPILE AND CONSTRUCTION STAGING AREAS AND WILL DEFINE THE MAXIMUM LIMITS OF ALL ACTIVE CONSTRUCTION ZONES.
46. PRIOR TO ANY SCHEDULED INTERRUPTION OF UTILITY SERVICE, THE CONTRACTOR WILL COORDINATE SUCH INTERRUPTION WITH THE UTILITY PROVIDER AND WILL PROVIDE A MINIMUM 24-HOUR NOTICE TO THE AFFECTED PARTIES. THE CONTRACTOR WILL NOTIFY THE ELECTRIC UTILITY A MINIMUM OF TWO WEEKS PRIOR TO CONSTRUCTION IN THE VICINITY OF THEIR FACILITIES.
47. NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
48. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF VEGETATION ON AND ADJACENT TO THE PROJECT SITE, AND WILL BE SOLELY LIABLE FOR DAMAGE TO VEGETATION ON PROPERTIES ADJACENT TO CONSTRUCTION WORK ZONES. ALL TREES WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED EXCEPT THOSE TREES IDENTIFIED ON THE PLANS TO BE REMOVED. ALL TREES OUTSIDE THE CONSTRUCTION WORK ZONE ARE TO BE PROTECTED TO THE MAXIMUM EXTENT PRACTICABLE. TREE BARRICADES WILL BE INSTALLED AND MAINTAINED AROUND ALL TREES TO BE PROTECTED AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE PROJECT MANAGER.
49. THE CONTRACTOR IS RESPONSIBLE TO PLACE AND MAINTAIN ROADSIDE WARNING SIGNS WHEN WORK IS BEING CONDUCTED IN THE PROPERTY RIGHT OF WAY OR WHEN MACHINERY IS ENTERING AND LEAVING THE PROJECT SITE.
50. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF EXCAVATED MATERIAL OFF-SITE UNLESS OTHERWISE DIRECTED BY OWNER.

DESIGNED BY		RAJ	NO.			DATE			BY		
DRAWN BY		RAJ	CHECKED BY		MZ	APPROVED BY		BRL	DESCRIPTION		
GENERAL NOTES											
EAGLE SPRINGS GOLF COURSE MAINTENANCE FACILITY LIVE OAK AVENUE EXTENSION		WALTON COUNTY, FLORIDA									
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BENJAMIN R. LENNON, P.E. State of Florida # 78674											
PROJECT NO.: 19-0328.010											
SCALE: AS SHOWN											
DATE: 06/2025											
DRAWING: C2											



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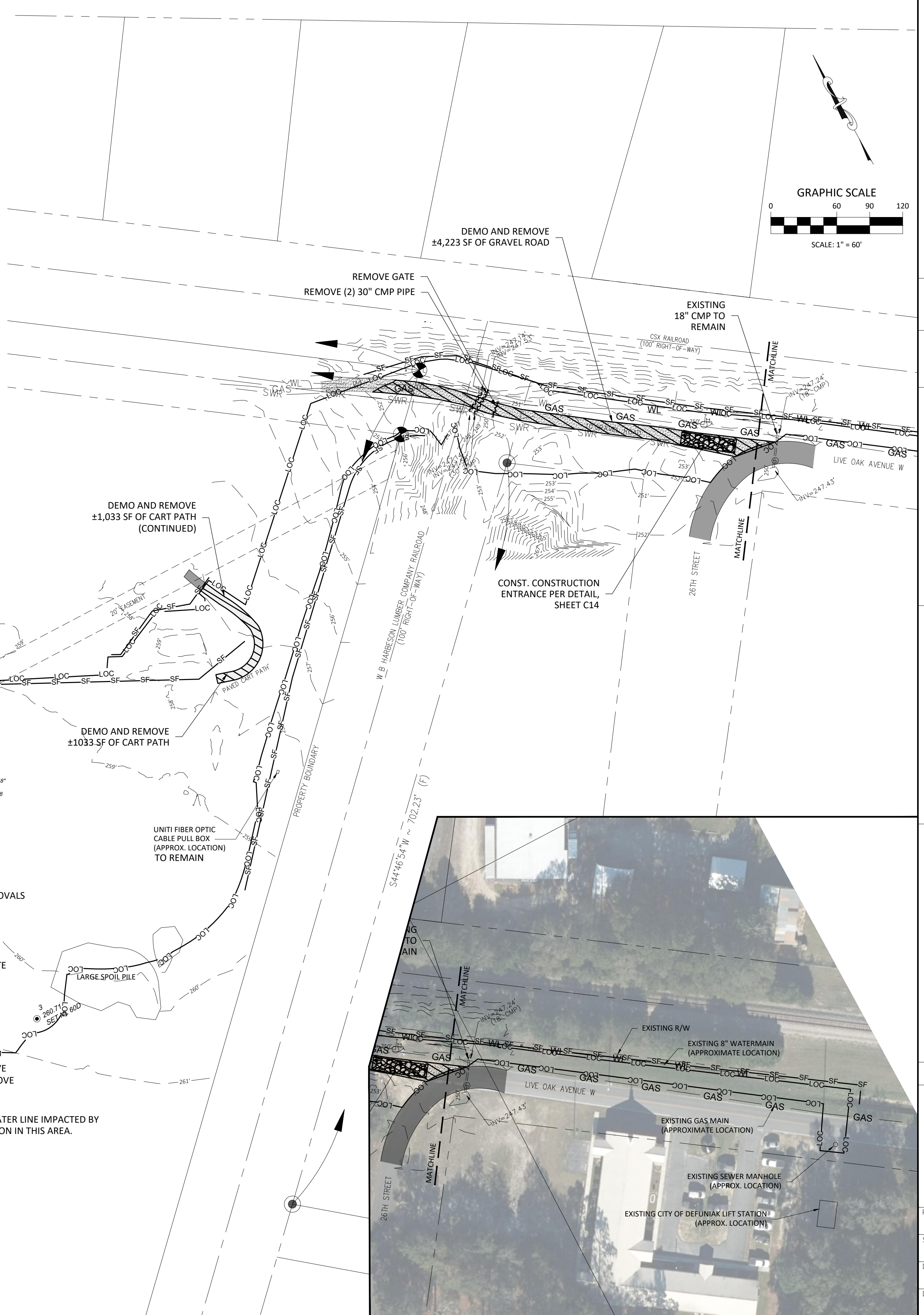





EROSION CONTROL NOTES

1. CONTRACTOR IS REQUIRED TO OBTAIN NPDES PERMIT OR EXEMPTION CERTIFICATION FOR THE CONSTRUCTION.
2. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS PROVIDED BY THE CONTRACTOR.
3. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
4. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
5. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER OR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
9. ALL STORM WATER POLLUTION PREVENTION MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY PROPOSED IMPROVEMENT WORK.
10. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
11. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED.
12. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN ANY EXISTING STORM PIPES OR STORM STRUCTURES THAT REMAIN.

19. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
20. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
21. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING THE FINAL POLLUTION PREVENTION PLAN. THE PLAN SHALL BE SUBMITTED TO THE OWNER AND ENGINEER WHICH DEMONSTRATES THE MECHANISMS AND PRACTICES THAT WILL BE EMPLOYED TO PROTECT THE CONSTRUCTION SITE AND SURROUNDING AREA DURING CONSTRUCTION. THE PLAN SHALL BE CONSISTENT WITH FEDERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS PERTAINING TO POLLUTION PREVENTION PLANS. THE PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, THE LOCATIONS OF SILT BARRIERS, TURBIDITY SCREENS OR TEMPORARY SHEETING, EMERGENCY RESPONSE PRACTICES, AND OTHER METHODS TO PREVENT POLLUTION. REFUELING OR STORAGE OF VEHICLES OR EQUIPMENT THAT UTILIZE PETROLEUM BASED PRODUCTS SHALL BE PROHIBITED ANYWHERE WITHIN 50 FEET OF A WATER'S EDGE. THE PLAN SHALL BE SUBMITTED TO THE OWNER AFTER NOTICE OF AWARD AND PRIOR TO NOTICE TO PROCEED. AFTER REVIEW BY OWNER THE PLAN SHALL BE FILED WITH ALL APPLICABLE REGULATORY AGENCIES BY THE CONTRACTOR. REFER TO FURTHER NOTES AND DETAILS WITHIN THESE DOCUMENTS.
22. SILT FENCE IS REQUIRED WITHIN THE PROJECT LIMITS AT THE LIMITS OF CONSTRUCTION AND ANYWHERE ADDITIONAL AT THE CONTRACTOR'S DISCRETION. LIMITS OF CONSTRUCTION SHOWN ARE DIAGRAMMATIC. CONTRACTOR TO PROVIDE PLAN FOR SHOP DRAWING REVIEW.
23. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DOCUMENTATION FOR NPDES MONITORING IN ACCORDANCE WITH FDEP REQUIREMENTS.
24. ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND
25. WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED.
26. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
27. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED DAILY AND REPAIRS MADE AS NECESSARY TO ENSURE THE PROPER AND CONTINUED FUNCTION OF THE CONTROL(S).
28. ALL EROSION AND SEDIMENTATION CONTROL SHALL REMAIN IN PLACE UNTIL A PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED.
29. UNDER NO CIRCUMSTANCES SHALL SEDIMENTS BE PERMITTED TO EXIT THE PROJECT LIMITS, INCLUDING TRACKING BY VEHICLES ONTO PAVED ROADWAYS. THE CONTRACTOR SHALL MAKE IMMEDIATE REPAIRS OR ENHANCEMENTS TO ANY EROSION CONTROL SYSTEM THAT ALLOWS THE RELEASE OF SEDIMENTS.



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BENJAMIN R. LENNON, P.E. State of Florida # 78674		DATE: <b>06/2025</b>		DRAWING: <b>C4</b>		DESIGNED BY: RAJ DRAWN BY: RAJ CHECKED BY: MZ APPROVED BY: BRL	
NO.		DATE		DESCRIPTION		BY	
R E V I S I O N S							



PROJECT SITE DATA														
General Information														
Owner Information	Board of County Commissioners 76 N 6th Street Defuniak springs, FL 32433 Contact: David Sell 850-892-8108													
Surveyor	DRMP 1096 Hwy 90 Chipley, Florida 32428 Contact: Jeff Lance, P.S.M													
Civil Engineer	DRMP 1625 Summit Lake Drive, Suite 200 Tallahassee, FL 32317 Contact: Ryan Culton, P.E. 850-692 5669													
Geotechnical Services	Southern Earth Sciences 7500 McElvey Road, Suite A Panama City Beach, FL 32408 Contact: Logan A. Fowler 850-769-4773													
Architect	Russell Johnson P.O. Box 1399 Panama City, FL 32401 Contact: Russell Johnson 850-630-4483													
Property Tax ID #(s):	27-3N-19-19000-017-0000 (27.15 acres) 28-3N-19-19000-006-0000 (163.72 acres)													
Current Land Use	County (8600)													
Future Land Use	Municipal													
Min. Lot size	10,000 SF													
Min. Lot width	100 FT													
Maximum Building Height:	2 stories or 50ft													
Maximum Floor Area Ratio:	N/A													
Maximum Density Allowed:	N/A													
Min. Building Setbacks:	<table border="1"> <thead> <tr> <th></th> <th>Required</th> <th>Provided</th> </tr> </thead> <tbody> <tr> <td>Front:</td> <td>25</td> <td>&gt; than 25</td> </tr> <tr> <td>Rear:</td> <td>25</td> <td>&gt; than 25</td> </tr> <tr> <td>Side:</td> <td>25</td> <td>&gt; than 25</td> </tr> </tbody> </table>			Required	Provided	Front:	25	> than 25	Rear:	25	> than 25	Side:	25	> than 25
	Required	Provided												
Front:	25	> than 25												
Rear:	25	> than 25												
Side:	25	> than 25												
Proposed Building Height	1 Story (30' Max.)													
Existing Use(s)	Golf Course/Club house with accessory structures													
Proposed Use(s)	Golf Course/Club house with accessory structures													
Parking														
Required	1 space/600 SF of storage; 1 space/400 SF of office floor area office 1920; storage 7680 5 spaces(office) and 13 spaces(storage) = 18 total (including 1 ADA space) 24 regular parking spaces, 1 ADA space													
Proposed														

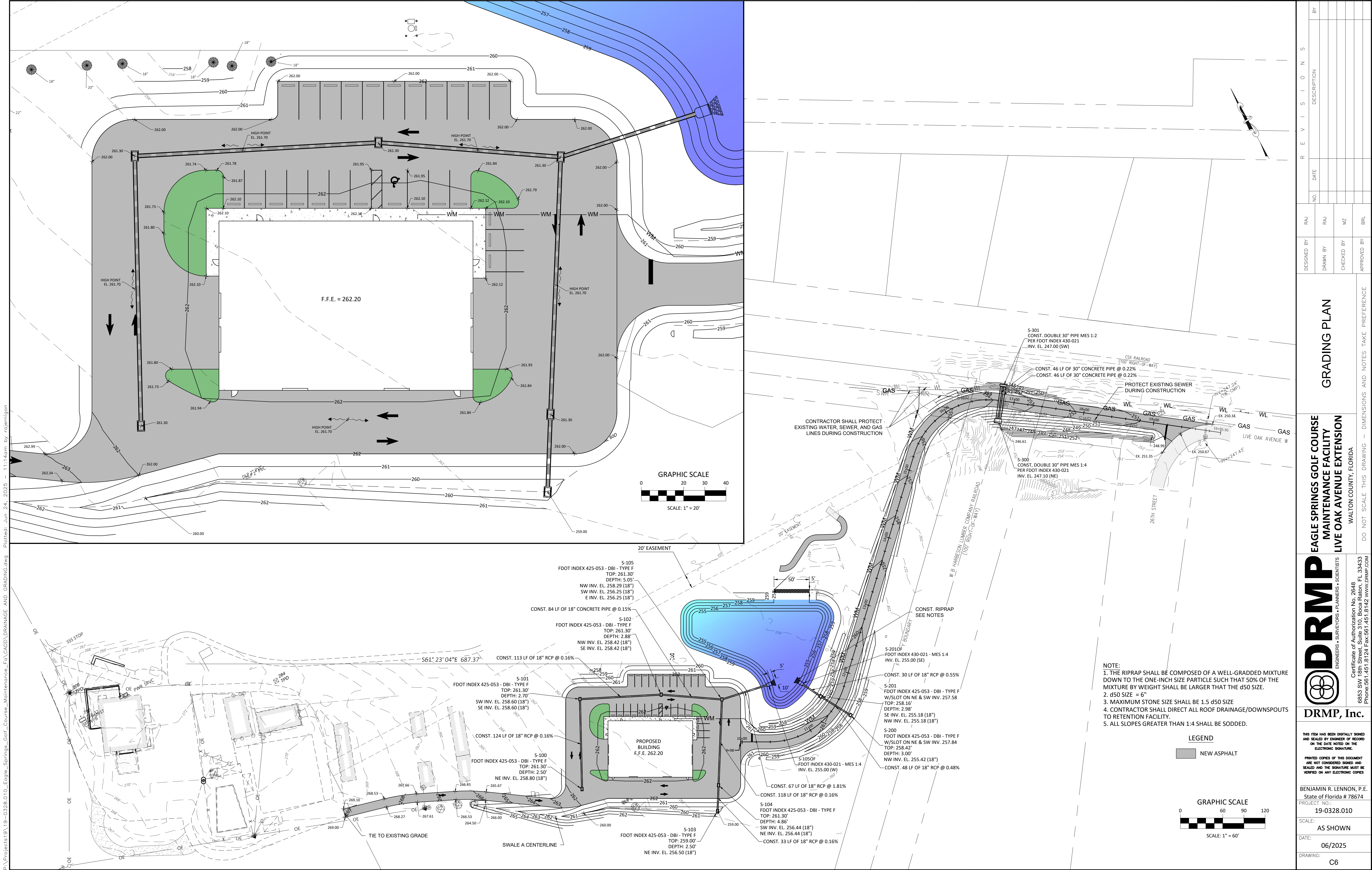
Total Site Area (SF): (Both Parcels; Area from Property Appraiser)	8,314,297.20	SF	190.87	Ac.
Project Area (SF):	156,509.00	SF	3.59	Ac.
<u>Note:</u> Percentages based on Project Area				
Existing Impervious Areas (SF): (based on survey data)	73,050.93	SF	0.47	%
Building	14,647.49	SF		
Asphalt	40,232.22	SF		
Concrete	10,009.97	SF		
Gravel	8,161.25	SF		
Existing Impervious Area to remain(SF):	67,853.97	SF	0.43	%
Proposed Impervious Area (SF):	57,483.50	SF	0.37	%
Building	9,600.00	SF		
Asphalt (parking area, Live Oak Ave extension)	47,883.50	SF		
Golf Cart Path Replacement	1,089.37	SF		
Concrete (sidewalks around building)	1,110.00	SF		
Post construction Impervious (SF):	125,337.47	SF	0.80	%
Landscape Area (SF):				
Required Interior Landscape area	997.15	SF		
Area of Parking = 4,626 SF * 5% = 232 SF				
Other Vehicle Use Area = 47,883.50 SF-4,626 SF= 43,257.5 SF				
43,257.5 SF-5,000 SF = 38,257.5 SF / 50 = ~ <u>765.15</u> SF				
Provided Interior Landscape area	1,788.74	SF		
Stormwater Pond Area (SF) (not landscaped)	22,034.46	SF	0.14	%



 <b>DRMP, Inc.</b>	<b>EAGLE SPRINGS GOLF COURSE MAINTENANCE FACILITY LIVE OAK AVENUE EXTENSION</b>  WALTON COUNTY, FLORIDA	<b>SITE AND CIRCULATION PLAN</b>	DESIGNED BY	RAJ	R E V I S I O N S  DESCRIPTION  DATE  NO.	BY
			DRAWN BY	RAJ		
			CHECKED BY	MZ		
			APPROVED BY	BRL		
			DO NOT SCALE THIS DRAWING — DIMENSIONS AND NOTES TAKE PREFFERENCE			
<p>           Certificate of Authorization No. 2648            6853 SW 18th Street, Suite 310, Boca Raton, FL 33433            Phone:951.451.8124 Fax:951.451.8142 www.DRMP.com         </p> <p>           THIS ITEM HAS BEEN DIGITALLY SIGNED            AND SEALED BY ENGINEER OF RECORD            ON THE DATE NOTED ON THE            ELECTRONIC SIGNATURE.         </p> <p>           PRINTED COPIES OF THIS DOCUMENT            ARE NOT CONSIDERED SIGNED AND            SEALED AND THE SIGNATURE MUST BE            VERIFIED ON ANY ELECTRONIC COPIES         </p> <p> <b>BENJAMIN R. LENNON, P.E.</b>  <b>State of Florida # 78674</b>  <b>PROJECT NO.:</b>  <b>19-0328.010</b> </p> <p> <b>SCALE:</b>  <b>AS SHOWN</b> </p> <p> <b>DATE:</b>  <b>06/2025</b> </p> <p> <b>DRAWING:</b>  <b>C5</b> </p>						

P:\Projects\19-0328.010\_Eagle\_Springs\_Golf\_Course\_Maintenance\_Fa\CADD\PROP.dwg Plotted: Jun 24, 2025 - 11:14am by rajernigan





P:\Projects\19-0328.010\_Eagle\_Springs\_Golf\_Course\_Maintenance\_Facility\CADD\DRAINAGE AND GRADING.dwg Plotted: Jun 24, 2025 - 11:14am by rajenigan

REVISIONS			
NO.	DATE	DESCRIPTION	BY

DESIGNED BY	RAJ
DRAWN BY	RAJ
CHECKED BY	MZ
APPROVED BY	BRL

**GRADING PLAN**

**EAGLE SPRINGS GOLF COURSE  
MAINTENANCE FACILITY  
LIVE OAK AVENUE EXTENSION**

WALTON COUNTY, FLORIDA

**DRMP**  
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BENJAMIN R. LENNON, P.E.  
State of Florida # 78674

PROJECT NO.:  
19-0328.010

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DATE:  
06/2025

DRAWING:  
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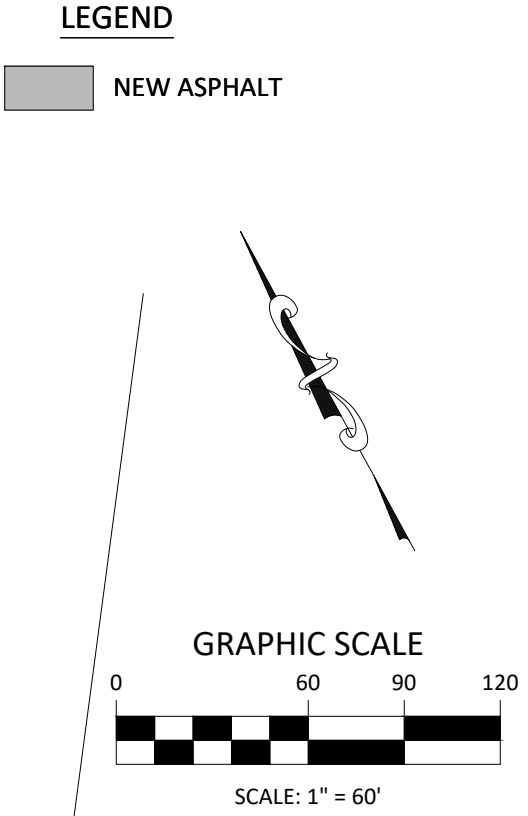
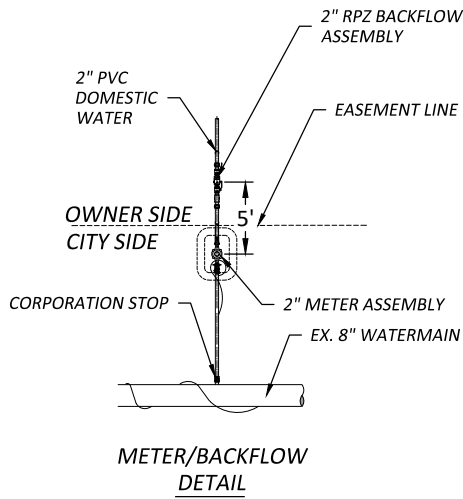
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GENERAL NOTE:  
1. ANY NEW IRRIGATION SYSTEM SHALL CONNECT TO WATER SERVICE AFTER THE RPZ.  
2. ALL WATER AND SEWER INFRASTRUCTURE SHALL BE INSTALLED PER CITY OF DEFUNIAK SPRINGS TECHNICAL SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.

FIRE DEPARTMENT NOTES:  
1. CLEARANCE OF 7.5' SHALL BE MAINTAINED TO THE FRONT AND SIDES AND 4' TO THE REAR OF ALL FIRE APPLIANCES (i.e. HYDRANTS, BACKFLOW PREVENTORS, POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS).  
2. ALL GATES AT VEHICULAR ENTRANCES SHALL BE ACCESSIBLE TO THE FIRE DEPARTMENT. IN COMPLIANCE W/ NFPA 1, 18.2.2.2, 2007 EDITION.

UTILITY NOTE:  
1. ANTICIPATED WATER USAGE ~100 GPD  
2. CONTRACTOR TO INSTALL FIBERGLASS COVERS PER CITY OF DEFUNIAK SPRINGS SPECS. ON ALL BACKFLOW PREVENTORS, WHICH ARE LOCATED OUTSIDE.  
3. MAINTAIN 3' MIN. COVER ON ALL WATER LINES.  
4. ALL WATER INSTALLATION SHALL BE PER CITY OF DEFUNIAK SPRINGS TECHNICAL SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION, LATEST EDITION.  
5. ALL WATER METERS SHALL BE PLACED IN GREEN SPACES.  
6. NO LANDSCAPING MATERIAL OTHER THAN SOD AND MULCH SHALL BE PLACED WITHIN 2' OF WATER METERS.  
7. MANIFOLDS TO BE LOCATED A MINIMUM OF 13" BELOW FINISH GRADE  
8. ALL MATERIAL FOR METER MANIFOLDS MUST BE MADE IN THE U.S.A. (DOMESTIC) NO SUBSTITUTIONS.  
9. THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND SEWER IS TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER IS EIGHTEEN INCHES (18").  
10. MAXIMUM CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, POST INDICATOR VALVES AND DOUBLE DETECTOR CHECK VALVE ASSEMBLIES SHALL BE PROVIDED AT ALL TIMES.  
11. THE REQUIRED WIDTH OF A FIRE DEPARTMENT ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES.  
12. NO TALL GROWING TREES ARE ALLOWED WITHIN THIRTY FEET OF AN EXISTING OVERHEAD POWER LINE.  
13. THE TYPE, SIZE AND LOCATION OF THE ELECTRIC FACILITIES REQUIRED TO SERVE THIS DEVELOPMENT WILL BE DETERMINED AT THE TIME OF PERMITTING.



CONTRACTOR SHALL NOT COMMENCE LIFT STATION OR FORCEMAIN CONSTRUCTION PRIOR TO OBTAINING THE FDEP PERMIT AND APPROVAL OF SHOP DRAWINGS.

UTILITY PLAN

EAGLE SPRINGS GOLF COURSE  
MAINTENANCE FACILITY  
LIVE OAK AVENUE EXTENSION  
WALTON COUNTY, FLORIDA

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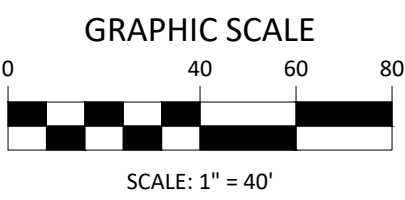
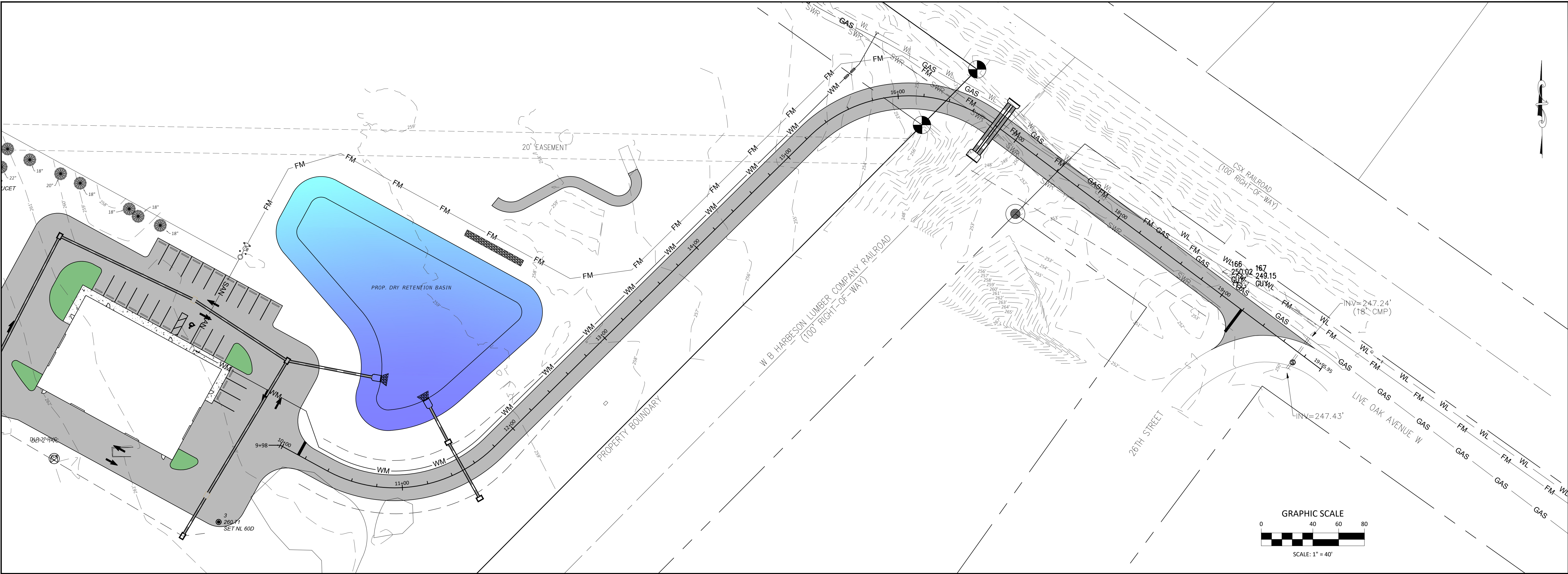
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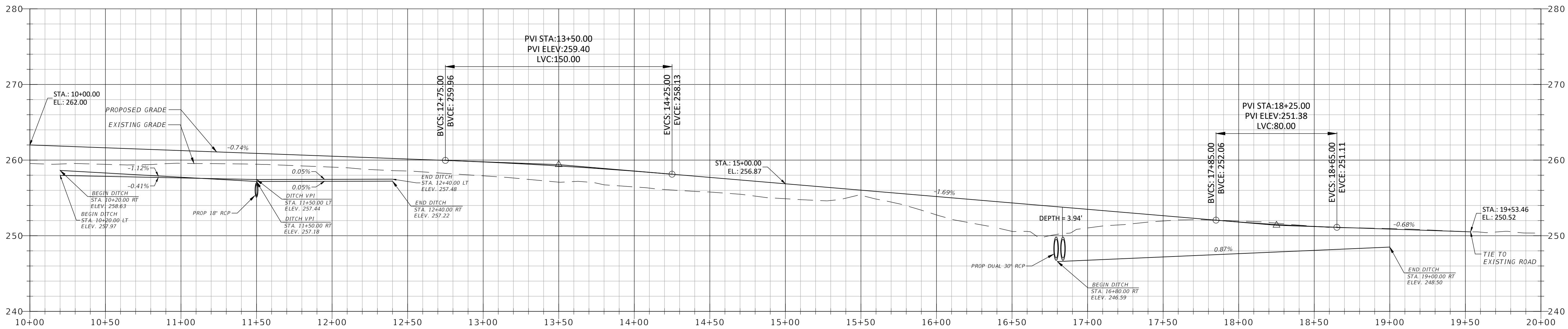
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SCALE:  
HORIZ. 1" = 40'  
VERT. 1" = 8'



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DRAWN BY	RAJ		

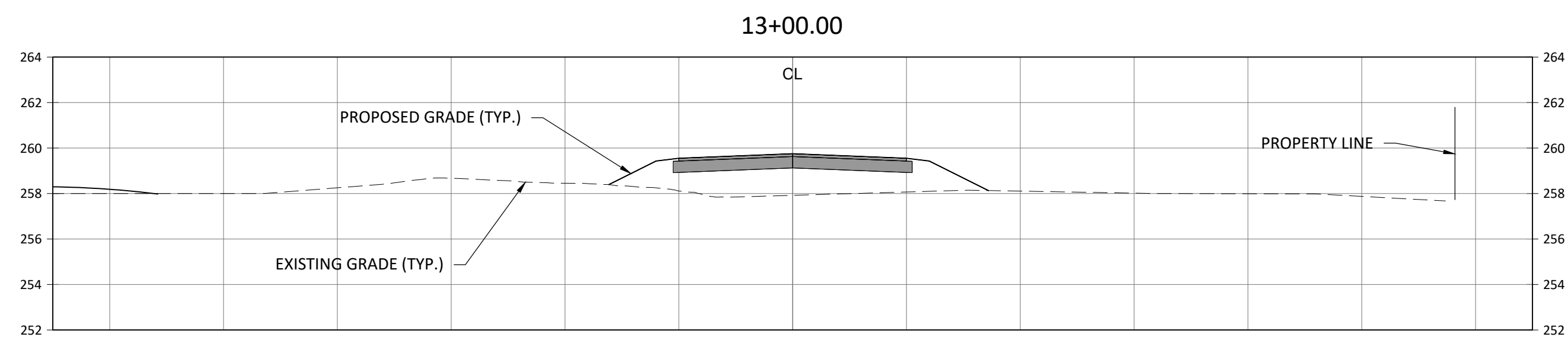
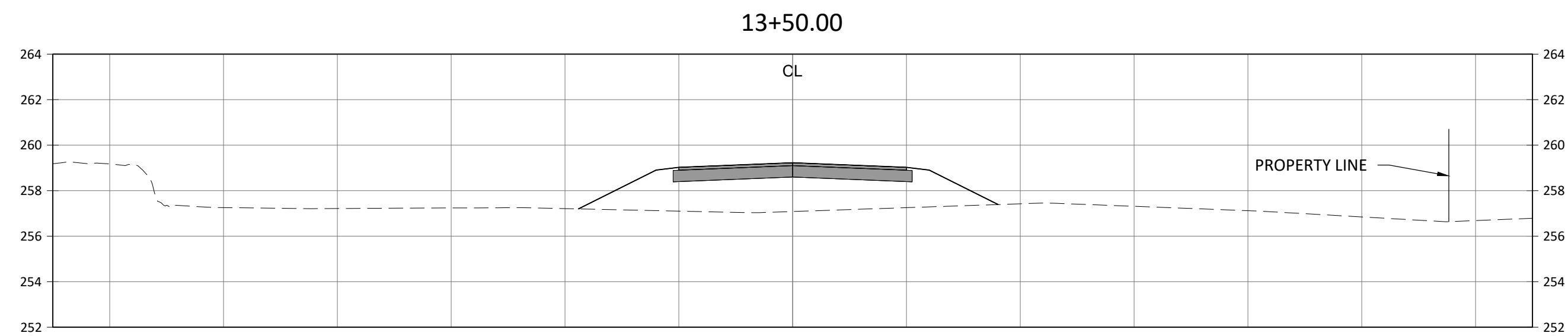
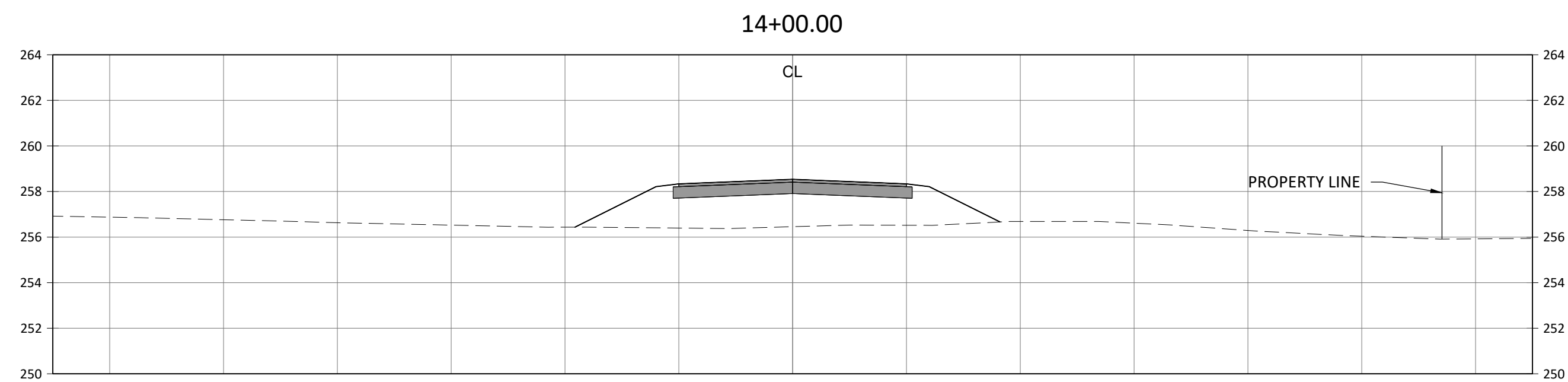
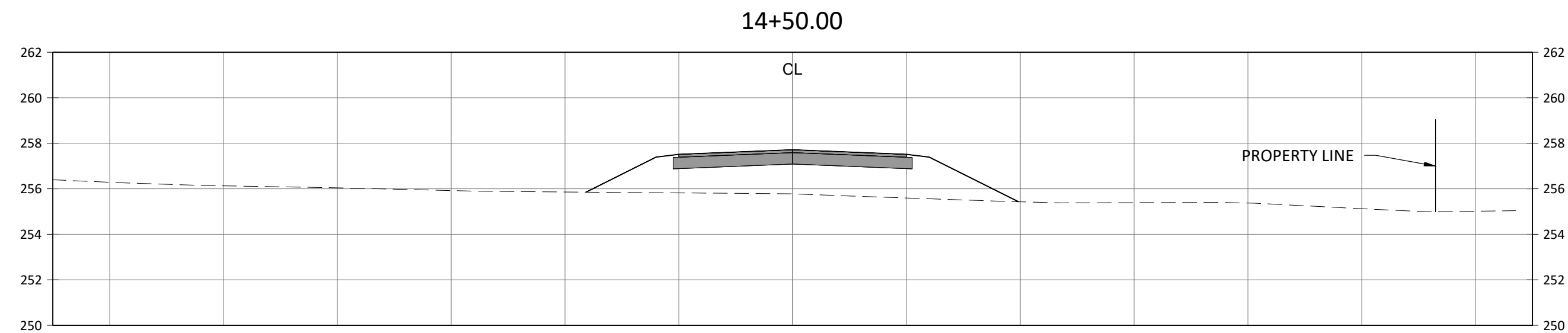
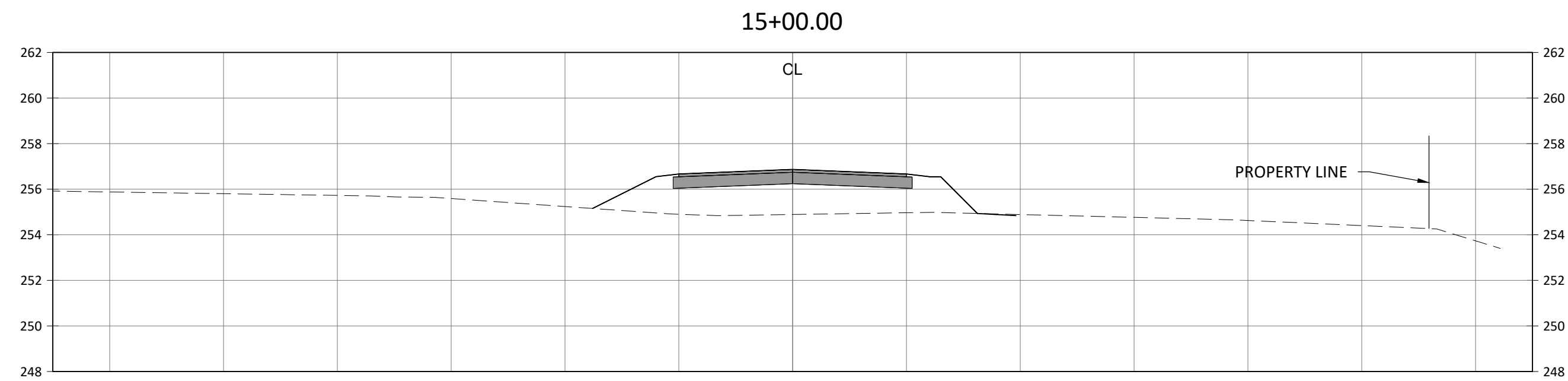
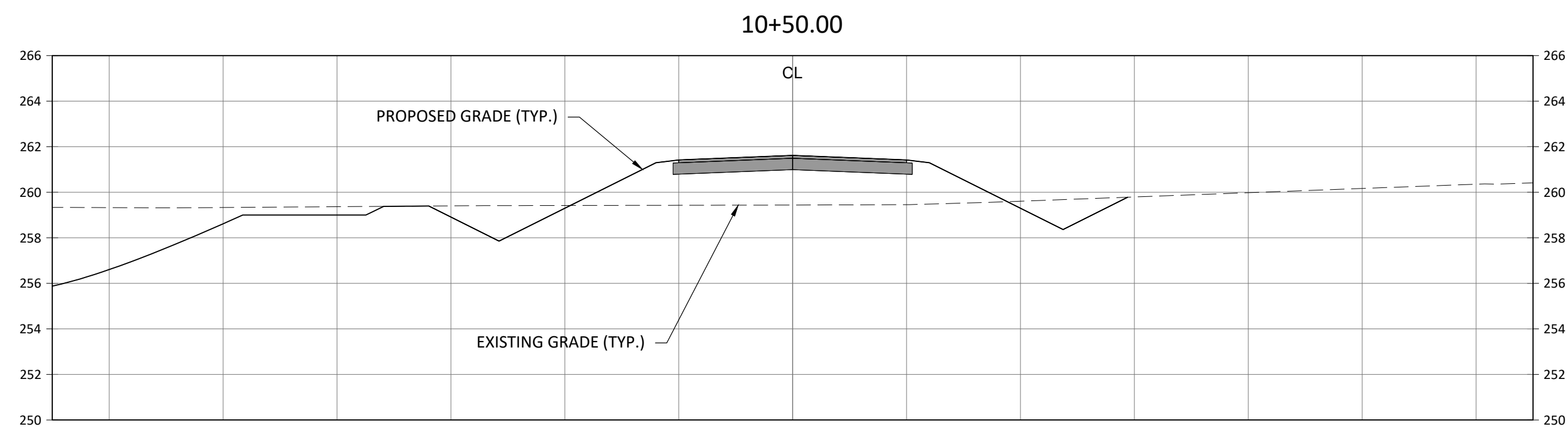
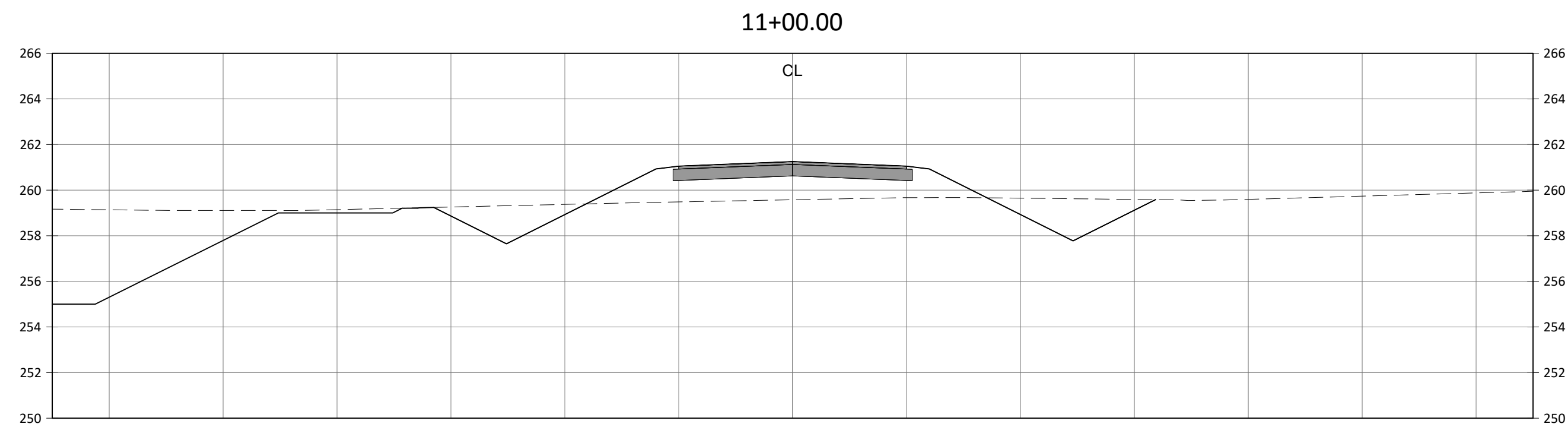
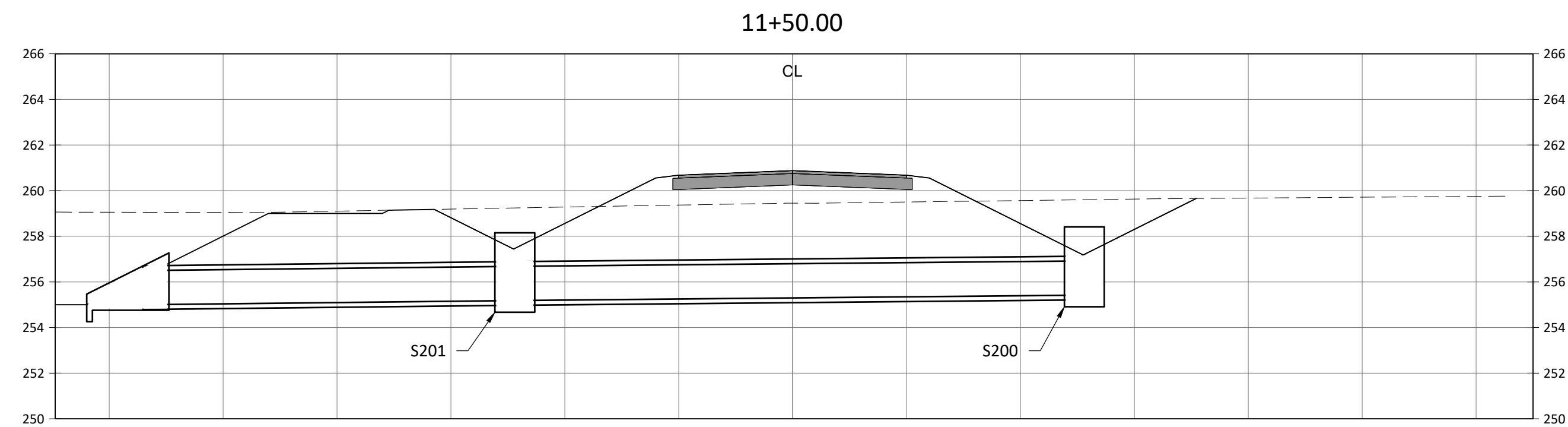
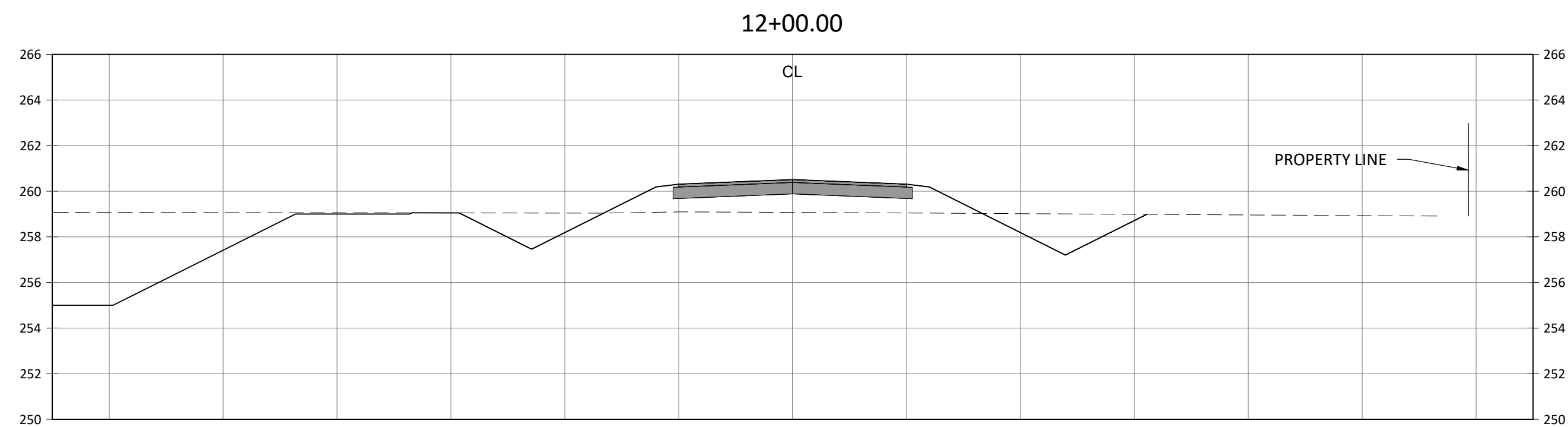
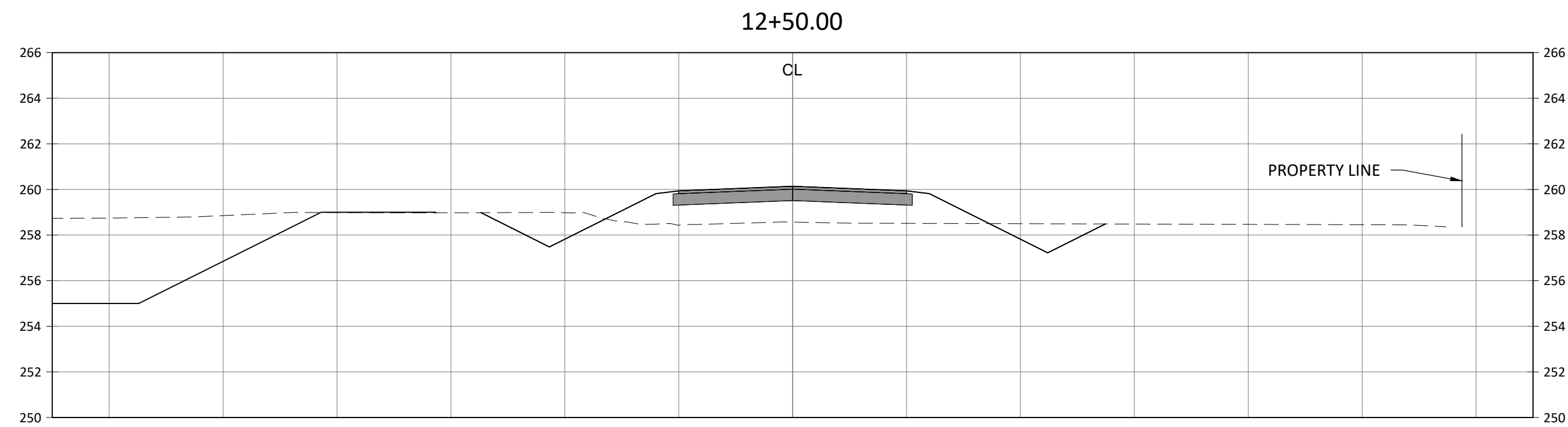
LIVE OAK AVENUE EXTENSION ROAD PROFILE	

EAGLE SPRINGS GOLF COURSE MAINTENANCE FACILITY LIVE OAK AVENUE EXTENSION	


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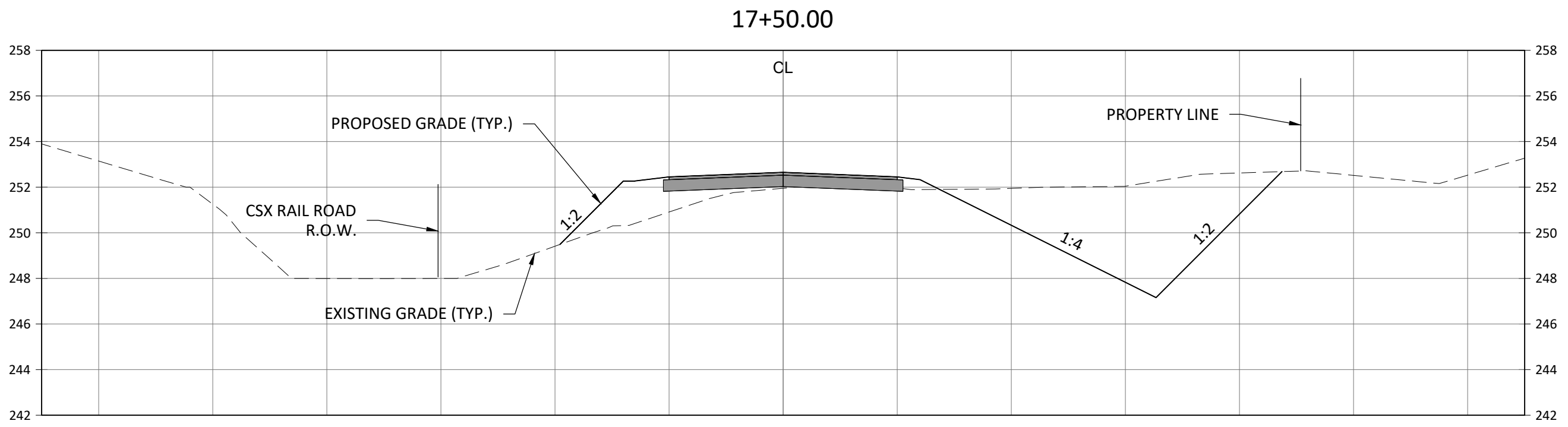
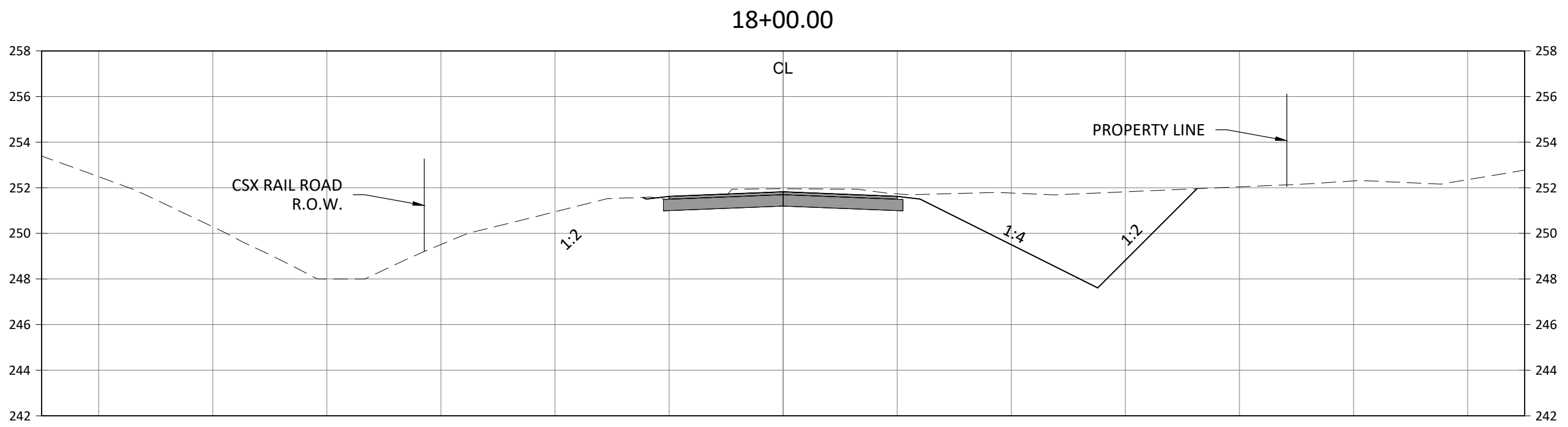
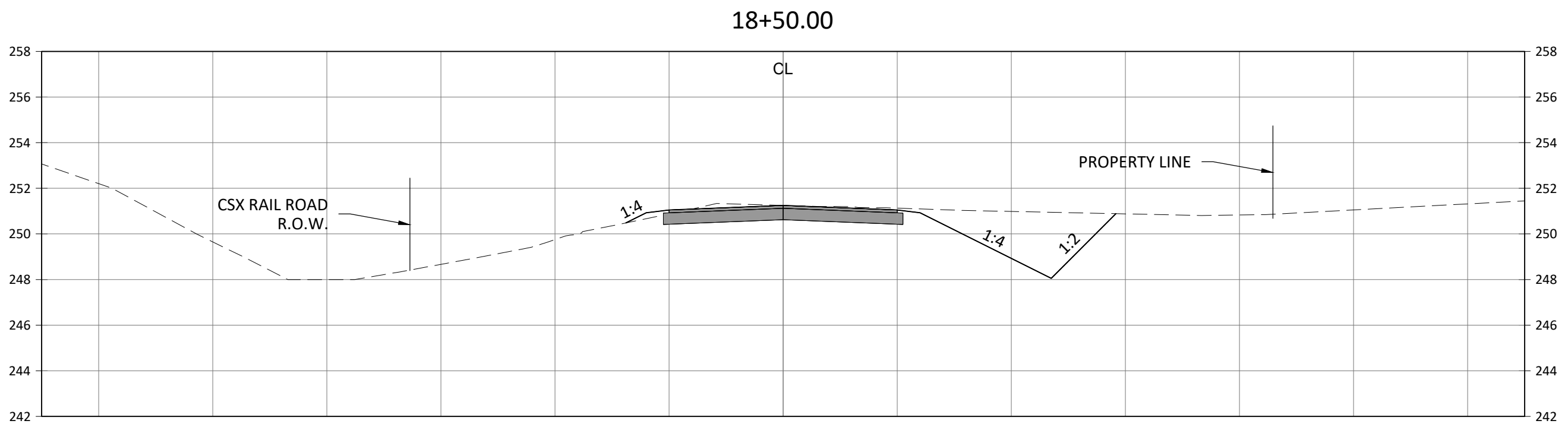
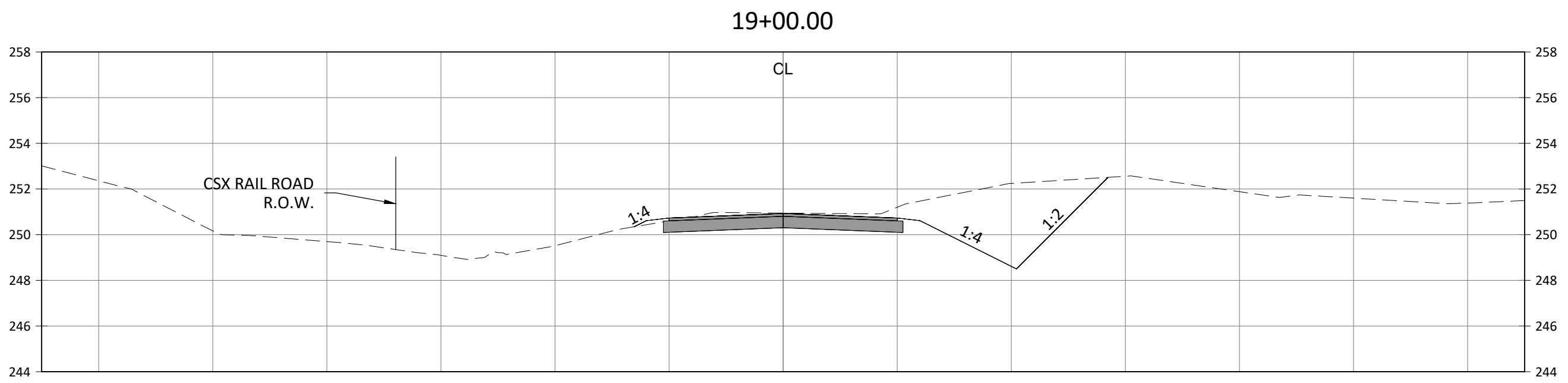
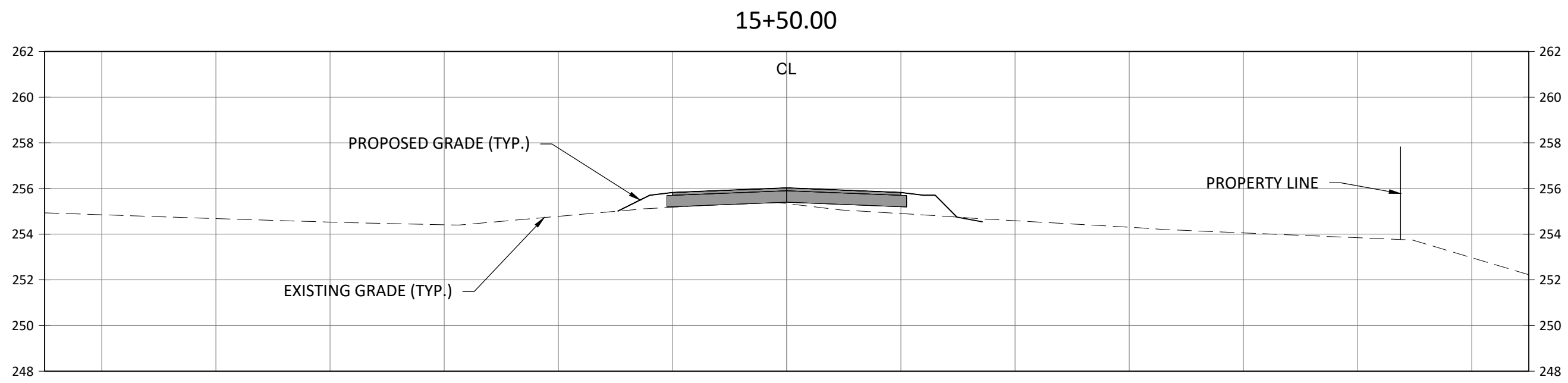
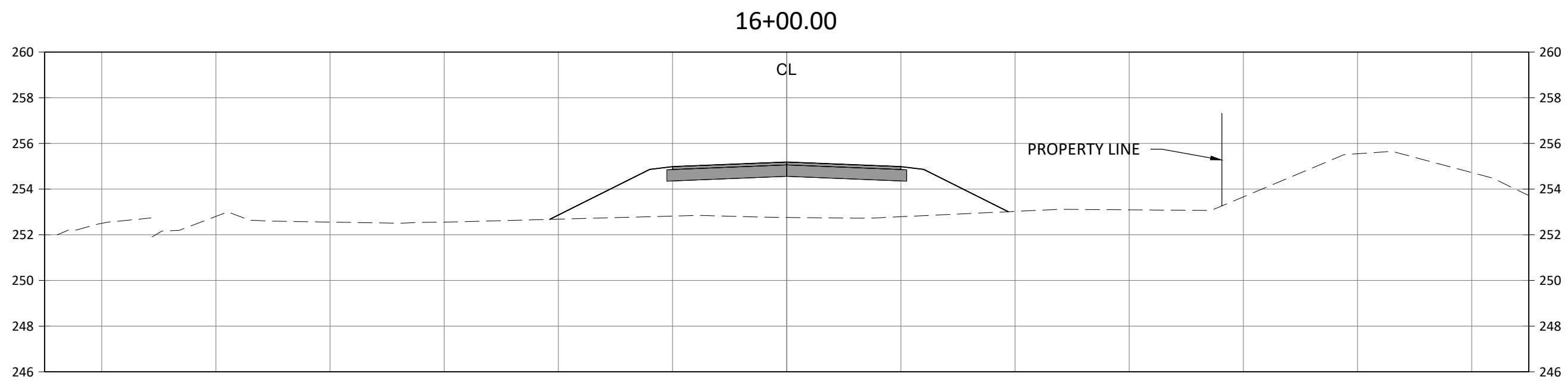
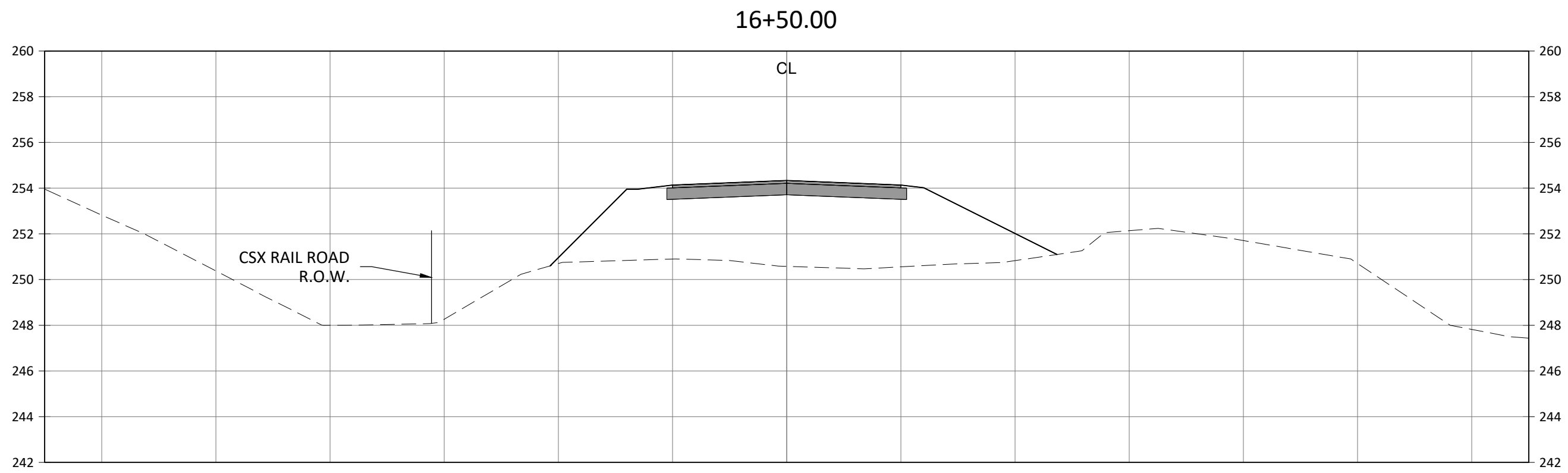
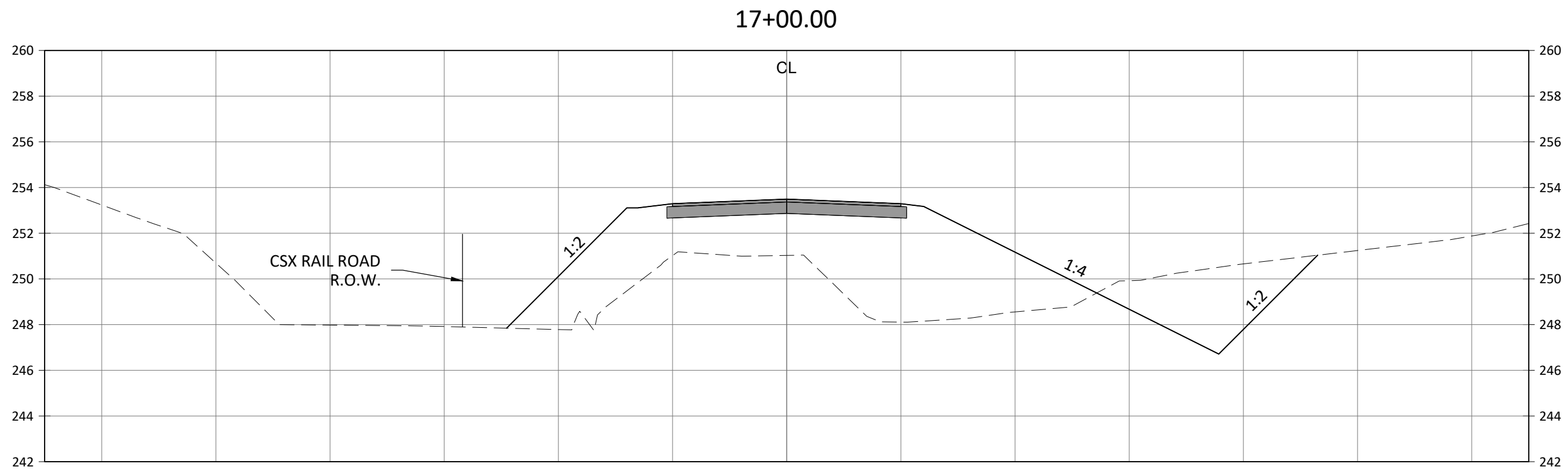
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 <b>DRMP, Inc.</b>		<b>EAGLE SPRINGS GOLF COURSE MAINTENANCE FACILITY LIVE OAK AVENUE EXTENSION</b>  WALTON COUNTY, FLORIDA	<b>CROSS SECTIONS</b>		DESIGNED BY	RAJ	R E V I S I O N S DESCRIPTION DATE
					DRAWN BY	RAJ	
					CHECKED BY	MZ	
					APPROVED BY	BRL	
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SCALE: AS SHOWN							
DATE: 06/2025							
DRAWING: C9							

SCALE:  
HORIZ. 1" = 10'  
VERT. 1" = 5'



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NO.	DATE	DESCRIPTION				BY

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CROSS SECTIONS						
EAGLE SPRINGS GOLF COURSE MAINTENANCE FACILITY LIVE OAK AVENUE EXTENSION						
WALTON COUNTY, FLORIDA						
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**19-0328.010**

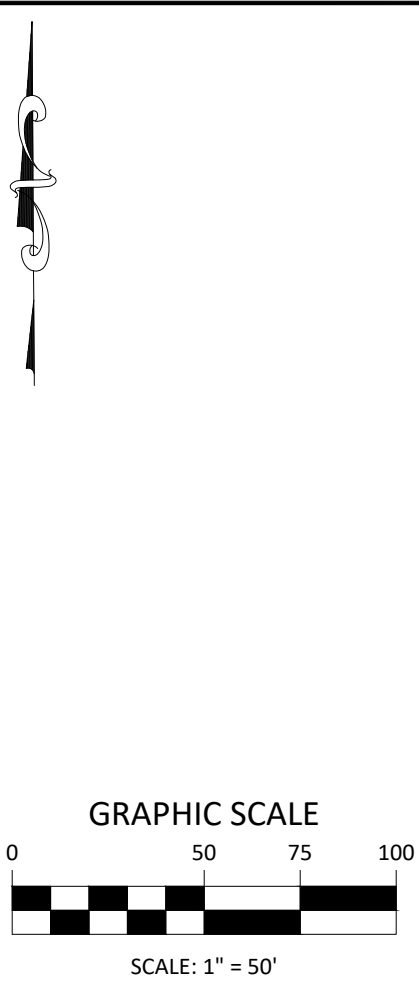
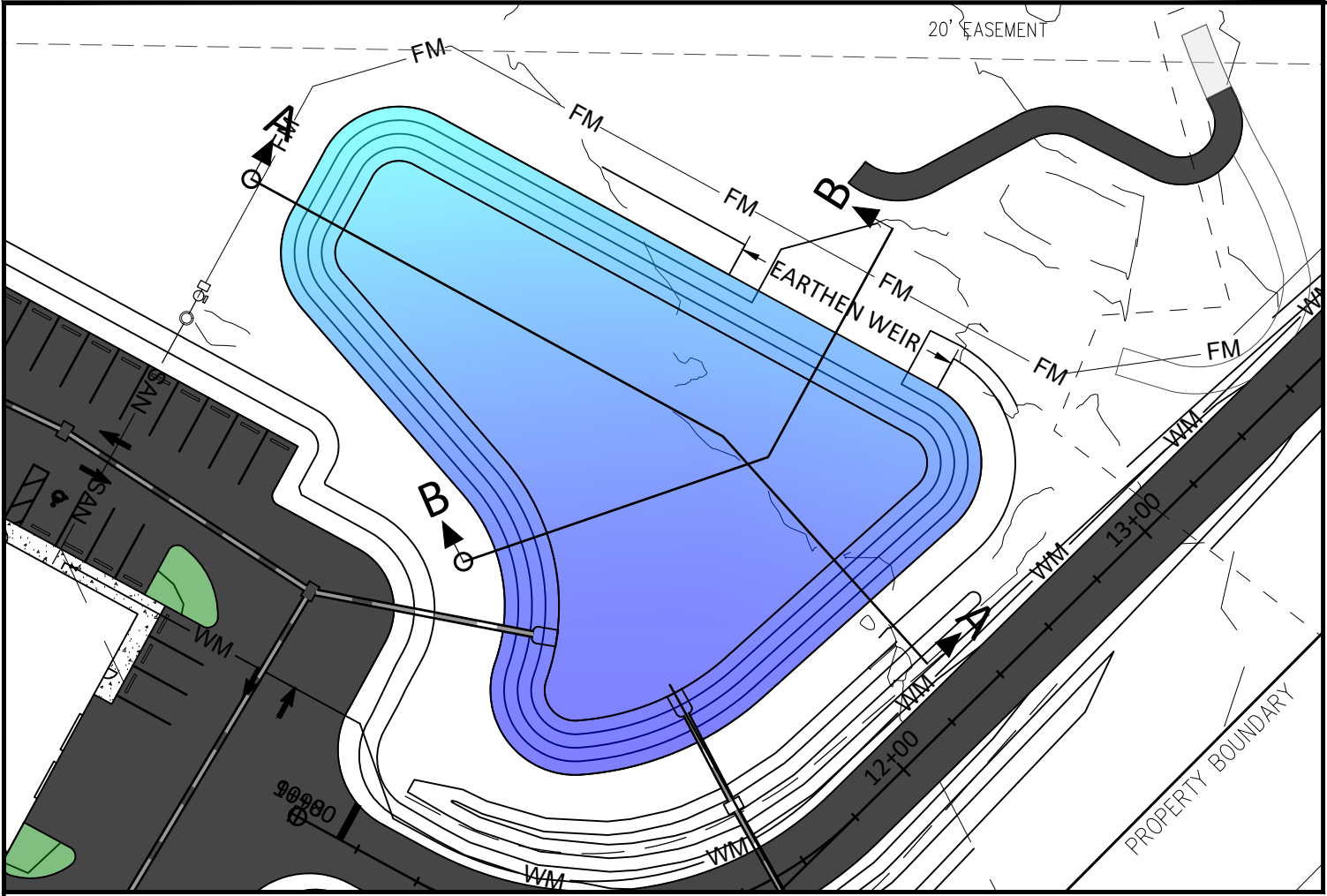
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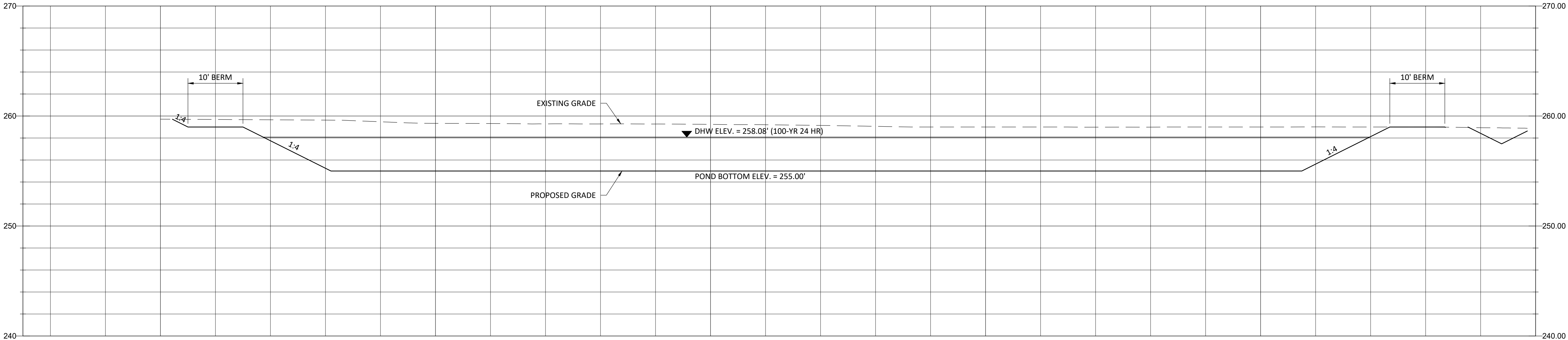
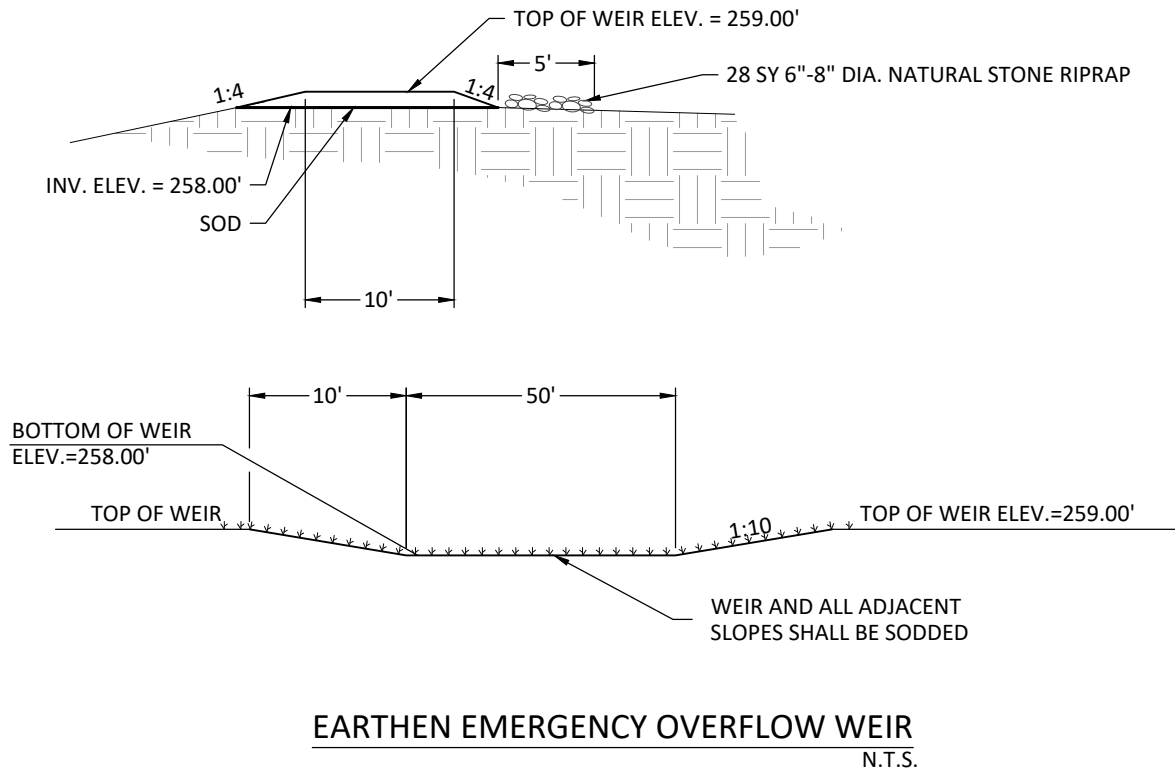
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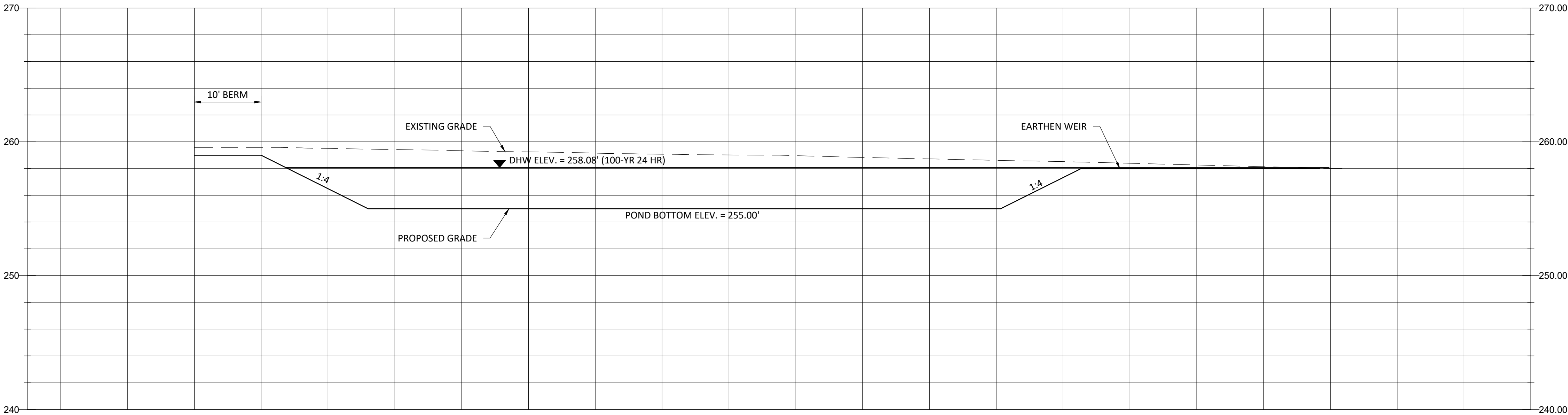


NOTES:

1. ALL SIDE SLOPES TO BE SODDED AND SLOPES GREATER THAN 3:1 (H:V) SHALL BE PINNED. POND BOTTOM TO BE GRADED FLAT AND WITHOUT SOD.
2. AFTER THE INTERIOR SIDE SLOPES AND POND BOTTOM HAVE BEEN GRADED TO FINAL DESIGN SPECIFICATIONS (LINES AND GRADES), ANY EXCESS SOIL AND UNSUITABLE MATERIAL SHALL BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL ARE REMOVED FROM THE RETENTION AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE PROJECT AREA.
3. ONCE THE POND HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE POND BOTTOM SHALL BE DEEP RAKED AND LOOSENEED FOR OPTIMAL INFILTRATION.
4. NO FILL OR OTHER CONSTRUCTION MATERIAL SHALL BE STORED AND/OR PLACED WITHIN THE LIMITS OF THE POND.



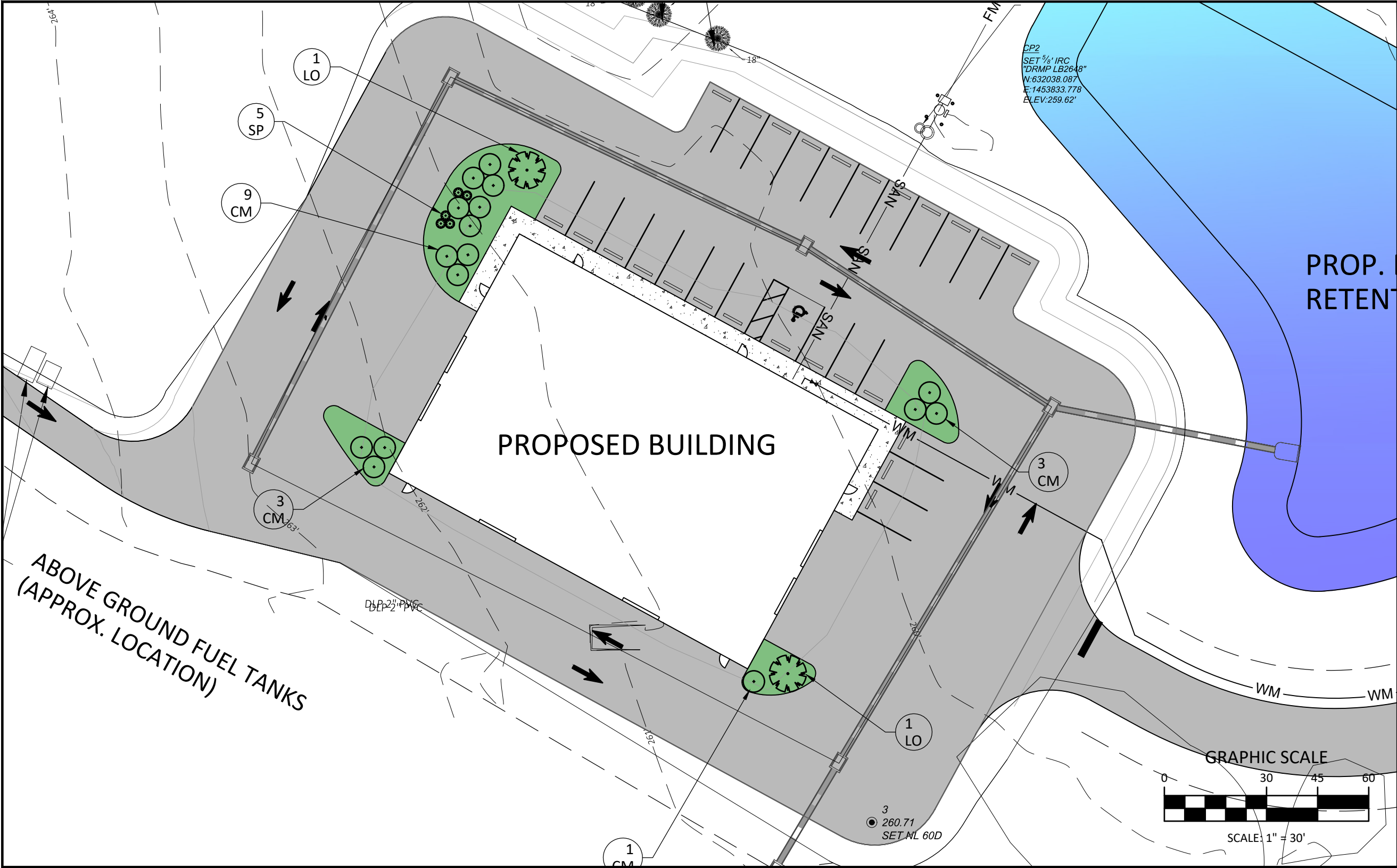
SECTION A-A



SECTION B-B

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NO.	DATE	DESCRIPTION	BY	RAJ	RAJ	MZ	BRL	RAJ	RAJ	MZ	BRL	RAJ	RAJ	MZ	BRL	RAJ	RAJ	MZ	BRL
				EAGLE SPRINGS GOLF COURSE				MAINTENANCE FACILITY				LIVE OAK AVENUE EXTENSION				WALTON COUNTY, FLORIDA			
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PLANTING SCHEDULE				
TREES				
NAME	ABBREVIATION	QTY	BOTANICAL NAME	SIZE/REMARKS
LIVE OAK	LO	2	QUERCUS VIRGINIANA	6' HT X 5' SPR., 1.5" CAL. 15 GAL MINIMUM
CRAPE MYRTLE	CM	16	LAGERSTROEMIA INDICA	6' HT X 5' SPR., 1.5" CAL. 15 GAL MINIMUM
SHRUBS				
NAME	ABBREVIATION	QTY	BOTANICAL NAME	SIZE/REMARKS
SAW PALMETTO	SP	5	SERENOA REPENS	18" HT. X 30" SPR.

- LEGEND
- LANDSCAPE ISLAND (SIZE DETERMINED BY VEHICLE USE AREA)
  - LO (LIVE OAK)
  - CM (CRAPE MYRTLE)
  - SP (SAW PALMETTO)
  - # OF TREES TREE ABBREVIATION



DESIGNED BY  
RAJ

DRAWN BY  
RAJ

CHECKED BY  
MZ

APPROVED BY  
BRL

NO.

DATE

DESCRIPTION

BY

LANDSCAPE PLAN

EAGLE SPRINGS GOLF COURSE  
MAINTENANCE FACILITY  
LIVE OAK AVENUE EXTENSION  
WALTON COUNTY, FLORIDA

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LANDSCAPE NOTES:

1. SOD ALL DISTURBED AREA UNLESS INDICATED TO CONTAIN SEED & MULCH, SHRUBS, GROUNDCOVER, MULCH OR OTHER MATERIAL.

2. TREES AND SHRUBS SHALL BE PLANTED AT LEAST 3 FEET AWAY FROM EDGE OF PAVEMENT.

3. UNSUITABLE PLANTS: ANY PLANT LISTED ON THE MOST RECENT LIST OF FLORIDA'S INVASIVE SPECIES PUBLISHED BY THE FLORIDA EXOTIC PEST PLANT COUNCIL (AVAILABLE AT HTTP://WWW.FLEPPC.ORG) MAY NOT BE INCLUDED IN THE LANDSCAPE PLAN. DEVELOPERS SHALL REMOVE ANY INVASIVE SPECIES PRESENTLY EXISTING ON HIS PROPERTY AS A PART OF THE APPROVED LANDSCAPE PLAN.

4. ALL REQUIRED PLANTINGS, AS APPROVED ON THE LANDSCAPE PLAN SHALL BE MAINTAINED IN A HEALTHY, PEST-FREE CONDITION. DEAD OR DISEASED PLANTS SHALL BE REMOVED AND REPLACED BY THE TENANT OR PROPERTY OWNER WITHIN SIX MONTHS.

5. SAVED PREDEVELOPMENT TREES FOR WHICH THE APPLICANT RECEIVED TREE CREDITS SHALL BE REPLACED WITH A TREE OF A CALIPER OF HALF THE CREDITED TREE INCHES, OR A MINIMUM OF SIX INCHES, WHICH EVER IS LESS.

6. ALL PRUNING AND MAINTENANCE WILL BE IN COMPLIANCE WITH THE ANSI (AMERICAN NATIONAL STANDARDS INSTITUTE) A300 (PARTS 1-5): PRUNING, FERTILIZING, SUPPORT SYSTEMS, LIGHTNING PROTECTION SYSTEMS AND MANAGEMENT OF TREES AND SHRUBS DURING SITE DEVELOPMENT AND CONSTRUCTION.

7. PRUNING SHALL BE ALLOWED IN ORDER TO REMOVE DEAD, DISEASED, CROSSING OR COMPETING BRANCHES, PROVIDE CLEARANCES, REDUCE WIND RESISTANCE, MAINTAIN HEALTH, OR TO INFLUENCE FLOWER OR FRUIT PRODUCTION.

8. PRUNING SHALL NOT BE USED TO REDUCE THE HEIGHT OF THE TREE, EXCEPT TO PROVIDE CLEARANCE FOR UTILITY AND ROOF LINES

MATERIALS

1. PLANTING SOIL BACKFILL MIX: TREE PITS, LANDSCAPE AREAS, AND SOD AREAS: MIX 50% EXISTING TOPSOIL TO 50% SOIL ADMIXTURE COMPRISED OF 1/3 PARTS DECOMPOSED PINE BARK OR PEAT MOSS, 1/3 PARTS COW MANURE, AND 1/3 PARTS IMPORTED TOPSOIL AND SOIL AMENDMENTS AS REQUIRED TO BRING THE pH TO BETWEEN 5.5 TO 6.5. ALTERNATE PLANTING SOIL BACKFILL MIXTURE:

MIX 50% EXISTING TOPSOIL AND 50% FLORIDA MUCK AND SOIL AMENDMENT AS REQUIRED TO BRING pH TO BETWEEN 5.5 AND 6.5.

2. TOP SOIL SHALL BE DEFINED AS THE UPPER 4" TO 6" OF NATURALLY OCCURRING SOILS SUITABLE FOR AGRICULTURAL PRODUCTION, AND ARE WITHOUT DRAINAGE LIMITATIONS. IMPORT TOPSOIL FROM OFF-SITE SOURCES, IF REQUIRED. OBTAIN TOPSOIL FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. UNDER NO CIRCUMSTANCES SHOULD TOPSOIL BE OBTAINED FROM BOGS OR MARSHES.

3. PLANTING BED AND TREE MULCH: PINE STRAW CLEAN, BRIGHT, AND FREE OF WEEDS, STICKS, AND OTHER DEBRIS.

4. SOD: CENTIPEDE SOD, UNLESS DIRECTED OTHERWISE BY OWNER.

5. FERTILIZER: FOR PLANT BEDS USE 8-8-8 RATIO, AND FOR LAWN AREAS USE 16-4-8 RATIO, BOTH WITH AT LEAST 25% OF THE NITROGEN IN A WATER INSOLUBLE ORGANIC FORM.

6. ALL PLANTS MUST BE FLORIDA #1 OR BETTER AS DESCRIBED IN THE LATEST VERSION OF FLORIDA DEPARTMENT OF AGRICULTURE'S "GRADES & STANDARDS FOR NURSERY PLANTS" PARTS I AND II.

SUBMITTALS

1. SOD CERTIFICATE FROM GROWER.

2. SAMPLE OF PREPARED SOIL BACKFILL MIX (1/2 CU. FOOT).

3. SOIL TEST REPORT FOR pH WITH RECOMMENDATIONS FOR pH ADJUSTMENT (ALL PLANTING AREAS AND SOIL MIXTURE)

4. WRITTEN PLANT GUARANTEE.

5. SUBMIT MANUFACTURER DATA WITH INSTRUCTIONS FOR APPLICATIONS FOR ALL HERBICIDES.

6. PLANTING AREA / BED PREP HERBICIDES

7. FUNGICIDE

8. INSECTICIDE

EXECUTION

1. ALL LANDSCAPING WITHIN RIGHT-OF-WAY SHALL MEET COUNTY TREE PLANTING REQUIREMENTS.

2. PERFORM ALL WORK AS SHOWN AND IN STRICT ACCORDANCE WITH SOUND HORTICULTURAL PRACTICE.

3. PREPARATION OF PLANTING SOIL MIXTURE:

4. A. DESCRIPTION: PROVIDE IN ALL BACKFILL AREAS AS INDICATED ON THE DETAILS AND DRAWINGS.

5. B. ADJUST SOIL AND BACKFILL pH TO 5.5 AND 6.5.

6. C. ADJUST SOIL pH TO 5.5-6.5 AS RECOMMENDED BY THE SOIL TEST. USE ALUMINUM SULFATE OR IRON SULFATE TO LOWER THE pH AND USE HYDRATED LIME OR BASIC SLAG TO RAISE THE pH.

7. D. ADJUST SOIL pH IN AZALEA PLANTING BEDS IN A VERTICAL ALIGNMENT IN SANDY OR SLOPED CONDITIONS.

8. E. LANDSCAPE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL SOIL ADJUSTMENTS FOR REVIEW BY COUNTY INSPECTOR.

9. SUPPLEMENT GROUND COVER BEDS WITH 2 INCHES OF COMPOSTED PINE BARK OR PEAT AND INCORPORATE TO A DEPTH OF 6 INCHES PRIOR TO PLANTING.

10. PLACE ALL PLANT MATERIALS WHERE SHOWN.

11. AFTER PLANTS ARE INSTALLED, BROADCAST 2 LBS. OF 8-8-8 FERTILIZER PER 100 SQUARE FEET OF PLANT BED. EACH TREE SHALL HAVE 1/2 LBS. OF 8-8-8 FERTILIZER APPLIED PER CALIPER INCH.

12. STAKE TREES AS NECESSARY TO MAINTAIN THEM IN A VERTICAL ALIGNMENT IN SANDY OR SLOPED CONDITIONS.

13. APPLY PINE STRAW TO PROVIDE 2-1/2"-3" OF THICKNESS AFTER SETTLING IN SHRUBBERY AREAS AND OVER TREE PITS. (1-1/2" IN GROUND COVER AREAS)

14. ALL TREES IN SOD AREAS SHALL HAVE A 3-FOOT DIAMETER CIRCLE OF LANDSCAPE MULCH BENEATH, NO SOD.

15. ALL TREE PITS SHALL BE EXCAVATED TO A DEPTH NO LESS THAN 4" GREATER THAN THE BALL HEIGHT AND FILLED WITH THE SPECIFIED PLANTING BACKFILL MIX.

16. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURERS PRODUCT LABELS AND GUIDELINES.

17. ALL TRANSPLANTED TREES, INCLUDING PALMS SHALL BE SPRAYED WITH FUNGICIDE AND INSECTICIDE. ALL APPLICATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS PRODUCT LABELS AND GUIDELINES.

18. TREES AND SHRUBS SHALL NOT BE PLANTED CLOSER THAN THREE FEET FROM THE EDGE OF ANY IMPERVIOUS AREA.

19. WHERE UNDERGROUND UTILITIES CONFLICT WITH PROPOSED PLANTINGS, TREE PLACEMENT SHALL BE A MINIMUM OF 10 FEET FROM THE UTILITY OR A ROOT BARRIER 2' DEEP SHALL BE INSTALLED.

20. CONTRACTOR SHALL PROVIDE ROOT BARRIER ANYWHERE A TREE IS PROPOSED WITH 6' OF A HARDENED SURFACE.

21. NO REQUIRED LANDSCAPE AREA SHALL BE USED FOR ACCESSORY STRUCTURES, GARBAGE OR TRASH COLLECTION, PARKING OR ANY OTHER FUNCTIONAL USE CONTRARY TO THE INTENT AND PURPOSE OF CHAPTER 5 OF THE ENVIRONMENTAL MANAGEMENT ORD

GRASSING

1. SOIL PREPARATION:

A. REMOVE STONES OVER 1-1/2" IN DIAMETER, STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER FROM ALL LAWN AREAS.

B. ADJUST SOIL pH AS RECOMMENDED BY THE SOIL TEST FOR GRASS SPECIFIED.

C. ROTOTILL SOIL 4" DEEP AND THEN RAKE LAWN AREAS TO A SMOOTH EVEN SURFACE. IN AREAS TO BE SODDED, ALLOW FOR SOD THICKNESS, PROVIDING A FINISH GRADE 2" BELOW ADJACENT PAVEMENT.

D. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF DRY.

2. SODDING:

A. APPLY FERTILIZER OVER PREPARED SOIL AREA. APPLY MATERIAL AT A RATE OF 6 LBS. PER 1,000 SQUARE FEET. SECOND APPLICATION- AS SPECIFIED UNDER LAWN MAINTENANCE AND WARRANTY.

B. LAY SOD WITHIN 36 HOURS OF STRIPPING AT FARM.

C. LAY SOD IN STRAIGHT, (NOT CURVED) PARALLEL ROWS TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS, WITHOUT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS. WORK TOPSOIL INTO MINOR CRACKS.

D. ROLL ENTIRE SODDED AREA WITH A 200 LB. ROLLER.

E. WATER SOD IMMEDIATELY AFTER ROLLING, THEREAFTER WATER SUFFICIENTLY TO KEEP SOIL MOIST TO A DEPTH OF 4" UNTIL ESTABLISH

PLANT GUARANTEE

1. ALL TREES, SHRUBS, AND GROUND COVERS SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR TO BE HEALTHY, AND IN FLOURISHING CONDITION OF ACTIVE GROWTH FOR A PERIOD OF ONE YEAR FROM FINAL INSPECTION AND ACCEPTANCE. SOD SHALL BE GUARANTEED TO BE HEALTHY, FREE OF NOXIOUS WEEDS, DISEASE AND INSECT INFESTATION FOR A PERIOD OF SIXTY (60) DAYS FROM THE DATE OF FINAL ACCEPTANCE. (PLANT GUARANTEE DOES NOT APPLY TO ON-SITE TRANSPLANTED MATERIALS)

MAINTENANCE AND WARRANTY

1. BEGIN MAINTENANCE OF LANDSCAPE WORK IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE FOR THE MAINTENANCE PERIOD SPECIFIED.

2. PLANT MAINTENANCE AND WARRANTY:

A. MAINTAIN PLANTS FOR A MINIMUM PERIOD OF 90 DAYS AFTER FINAL ACCEPTANCE.

B. AFTER INITIAL WATERING, WATER PLANTS AS CONDITIONS REQUIRE TO MAINTAIN HEALTHY GROWTH.

C. RESET SETTLED PLANTS TO PROPER GRADE AND POSITION, REMOVE DEAD MATERIAL, AND TIGHTEN OR REPAIR STAKES.

D. KEEP PLANT BEDS NEAT AND ATTRACTIVE DURING THE 90 DAY PERIOD: FREE OF WEEDS AND DEBRIS.

E. AT THE END OF THE MAINTENANCE PERIOD, RE-MULCH ANY TREES AND BED AREAS WHICH HAVE LESS THAN 2-1/2 INCHES OF MULCH.

3. LAWN MAINTENANCE AND WARRANTY

A. MAINTAIN LAWN FOR A MINIMUM PERIOD OF 30 DAYS AFTER FINAL ACCEPTANCE.

B. WATER LAWN SUFFICIENTLY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES UNTIL FINAL ACCEPTANCE.

C. MOW LAWNS WHEN SOD IS FIRMLY ROOTED AND TOP GROWTH EXCEEDS 3 INCHES. REPEAT MOWINGS TO MAINTAIN HEIGHT BETWEEN 2 1/2 AND 3 INCHES.

D. FERTILIZE LAWNS 6 WEEKS AFTER PLANTING WITH 16-4-8 AT A RATE OF 6 LBS. PER 1000 SQUARE FEET.

REPLACEMENTS AND CONDITIONS

1. REPLACEMENTS WILL BE MADE DURING THE NEXT PLANTING PERIOD FOR THE SPECIES UNLESS THE OWNER OR OWNER'S REPRESENTATIVE AGREES TO AN EARLIER DATE.

2. THERE WILL BE A ONE TIME REPLACEMENT POLICY.

3. A REPLACEMENT WILL BE OF THE SAME SIZE AS THE ORIGINAL WITH NO ADDITIONAL SOIL ADDITIVES TO BE USED.

4. AFTER INITIAL INSPECTION THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, REMOVAL, RELOCATION OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.

5. PLANT LOSSES DUE TO ABNORMAL WEATHER CONDITIONS SUCH AS FLOODS, EXCESSIVE WIND DAMAGE, DROUGHT, SEVERE FREEZING OR ABNORMAL RAINS WILL NOT BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

FINAL INSPECTION AND ACCEPTANCE

1. FINAL INSPECTION: THE LANDSCAPE CONTRACTOR WILL CONDUCT A FINAL INSPECTION WITH THE OWNER OR OWNER'S REPRESENTATIVE AT THE END OF EACH MAINTENANCE PERIOD SPECIFIED FOR LAWNS AND PLANT MATERIALS. NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE WITHIN 10 DAYS OF THE ANTICIPATED MEETING.

2. PLANT MATERIALS

A. REPLACE ANY MATERIAL NOT IN HEALTHY CONDITION OR WHICH FAILS TO MEET SPECIFICATIONS.

B. DECIDUOUS MATERIAL WILL BE GUARANTEED TO BREAK DORMANCY IF PLANTED IN DORMANT SEASON.

3. LAWNS

A. AT THE TIME OF FINAL INSPECTION, SODDED LAWNS WILL BE ACCEPTABLE PROVIDED A HEALTHY, WELL-ROOTED, EVEN-COLORED, LAWN IS ESTABLISHED, FREE OF WEEDS, DISEASE AND INSECT INFESTATION. THERE SHALL BE NO OPEN JOINTS OR BARE AREAS.

4. AS-BUILT DRAWINGS:

THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF BOTH LANDSCAPING AND IRRIGATION TO THE OWNER PRIOR TO FINAL ACCEPTANCE.

IRRIGATION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE OWNER FOR DESIGN AND CONSTRUCTION OF A NEW IRRIGATION SYSTEM OR CONNECTION TO AN EXISTING IRRIGATION SYSTEM TO PROVIDE COVERAGE TO NEW SOD AND PLANTINGS.

2. PRIOR TO ANY WORK, THE IRRIGATION CONTRACTOR MUST COORDINATE AN ON-SITE IRRIGATION MEETING WITH THE OWNER IN ADVANCE OF ANY SITE CLEARING OPERATIONS.

3. PRIOR TO CONSTRUCTION, WIRES FROM VALVES ARE TO BE LOCATED AND BUNDLED UP AND PLACED WITHIN A PVC PIPE PERPENDICULAR TO THE GROUND TO PROTECT IT FROM CONSTRUCTION.

4. IF DAMAGE TO WIRE OCCURS, REWIRE IT AT NO COST TO THE OWNER.

5. SPLICE BOXES TO BE INSTALLED AT LOCATIONS SHOWN TO FACILITATE THIS PROCESS.

6. NEW PIPES TO BE JACK-AND-BORED IF PROPOSED SLEEVE CAN NOT BE ACCOMMODATED.

LAYOUT:

1. LAYOUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES ON GRADE FIRST. MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED TO TAKE INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATION PRIOR TO EXCAVATING TRENCHES.

2. REQUIRED COVERAGE TO INSURE 100% COVERAGE AND 50% OVERLAP.

PIPE:

1. ALL MAINLINE PIPE TO BE SCH. 80 PVC. ALL LATERALS TO BE SCH. 40 PVC.

2. PIPING UNDER HARDSCAPES SUCH AS ROADS, WALKS AND PATIOS ARE TO BE SLEEVED USING SCH. 40 PIPE

3. PIPES 4" AND UNDER TO BE SOLVENT WELD. LARGER PIPES TO BE GASKETED "O" RING PIPES AND USE THRUST BLOCKS OR MEGA LUGS AND DUCTILE IRON FITTINGS AT TURNING LOCATIONS.

4. SIZE ALL PIPE SO NOT TO EXCEED 5' PER SECOND.

5. INSTALL RAIN SENSOR AS PER LOCAL CODE.

6. PIPES CONVEYING RECLAIM WATER SHALL HAVE A 3" HORIZONTAL DISTANCE SEPARATION FROM OTHER PIPING OR UTILITY SERVICES. AN 18" VERTICAL SEPARATION SHALL BE MAINTAINED WHEN APPLICABLE.

7. AIR RELEASE VALVES TO BE USED AT THE END OF ALL MAINLINE RUNS.

WIRES:

1. LOW VOLTAGE WIRE TO BE INSTALLED ALONG MAINLINE INSTALLATION. USE 2" SCH. 40 PVC WITH SWEEP ELBOWS AT TURNING LOCATIONS WHEN SLEEVING IS REQUIRED. ALL SPLICES SHALL BE ENCLOSED WITHIN A VALVE/SPLICE BOX.

2. WIRE SIZED AND COLORED AS FOLLOWS:

3. #12 WHITE FOR COMMON

4. #12 SPARE BLACK COMMON (1 SPARE NEEDED PER 10 HOT WIRES)

5. #14 RED HOT WIRES

6. #14 SPARE YELLOW HOT WIRE (1 SPARE NEEDED PER 10 HOT WIRES, 3 SPARES MINIMUM)

7. WHEN WIRE RUN EXCEEDS 3,500 LINEAR FEET, USE #10 FOR COMMON WIRES AND #12 FOR HOT/SPARE WIRES.

8. ALL IRRIGATION CONTROLLERS TO BE PROPERLY GROUNDED IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.

FLUSHING:

1. PRIOR TO PLACEMENT OF DRIP HEADS FLUSH ALL LINES UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS.

TRENCHING:

1. TRENCH BOTTOM TO BE UNIFORM AND FREE OF DEBRIS. NATIVE EXCAVATED MATERIAL USED TO BACKFILL TRENCH SHALL BE FREE FROM ROCKS OR STONES LARGER THAN 1" IN DIAMETER.

2. NO TRENCHING IN THE 75% DRIPLINE OF AN EXISTING TREE TO REMAIN. EXAMPLE A 12" DBH TREE HAS A 100% DRIPLINE RADIUS OF 12', A 75% DRIPLINE RADIUS OF 9'

MISC:

1. PRESSURE TEST MAINLINE AS PER FLORIDA BUILDING CODE. INSTALL IRRIGATION SYSTEM AS PER LATEST EDITION OF THE FLORIDA BUILDING CODE, APPENDIX F., AND ALL PERTINENT LOCAL CODES.

DESIGN:

1. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, INCLUDING BUT NOT LIMITED TO GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, UTILITIES AND EXISTING IRRIGATION EQUIPMENT. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR AND SHALL REPAIR AND/OR REPLACE ANY DAMAGE CREATED BY THEIR WORK. THEY SHALL COORDINATE HIS WORK WITH OTHER CONTRACTOR OR MUNICIPAL AUTHORITIES FOR THE LOCATION AND INSTALLATION OF IRRIGATION EQUIPMENT UNDER ROADWAYS AND PAVING, SLEEVES THROUGH AND FLOORS, ETC.

2. INSTALL ALL IRRIGATION EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. EMITTERS, SPRAYERS, FILTERS AND VALVES SHALL BE MANUFACTURED BY RAINBIRD OR APPROVED EQUAL.

Shrub

4" layer of mulch. No more than 1" of mulch on top of root ball. (See specifications for mulch).

Rootball

4" high x 8" wide round - topped soil berm above root ball surface shall be constructed around the root ball. Berm shall begin at root ball periphery.

Finished grade

Slope sides of loosened soil.

Loosened soil

Dig and turn the soil to reduce the compaction to the area and depth shown.

Root ball rests on existing or recompacted soil.

Existing soil

3x widest dimension of root ball

SECTION VIEW

Notes:

1. Shrubs shall be of quality prescribed in the root observations detail and specifications.

2. See specifications for further requirements related to this detail.

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Shrub

4" layer of mulch. No more than 1" of mulch on top of root ball. (See specifications for mulch).

Root ball

4" high x 8" wide round - topped soil berm above root ball surface shall be constructed around the root ball. Berm shall begin at root ball periphery.

Finished grade

Slope sides of loosened soil.

Loosened soil

Dig and turn the soil to reduce the compaction to the area and depth shown.

Root ball rests on existing or recompacted soil.

Existing soil

3x widest dimension of root ball

SECTION VIEW

Notes:

1. Shrubs shall be of quality prescribed in the root observations detail and specifications.

2. See specifications for further requirements related to this detail.

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Central leader. (See crown observations detail).

Top of root ball shall be flush with finished grade.

Trunk caliper shall meet ANSI Z60 current edition for root ball size.

Root ball modified as required.

Round-topped soil berm 4" high x 8" wide above root ball surface shall be constructed around the root ball. Berm shall begin at root ball periphery.

4" layer of mulch. No more than 1" of mulch on top of root ball. (See specifications for mulch).

Loosened soil. Dig and turn the soil to reduce compaction to the area and depth shown.

Finished grade

Existing soil

Slope sides of loosened soil.

Bottom of root ball rests on existing or recompacted soil.

3x widest dimension of root ball

SECTION VIEW

Notes:

1. Trees shall be of quality prescribed in crown observations and root observations details and specifications.

2. See specifications for further requirements related to this detail.

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Central leader. (See crown observations detail).

Top of root ball shall be flush with finished grade.

Trunk caliper shall meet ANSI Z60 current edition for root ball size.

Root ball modified as required.

Round-topped soil berm 4" high x 8" wide above root ball surface shall be constructed around the root ball. Berm shall begin at root ball periphery.

4" layer of mulch. No more than 1" of mulch on top of root ball. (See specifications for mulch).

Loosened soil. Dig and turn the soil to reduce compaction to the area and depth shown.

Finished grade

Existing soil

Slope sides of loosened soil.

Bottom of root ball rests on existing or recompacted soil.

3x widest dimension of root ball

SECTION VIEW

Notes:

1. Trees shall be of quality prescribed in crown observations and root observations details and specifications.

2. See specifications for further requirements related to this detail.

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Loosened soil. Dig and turn the soil to reduce compaction to the area and depth shown.

Finished grade

Existing soil

Slope sides of loosened soil.

Bottom of root ball rests on existing or recompacted soil.

3x widest dimension of root ball

SECTION VIEW

Notes:

1. Trees shall be of quality prescribed in crown observations and root observations details and specifications.

2. See specifications for further requirements related to this detail.

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DESIGNED BY

RAJ

DRAWN BY

RAJ

CHECKED BY

MZ

APPROVED BY

BRL

NO.

DATE

DESCRIPTION

BY

LANDSCAPE & IRRIGATION NOTES AND DETAILS

EAGLE SPRINGS GOLF COURSE MAINTENANCE FACILITY LIVE OAK AVENUE EXTENSION

WALTON COUNTY, FLORIDA

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFFERENCE

DRMP

ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS

6853 SW 18th Street, Suite 310, Boca Raton, FL 33433  
Phone: 561.451.8124 Fax: 561.451.8142 WWW.DRMP.COM

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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ENGINEER OF RECORD ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE.

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BENJAMIN R. LENNON, P.E.  
State of Florida # 78674

PROJECT NO.:  
19-0328.010

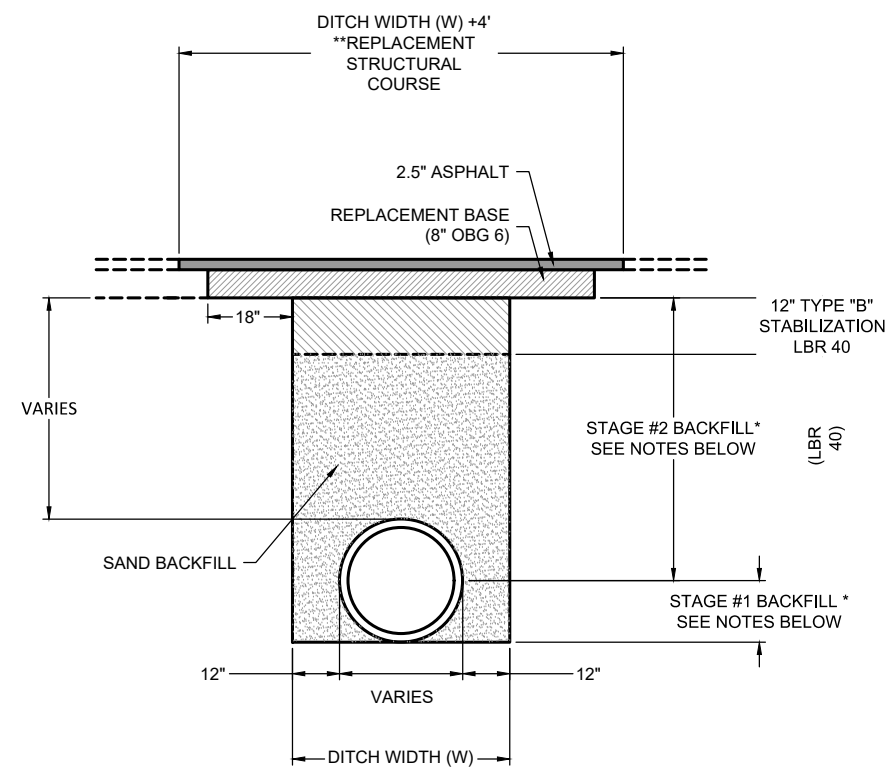
SCALE:  
AS SHOWN

DATE:  
06/2025

DRAWING:  
C13



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PAVEMENT REMOVAL AND REPLACEMENT  
PAVEMENT SHALL BE MECHANICALLY SAWED.

THE REPLACEMENT ASPHALT SHALL BE AS NOTED ABOVE.

THE NEW BASE MATERIALS SHALL BE EITHER OF THE SAME TYPE AND COMPOSITION AS THE MATERIAL REMOVED OR OF EQUAL OR GREATER ADEQUACY (SEE INDEX NO. 514).

BACKFILL  
COMPACTED AND STABILIZED FILL OPTION  
BACKFILL MATERIAL SHALL BE PLACED IN ACCORDANCE WITH SECTION 125 OF THE STANDARD SPECIFICATIONS.

IN STAGE #1, CONSTRUCT COMPACTED FILL BENEATH THE HAUNCHES OF THE PIPE, USING MECHANICAL TAMPS SUITABLE FOR THIS PURPOSE. THIS COMPACTION APPLIES TO THE MATERIAL PLACED BENEATH THE HAUNCHES OF THE PIPE AND ABOVE ANY BEDDING.

IN STAGE #2, CONSTRUCT COMPACTED FILL ALONG THE SIDES OF THE PIPE AND UP TO THE BOTTOM OF THE BASE, WITH THE UPPER 12" RECEIVING TYPE B STABILIZATION. IN LIEU OF TYPE B STABILIZATION, THE CONTRACTOR MAY CONSTRUCT USING OPTIONAL BASE GROUP 6.

\* FLOWABLE FILL OPTION  
IF COMPACTION CAN NOT BE ACHIEVED THROUGH NORMAL MECHANICAL METHODS THEN FLOWABLE FILL MAY BE USED.

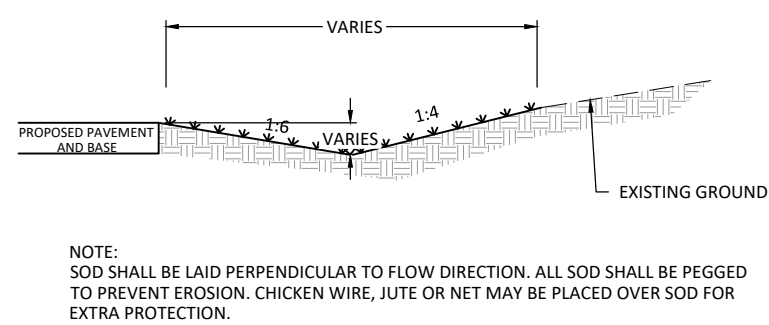
FLOWABLE FILL IS TO BE PLACED IN ACCORDANCE WITH SECTION 121 OF THE SPECIFICATIONS, AS APPROVED BY THE ENGINEER.

DO NOT ALLOW THE UTILITY BEING INSTALLED TO FLOAT. IF A METHOD IS PROVIDED TO PREVENT FLOTATION FROM OCCURRING, STAGES #1 AND #2 CAN BE COMBINED, IF APPROVED BY THE ENGINEER.

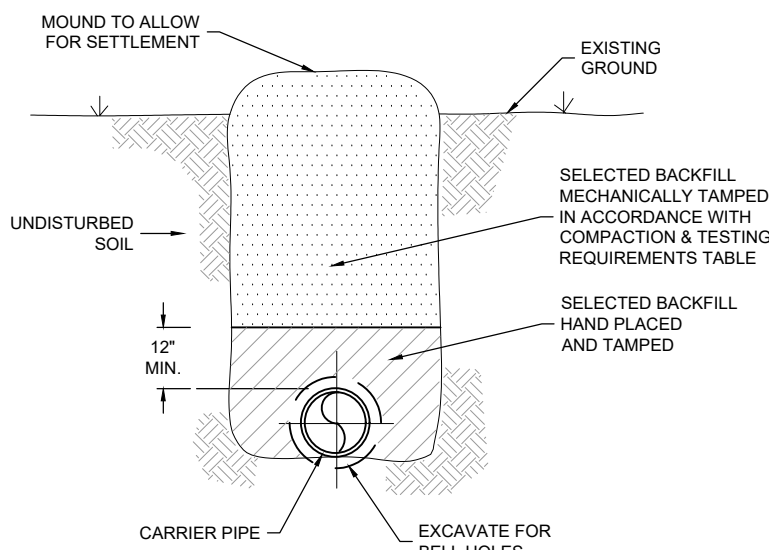
IN STAGE #1, PLACE FLOWABLE FILL MIDWAY UP ON BOTH SIDES OF THE UTILITY, ALLOW TO HARDEN BEFORE PLACING STAGE #2.

IN STAGE #2, PLACE FLOWABLE FILL TO THE BOTTOM OF THE EXISTING BASE COURSE.

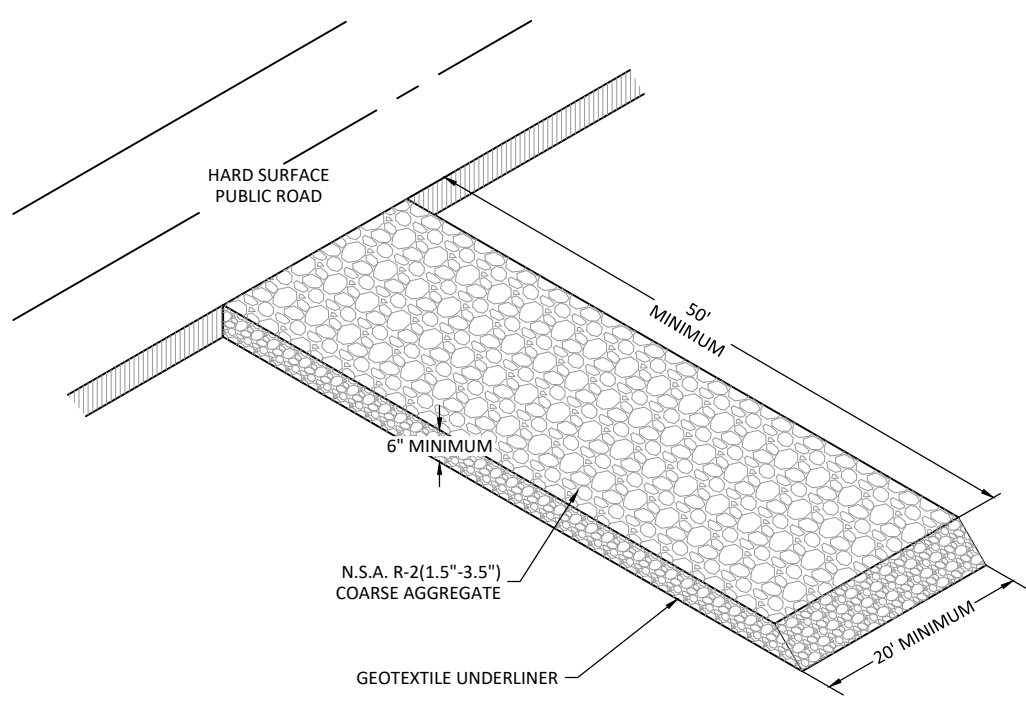
FLEXIBLE PAVEMENT CUT  
N.T.S.



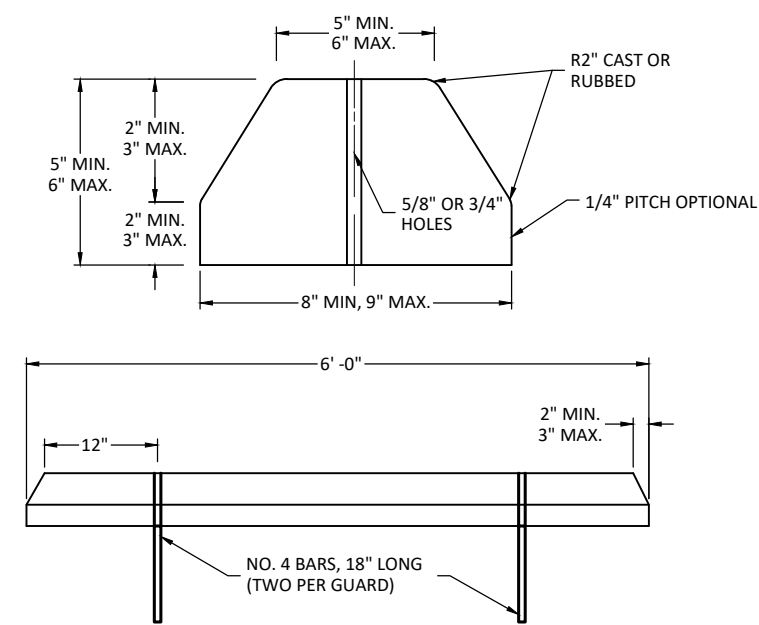
DETAIL - SWALE A  
N.T.S.



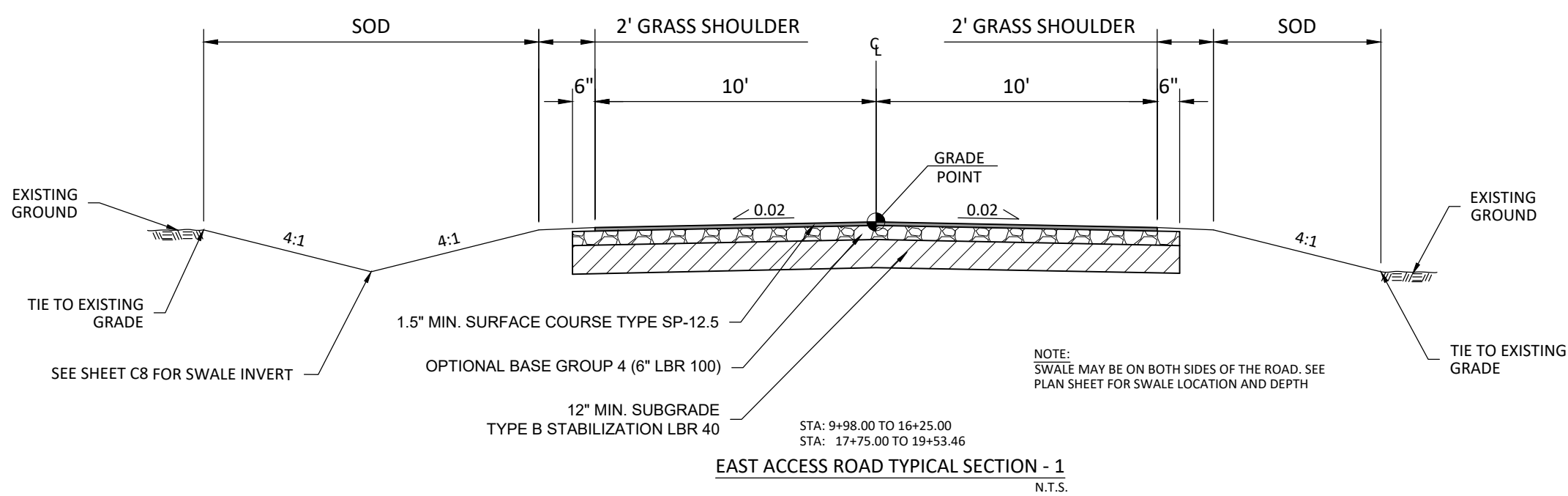
TYPICAL BEDDING DETAIL FOR WATER AND SEWER  
N.T.S.



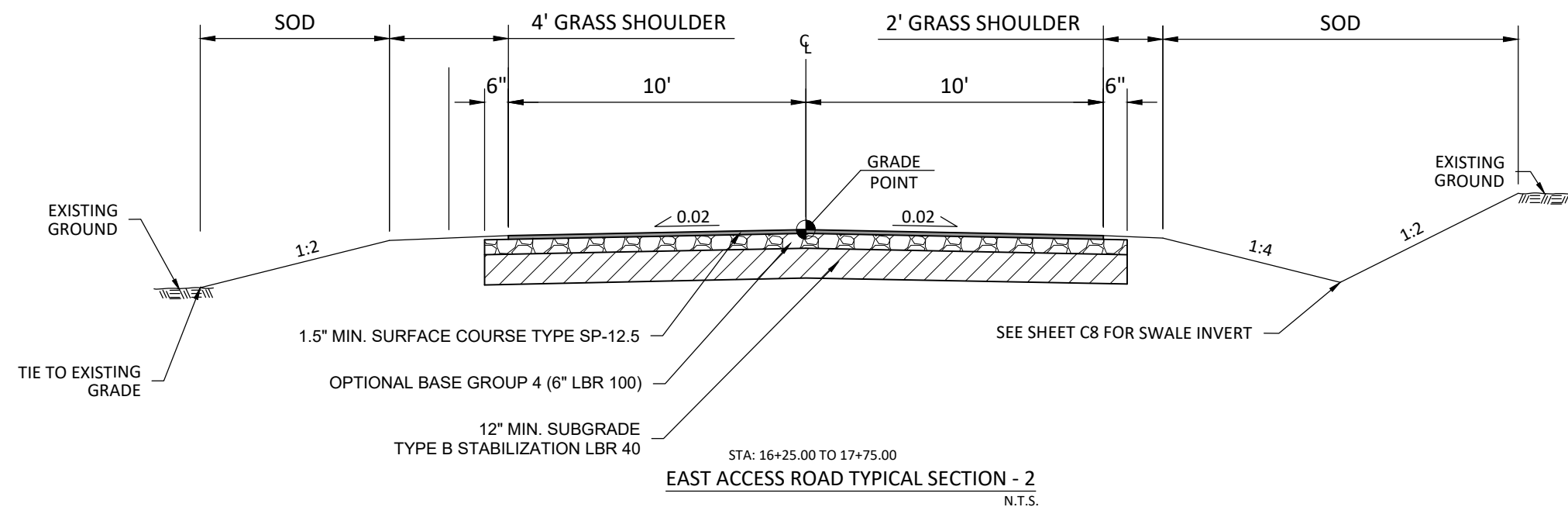
CONSTRUCTION ENTRANCE DETAIL  
N.T.S.



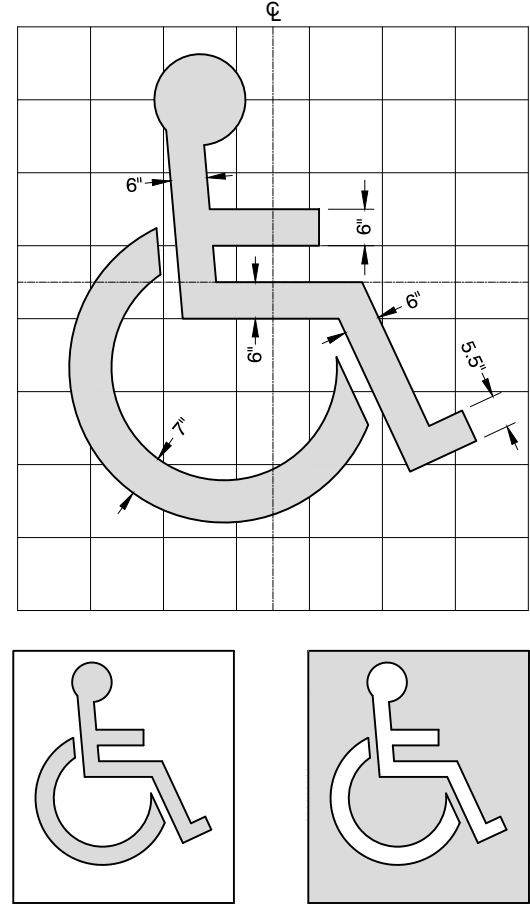
CONCRETE WHEEL STOP DETAIL  
N.T.S.



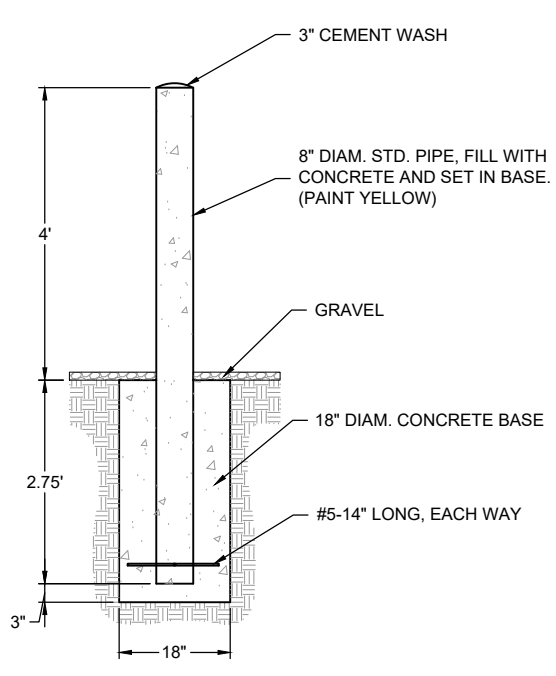
EAST ACCESS ROAD TYPICAL SECTION - 1  
N.T.S.



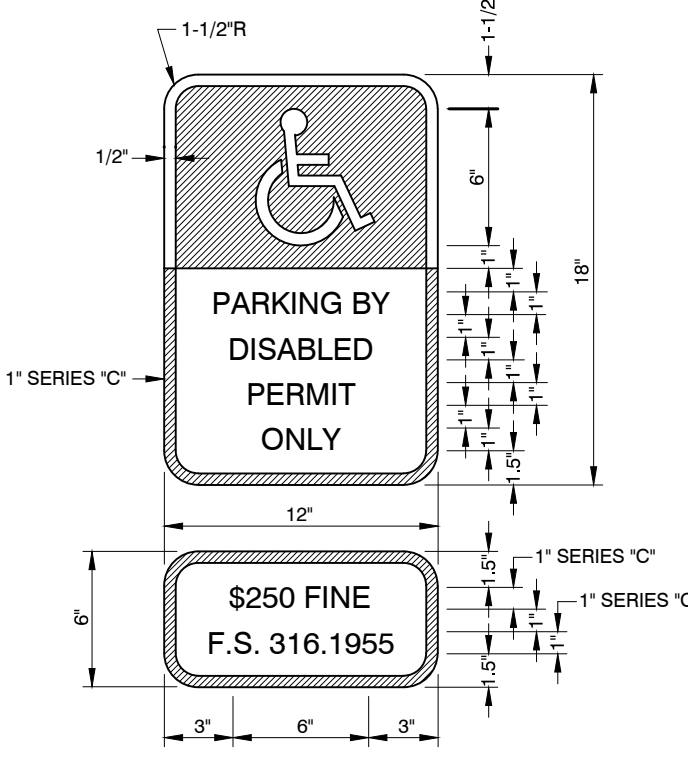
EAST ACCESS ROAD TYPICAL SECTION - 2  
N.T.S.



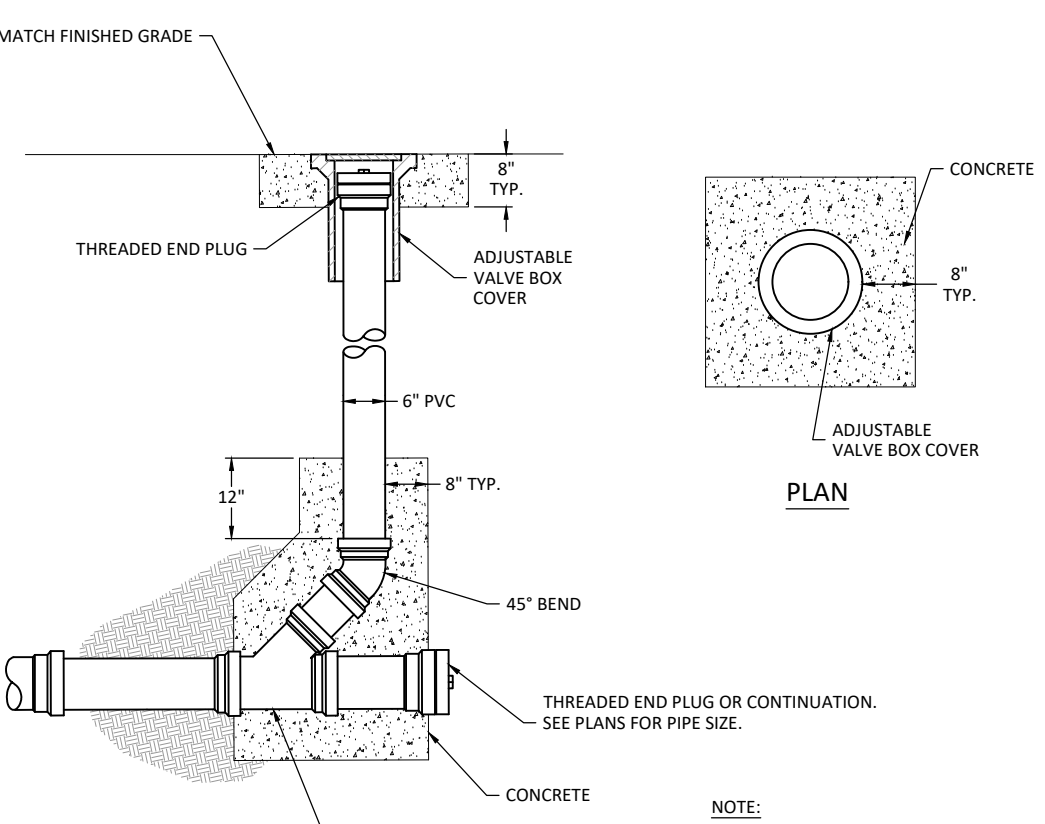
HANDICAP SYMBOL DETAIL  
N.T.S.



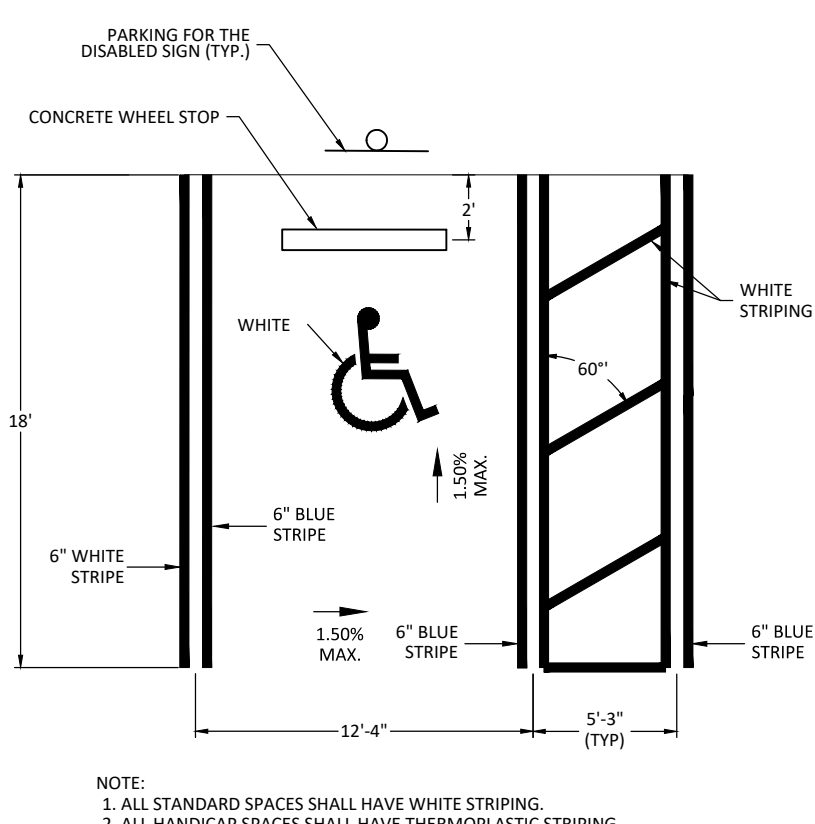
BOLLARD DETAIL  
N.T.S.



HANDICAP SIGN DETAIL  
(F.D.O.T. INDEX NO. 17355)  
N.T.S.



CLEANOUT DETAIL  
N.T.S.



TYPICAL STRIPING AND PARKING DIMENSIONS FOR PERPENDICULAR PARKING  
N.T.S.

R E V I S I O N S				BY	
DESCRIPTION				DATE	





1. CONTRACTOR SHALL SUBMIT PRE-ENGINEERED LIFT STATION SHOP DRAWINGS FOR APPROVAL.
2. CONTRACTOR TO PROVIDE START-UP DOCUMENTATION AND OPERATION AND MAINTENANCE MANUAL.
3. LIFT STATION WILL BE PRIVATELY OWNED AND MAINTAINED.
4. DUTY POINT APPROX. 21 GPM @14' TDH

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, CONTROL PANEL, JUNCTION BOX, FLOAT SWITCHES, FRP WET WELL, HATCH AND ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY.

PANEL MANUFACTURER SHALL BE A "UL" LISTED SHOP.



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