

Addendum No. 1
100% Construction Documents

June 10, 2025

Project:
FSU Parking Garage 1 Remodeling

ALW Project No. 19370.42

Issued by:
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E ENGINEER: R. Lindburg

This Addendum forms a part of the **100% Construction Documents** and modifies the original Construction Drawings May 15, 2025. Please attach this Addendum inside the front cover of the bound specifications and replace drawings and specifications as required. This Addendum consists of **19 pages** and **8 revised drawings**.

SPECIFICATIONS:

1-1 Table of Contents

Revise to include Section 080671 DOOR HARDWARE.
This revision is in response to BCA's Plans Compliance Review.

1-2 Section 080671 DOOR HARDWARE

Add the section.
This revision is in response to BCA's Plans Compliance Review.

DRAWINGS:

Architectural

1-3 LS1.1 – Life Safety Plan, revision 1

Replace sheet LS1.1 with **revised** sheet LS1.1

- **Revise** detail marker to reference enlarged plan 2 on sheet A1.2
This revision is in response to BCA's Plans Compliance Review.

1-4 LS1.2 – Code Summary and Fire Systems, revision 1

Replace sheet LS1.2 with **revised** sheet LS1.2

- **Add** code summary for Florida Fire Prevention Code 8th edition.
This revision is in response to Fire Safety Management's Plans Compliance Review.

1-5 D1.1 – 1ST Floor Demolition Plan, revision 1

Replace sheet D1.1 with **revised** sheet D1.1

- **Add** removal of gypsum wall board in Restrooms 3002 & 3003 (Demolition Note T).

1-6 D1.2 – 1ST Floor Demolition RCP, revision 1

Replace sheet D1.2 with **revised** sheet D1.2

- **Delete** note to salvage existing light fixtures (Demolition Note E).

1-7 A1.1 – 1st Floor Plan, revision 1

Replace sheet A1.1 with **revised** sheet A1.1

- **Revise** door D6000C to pair of doors.
- **Add** tile backer board to existing metal framin in Restrooms 3002 & 3003 (Construction Note 6).
- **Revise** partition type in Print Shop 4002 to U493

1-8 A1.2 – Enlarged Plans Sections and Details, revision 1

Replace sheet A1.2 with **revised** sheet A1.2

- **Revise** door number in detail 2 to D0112B.
This revision is in response to BCA's Plans Compliance Review.

1-9 A6.1 – Door Elevations, Schedule, & Details, revision 1

Replace sheet A6.1 with **revised** sheet A6.1

- **Revise** Door D6000C to pair of doors.
- **Revise** door hardware to Door D6000C to set #7.

1-10 A7.1 – Reflected Ceiling Plan, revision 1

Replace sheet A7.1 with **revised** sheet A7.1

- **Revise** depth of the gypsum bulkhead in Lobby 5000.

Mechanical

None this Addendum.

Plumbing

None this Addendum.

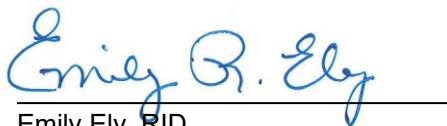
Fire Protection

None this Addendum.

Electrical

None this Addendum.

BY: **Architects: Lewis + Whitlock, PA**



Emily Ely, RID
Principal

Attached: 24x36 Sheets
LS1.1, LS1.2, D1.1, D1.2, A1.1, A1.2, A6.1, A7.1

8 ½ x 11
Spec Section 080671 DOOR HARDWARE

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280528	PATHWAYS FOR COMMUNICATIONS
283113	FIRE ALARM SYSTEM EXTENSION

**SECTION 080671
DOOR HARDWARE SCHEDULE**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Preliminary schedule of door hardware sets for swinging as indicated on drawings.

1.02 RELATED REQUIREMENTS

- A. Section 087101 - HARDWARE: Requirements to comply with in coordination with this section.

1.03 REFERENCE STANDARDS

- A. ANSI A..7.1 - Accessible and Usable Buildings and Facilities.
- B. ANSI/SDI A250.13 - Testing and Rating of Severe Windstorm Resistant Components for Swing Door Assemblies.
- C. ICC/IBC - International Building Code.
- D. NFPA 70 - National Electrical Code.
- E. NFPA 101 - Life Safety Code.
- F. BHMA (CPD) - Certified Products Directory; 2016.
- G. BHMA A156.3 - Exit Devices; 2025.
- H. BHMA A156.5 - American National Standard for Cylinders and Input Devices for Locks; 2014.
- I. BHMA A156.13 - American National Standard for Mortise Locks & Latches Series 1000; 2012.
- J. BHMA A156.18 - American National Standard for Materials and Finishes; 2012.
- K. DHI (H&S) - Sequence and Format for the Hardware Schedule; 1996.

1.04 SUBMITTALS

- A. See Section 013000 - Administrative Requirements, for submittal procedures.

PART 2 PRODUCTS

2.01 DESCRIPTION

- A. Door hardware sets provided represent the design intent, they are only a guideline and should not be considered a detailed or complete hardware schedule.
 - 1. Provide door hardware item(s) as required for similar purposes, even when item is not listed for a door in Door Hardware Schedule.
 - 2. Necessary items that are not included in a Hardware Set should be added and have the appropriate additional hardware as required for proper application and functionality.
 - 3. Door hardware supplier is responsible for providing proper size and hand of door for products required in accordance with Door Hardware Schedule and as indicated on drawings.
 - 4. Quantities listed are for each Pair (PR) of doors, or for each Single (SGL) door, as indicated in hardware sets.

2.02 FINISHES

- A. Finishes: Complying with BHMA A156.18.

PART 3 EXECUTION

3.01 DOOR HARDWARE SCHEDULE

- A. Organize listing of door hardware components within each hardware set in compliance with 10-Part scheduling sequence indicated in DHI (H&S), unless otherwise indicated.

3.02 HARDWARE SET # 1: "STORAGE - SINGLE"

UNITS	ITEM	DESCRIPTION	FINISH	MFR
3	HINGE	TS2714	US26D	MK
1	STOREROOM LOCK	CL3100-AZ	US26D	RU
1	CYLINDER	AS REQUIRED	626	BE
1	CORE	AS REQUIRED	626	BE
1	FLOOR OR WALL STOP	406 OR 446	US26D	RO
3	SILENCERS	608-RKW		RO

3.03 HARDWARE SET # 2: "RESTROOM"

UNITS	ITEM	DESCRIPTION	FINISH	MFR
3	HINGE	TA2714	US26D	MK
1	DOOR PULL	120	US32D	RO
1	PUSH PLATE	84	US32D	RO
1	SURFACE CLOSER	2800 SERIES	689	RU
1	KICK PLATE	K1062 10"	US32D	RO
1	WALL STOP	406	US26D	RO
3	SILENCERS	608-RKW		

3.04 HARDWARE SET # 3: "MECHANICAL - PAIR"

UNITS	ITEM	DESCRIPTION	FINISH	MFR
6	HINGE	TA2714	US26D	MK
1	STOREROOM LOCK	CL3100-AZ	US26D	RU
1	CYLINDER	AS REQUIRED	626	BE
1	CORE	AS REQUIRED	626	BE
2	FLOOR OR WALL STOP	406 OR 446	US26D	RO
2	GASKETING	TA2714		PE
2	SWEEP	321	C/BL	PE

3.05 HARDWARE SET # 4: "ELECTRONIC ACCESS - CORRIDOR"

UNITS	ITEM	DESCRIPTION	FINISH	MFR
3	HINGE	TA2714	US26D	MK
1	ENTRANCE LOCK	CL3100-AZ	US26D	RU
1	CORE	AS REQUIRED	626	BE
1	ELECTRIC STRIKE	9600/9700-LBM X 2005m3	630	HS
1	SURFACE CLOSER	2800 SERIES	689	RU
1	WALL STOP	446	US26D	RO
3	SILENCERS	608-RKW		
1	KICK PLATE	K1062 10"	US26D	RO
1	CARD READER	BY OWNER		
1	POWER SUPPLY			
1	POWER SWITCH			

3.06 HARDWARE SET # 5: "ELECTRONIC ACCESS - EXISTING EXIT"

UNITS	ITEM	DESCRIPTION	FINISH	MFR
6	HINGE	EXISTING TO REMAIN	-	-
1	CORE	AS REQUIRED	626	BE
1	ELECTRIC STRIKE	6100 SERIES	US32D	VD
-	SWING DOOR OPERATOR	EXISTING TO REMAIN	-	-

1	EXIT DEVICE - HEAVY DUTY	99L-01-E996 SERIES w/REMOVABLE MULLION & SURFACE MOUNTED HEAD BOLT	US32D	VD
1	CARD READER	BY OWNER		
1	POWER SUPPLY			
1	POWER SWITCH			

3.07 HARDWARE SET # 6: "ELECTRONIC ACCESS - EXIT"

A. For use on Door Number(s): D210B, D210C, D210D, D210E, D210F.

UNITS	ITEM	DESCRIPTION	FINISH	MFR
3	HINGE	TA2714		MK
1	ENTRANCE LOCK	CL3100-AZ		RU
1	CORE	AS REQUIRED		BE
1	ELECTRIC STRIKE	6100 SERIES	MATCH	VD
1	EXIT DEVICE - HEAVY DUTY	99L-01-E996 SERIES	EXISTING DARK	VD
1	SURFACE CLOSER	2800 SERIES	BRONZE	RU
1	WEATHER STRIPPING		FINISH	
1	CARD READER	BY OWNER		
1	POWER SUPPLY			
1	POWER SWITCH			

3.08 HARDWARE SET # 7: "SUITE ENTRANCE - PAIR"

UNITS	ITEM	DESCRIPTION	FINISH	MFR
6	HINGE	TA2714	US26D	MK
2	ENTRANCE LOCK	CL3100-AZ	US26D	RU
1	CORE	AS REQUIRED	626	BE
1	ELECTRIC STRIKE	9600/9700-LBM X 2005m3	630	HS
2	EXIT DEVICE, HEAVY DUTY	PED400099L-01-E996 SERIES w/SURFACE MOUNTED HEAD BOLT	626	RU
2	SURFACE CLOSER	2800 SERIES		
2	WALL OR FLOOR STOP	406 OR 446	US26D	RO
2	KICK PLATE	K1062 10"	US26D	RO
2	GASKETING	S88D		PE
2	SWEEP	3452AV		PE
1	CARD READER	BY OWNER		
1	POWER SUPPLY			
1	POWER SWITCH			

3.09 HARDWARE SET # 8: "SUITE ENTRANCE - SINGLE"

UNITS	ITEM	DESCRIPTION	FINISH	MFR
3	HINGE	TA2714	US26D	MK
1	ENTRANCE LOCK	CL3100-AZ	US26D	RU
1	CORE	AS REQUIRED	626	BE
1	ELECTRIC STRIKE	9600/9700-LBM X 2005m3	630	HS
1	EXIT DEVICE, HEAVY DUTY	PED400099L-01-E996 SERIES w/SURFACE MOUNTED HEAD BOLT	626	RU

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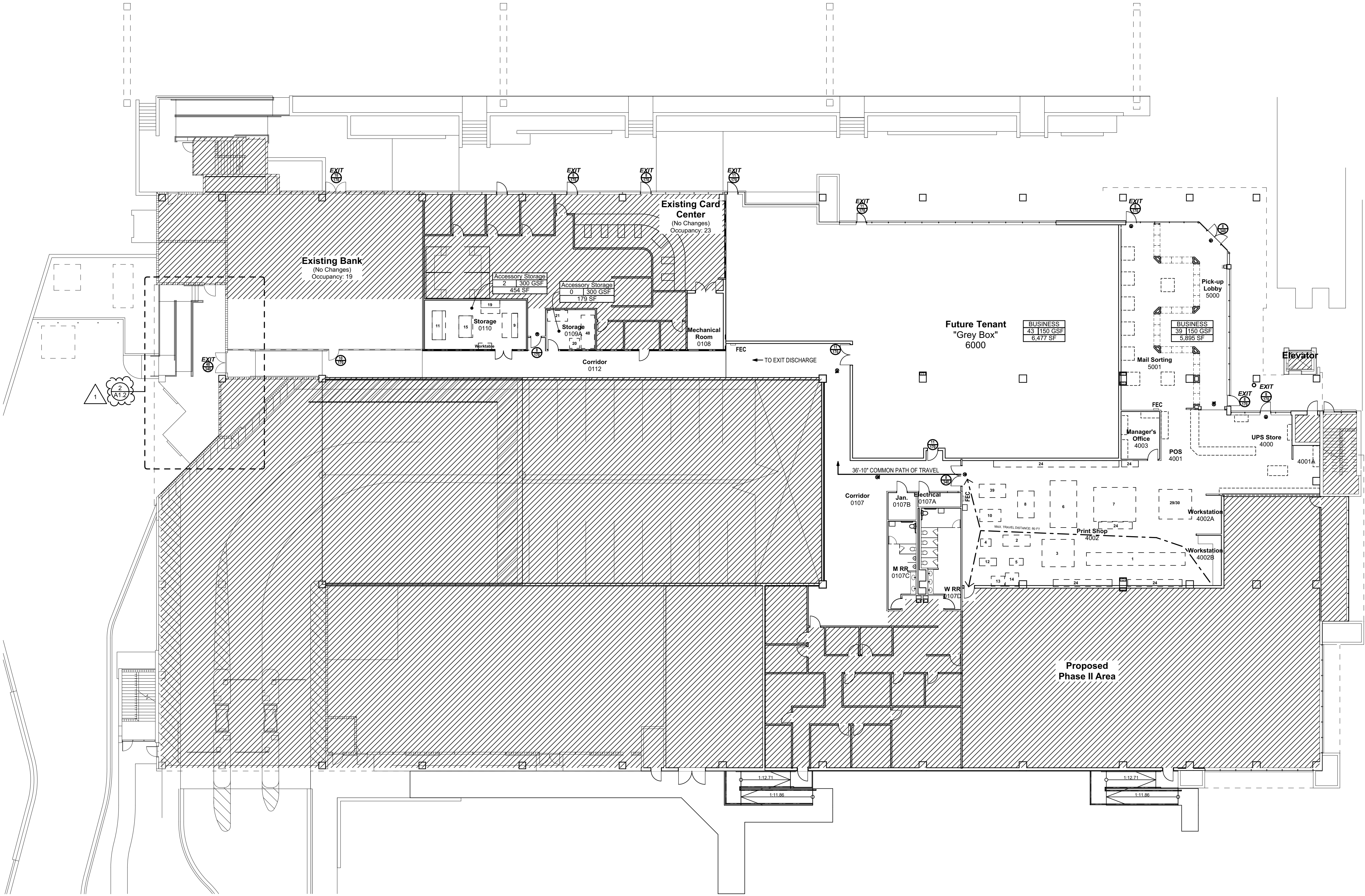
1	SURFACE CLOSER	2800 SERIES		
1	WALL OR FLOOR STOP	406 OR 446	US26D	RO
1	KICK PLATE	K1062 10"	US26D	RO
1	GASKETING	S88D		PE
1	SWEEP	3452AV		PE
1	CARD READER	BY OWNER		
1	POWER SUPPLY			
1	POWER SWITCH			
3.10 HARDWARE SET # 9: "OFFICE"				
UNITS	ITEM	DESCRIPTION	FINISH	MFR
3	HINGE	TA2714	US26D	MK
1	OFFICE LOCK	CL3100-AZ	US26D	RU
1	CYLINDER	AS REQUIRED	626	BE
1	CORE	AS REQUIRED	626	BE
1	SURFACE CLOSER	2800 SERIES	689	RU
1	WALL STOP	446	US26D	RO
1	KICK PLATE	K1062 10"	US32D	RO
3	SILENCERS	608-RKW		
3.11 HARDWARE SET # 10: "STORAGE - PAIR"				
UNITS	ITEM	DESCRIPTION	FINISH	MFR
-	HINGE	EXISTING	-	-
1	OFFICE LOCK	CL3100-AZ	US26D	RU
1	DUMMY LEVER	CL3100-AZ	US26D	RU
1	CYLINDER	AS REQUIRED	626	BE
1	CORE	AS REQUIRED	626	BE
1	ELECTRIC STRIKE	9600/9700-LBM X 2005m3	630	HS
2	FLOOR OR WALL STOP	406 OR 446	US26D	RO
6	SILENCERS	608-RKW		RO
1	CARD READER	BY OWNER		
1	POWER SUPPLY			
1	POWER SWITCH			
3.12 HARDWARE SET # 11: "EXISTING EXTERIOR" - REPAIR/REPLACE EXISTING HARDWARE AS REQUIRED. PROVIDE ELECTRONIC ACCESS CONTROL WHERE NOT ALREADY INSTALLED.				
3.13 HARDWARE SET # 12: "SUITE ENTRANCE - SINGLE"				
UNITS	ITEM	DESCRIPTION	FINISH	MFR
3	HINGE	TA2714	US26D	MK
1	ENTRANCE LOCK	CL3100-AZ	US26D	RU
1	CORE	AS REQUIRED	626	BE
1	ELECTRIC STRIKE	9600/9700-LBM X 2005m3	630	HS
1	EXIT DEVICE, HEAVY DUTY	PED400099L-01-E996 SERIES w/SURFACE MOUNTED HEAD BOLT	626	RU
1	SURFACE CLOSER	2800 SERIES		
1	WALL OR FLOOR STOP	406 OR 446	US26D	RO
1	KICK PLATE	K1062 10"	US26D	RO
1	GASKETING	S88D		PE
1	SWEEP	3452AV		PE

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1	CARD READER	BY OWNER
1	POWER SUPPLY	
1	POWER SWITCH	

END OF SECTION

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LEGEND

FEC FIRE EXTINGUISHER CABINET
2A10BC, U.N.O.

FEB BRACKET MOUNTED FIRE
EXTINGUISHER, 2A10BC, U.N.O.

INDICATES # OF OCCUPANTS FOR A
PARTICULAR BUILDING AREA

INDICATES # OF OCCUPANTS FOR AREAS
THAT INCLUDE OCCUPANT LOADS FROM
ADJACENT SPACES

DENOTES ACTUAL EGRESS OCCUPANTS
DENOTES EGRESS CAPACITY

1 1 HOUR RATED ASSEMBLY

2 2 HOUR RATED ASSEMBLY

EXIT SIGN

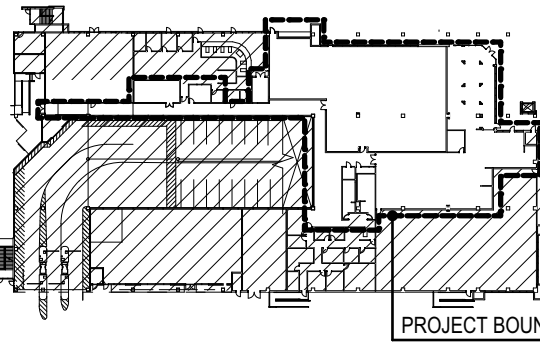
EQUIPMENT BY OTHERS

32" CLEAR EXIT WIDTH PROVIDED

0.2" MINIMUM WIDTH PER OCCUPANT

160 MAXIMUM EGRESS CAPACITY

Key Plan



PHASE:	DRAWN:	REVIEWED:	DATE:	ID:	REVISION:	DRAWN:	REVIEWED:	DATE:
SCHEMATIC DESIGN	KSABEE	CW	08/28/2024	1	ADDENDUM No. 1	E. ELY	R. LEWIS	08/09/25
DESIGN DEVELOPMENT	KSABEE	CW	11/05/2024					
100% CONSTRUCTION DOCS	ABEE	R. LEWIS	05/15/2025					

Client:	FLORIDA STATE UNIVERSITY Tallahassee, Florida
Consultant:	
Seal:	
Project #:	19370.42
Phase:	100% CONSTRUCTION DOCUMENTS
Job Title:	Parking Garage 1 Remodeling



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Description:
Life Safety Plan

Sheet No.:
LS1.1

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FLORIDA BUILDING CODE - EXISTING BUILDING			
<i>Eighth Edition (2023)</i>			
Area of Alteration: ~16,928 SF			
Level of Alteration Scope: Level 2			
Section 603 - Classification of Work			
<u>Level 2 Alteration</u> : Includes the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.			
Chapter 8 - Level 2 Alteration : In addition to the requirements of this chapter, all work shall comply with the requirements of chapter 7.			

FLORIDA FIRE PREVENTION CODE - 8th Edition	Allowed/ Required	Provided
Occupancy Classification: Business		
Hazard Classification (6.2.2.3): Ordinary Hazard		
Building Area		
Gross Building Area = Existing 6-story mixed use parking garage		
Area of Work		~16,928 SF
Occupant Load Classification (Table 7.3.1.2)		
See Occupancy Plan on drawings for breakdown on occupant load(s)		
TOTAL OCCUPANT LOAD	see drawings	see drawings
Chapter 38 - New Business Occupancies		
Classification of Hazards (S38.1.5)	ordinary hazard	n/a
Minimum corridor width (S38.2.3.2) (p50 Occupants)	≥4'	≥4'
Maximum common path of travel (S38.2.5.2.1) (Sprinklered)	100'	<100'
Maximum dead end corridor (S38.2.5.3.1)	≤50'	≤50'
Maximum travel distance (S38.2.6.3) (Sprinklered)	≤300'	<300'
38.3.3 - Interior Finishes		
Exits and exit access corridors - wall and ceiling finish	Class A, B or C	Class A or B
all other wall and ceiling finishes	Class A, B or C	Class A, B or C
Exits and exit access corridors - floor finish	Class I or II	Class I or II

FLORIDA BUILDING CODE - BUILDING Eighth Edition (2023)	Allowed/ Required	Provided
Occupancy Class: Business 'B'		
304.1 Group B includes: Post offices and print shops.		
Gross Building Area - Existing 6 story mixed use (\$-2 parking garage)		
Area of Work (Portion of Ground Floor):		-16,928 SF
Construction Type: Type II-B		
Sprinklered - Ground Floor		
Table 504.3		
Allowable Building Height (from average grade level to highest roof) Type II-B per occupancy (no change)	N/A	
Table 504.4		
Allowable No. of Stories Above Grade Plane for Type II-B per occupancy (no change)	N/A	
Table 506.2		
Allowable Building Area / per floor Type I-B per occupancy (no change)	N/A	
Fire Protection Chapter 6, 7, & 9 (FBC 2023)		
Fire Resistance Rating for Building Elements (FBC-B Table 601) Type II-B	No changes	
Structural Frame	*	
Bearing Walls - Exterior	*	
Bearing Walls - Interior	*	
Non-Bearing Walls - Exterior	*	
Non-Bearing Walls - Interior	*	
Floor	*	
Roof	*	
Table 705.5		
Fire Resistance Separation Distance "X" <30'	No changes	
OCCUPANT LOAD CALCULATIONS:		
Table 1004.1.2 Maximum Floor Area Allowances Per Occupant		
Business = 5,895 sf @ 150 sf = 39		
Business = 6,417 sf @ 150 sf = 43		
Storage = 1,729 @ 300 sf = 5		
Storage = 179 @ 300 sf = 0		
Total Renovation Area Occupant Load = 87		
Table 803.11		
Classification of Finishes: Interior exit stairways, interior exit ramps, interior Exit Passageways - Groups (B) Sprinklered	B	B
Classification of Finishes: Exit Access Corridors and other Exitways - Groups (B) Sprinklered	C	C
Classification of Finishes: Rooms and enclosed Spaces - Groups (B) Sprinklered	C	C
Table 1006.2.1		
Maximum Occupant Load of Space With One Exit Access Doorway - Groups (B) Sprinklered	49	N/A
Maximum Common Path of Egress Travel - Groups (B) Sprinklered	100'	<100'
Table 1006.3.2		
Number of exits required - OL 1-500 - Groups (B) Sprinklered	2	≥2
Table 1017.2		
Maximum Travel Distance - Sprinklered (B)	300'	<300'
Table 1020.2		
Corridors - with sprinklers and Greater than 30 persons served (B)	0hr	0hr
Table 1020.3		
Minimum Corridor Aisle Width	44"	>44"
Max. Dead End Length (Section 1020.5) - Groups (B) Sprinklered	50'	<50'
FLORIDA BUILDING CODE - ACCESSIBILITY Eighth Edition (2023)		
404.2.3 All doors shall have a minimum clear width of 32 inches	32" width	<32" min. width
404.2.7 Door hardware (lever handles)	REQ'D	YES
Accessible Means of Egress - A continuous and unobstructed way of egress travel from any accessible point in a building or facility to a public way	REQ'D	YES

Occupancy Group		B	Total	Required Fixtures	Provided Fixtures
Occupant Load		82	82		
Male Occupants		41	41		
Female Occupants		41	41		
Water Closets	Male	1.64	1.64	2	4
	Female	1.64	1.64	2	5
Lavatories	Male	1.64	1.64	2	2
	Female	1.64	1.64	2	3
Drinking Fountains		0.82	0.82	1	2

PHASE:	DRAWN:	REVIEWED:	DATE:	ID:	REVISION:	DRAWN:	REVIEWED:	DATE:
SCHEMATIC DESIGN DESIGN DEVELOPMENT 100% CONSTRUCTION DOCS	KSABEE	CW	08/28/2024	1	Addendum No. 1	E ELY	R LEWIS	06/29/25
	KSABEE	CW	11/05/2024					
	ABEE		06/15/2025					

Seal:	Consultant:	Client:
Project #:	FLORIDA STATE UNIVERSITY Tallahassee, Florida	
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	19370.42	Parking Garage 1 Remodeling
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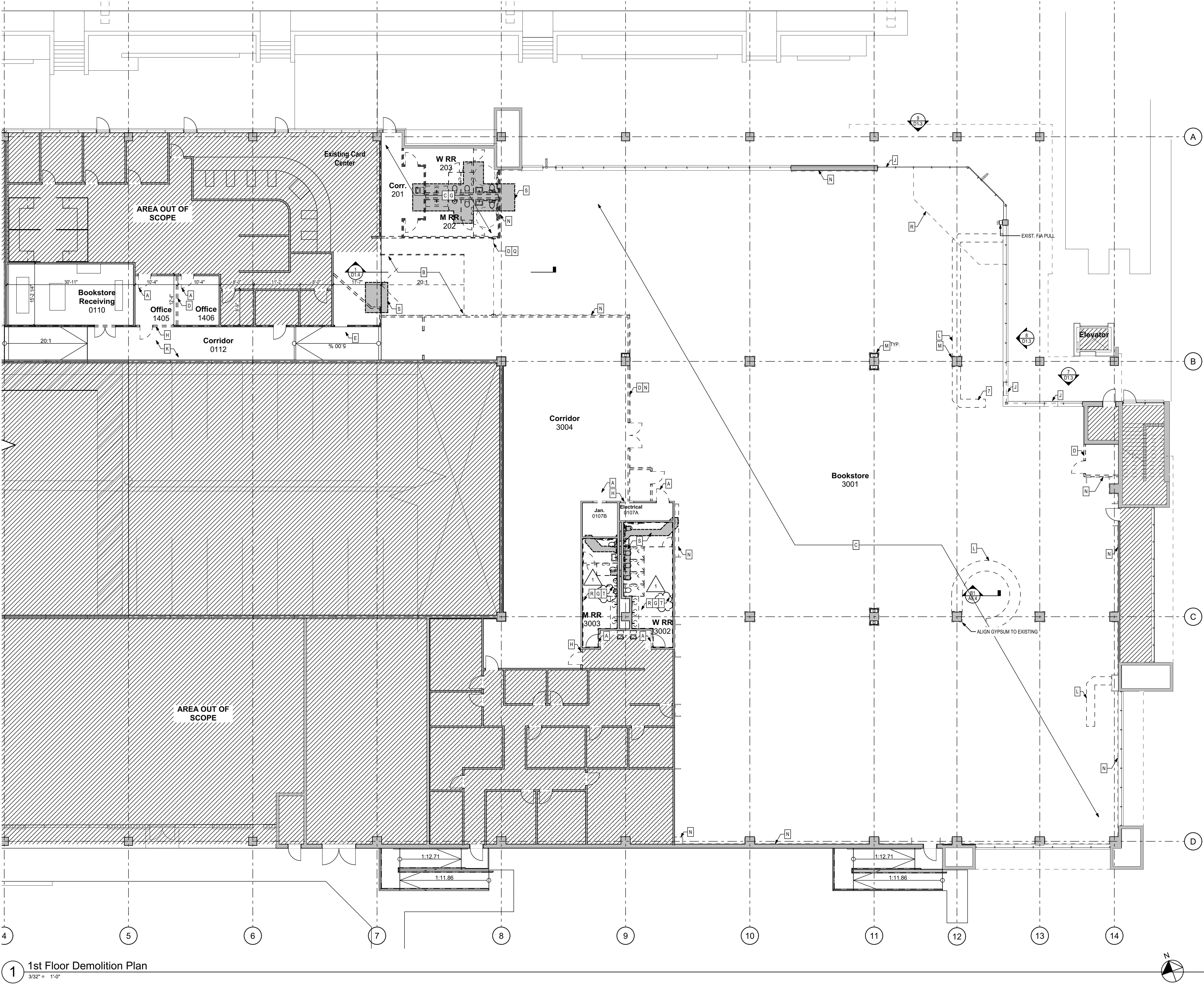
Description:

Code Summary and Fire Systems

Sheet No.:

LS1.2

Z:\19370 - FSU CONT'NG CONTRACT '19-'22\19370.42 BIM - Parking Garage 1 - Phase 1 Interior Remodeling\MODEL\FSU Parking Garage 1 - Phase 1 - CA.pln1:22 PM



1 1st Floor Demolition Plan
3/32" = 1'-0"

General Demolition Notes

- THE CONTRACTOR SHALL EXAMINE THE SITE AND EXISTING CONDITIONS AND BECOME FAMILIAR WITH ALL CONDITIONS WHICH MAY AFFECT THE WORK, PRIOR TO STARTING.
- OWNER SHALL REMOVE ALL LOOSE FURNISHINGS/EQUIPMENT PRIOR TO START OF WORK, TYP.
- CONTRACTOR TO PROVIDE DUST BARRIERS AND PROTECTIVE MATERIAL TO MINIMIZE DAMAGES/DISTURBANCES TO EXISTING ADJACENT MATERIALS.
- ANY DAMAGE TO EXISTING MATERIALS NOT SCHEDULE FOR REMOVAL SHALL REPAIRED AT NO EXPENSE TO THE OWNER, TYP.
- SALVAGE MATERIALS AND ITEMS INDICATED ON THE DRAWINGS AND TURN OVER TO OWNER WITH SIGNED RECEIPT.
- UTILITY INTERRUPTIONS SHALL BE SCHEDULED WITH USER 72 HOURS IN ADVANCE.
- WORK HOURS FOR DEMOLITION SHALL BE SCHEDULED WITH USER 72 HR IN ADVANCED AND SHALL OCCUR AFTER HOURS IF REQUESTED BY USER.
- CONTRACTOR SHALL PATCH AND REPAIR ALL WALLS THAT ARE IMPACTED BY MECHANICAL, AND/OR ELECTRICAL CONDUIT, PIPING, AND ALL OTHER MISC DEVICE REMOVAL.

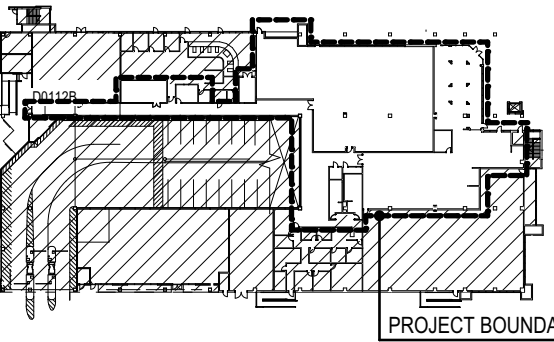
Demolition Notes

- [X] REPRESENTS NOTE ON PLANS
- A REMOVE EXISTING DOOR, DOOR FRAME AND ALL ASSOCIATED DOOR HARDWARE. SALVAGE MATERIALS FOR RE-USE. OWNER TAKE CARE NOT TO DAMAGE ADJACENT SURFACES WHERE WALL IS TO REMAIN.
 - B REMOVE EXISTING RAMP AND ASSOCIATED RAILING.
 - C REMOVE EXISTING FLOORING & WALL BASE.
 - D REMOVE EXISTING WALL IN ITS ENTIRETY. COORDINATE REMOVAL OF ALL IN-WALL INFRASTRUCTURE W/ MEP DOCUMENTS, TYP.
 - E REMOVE DOOR, FRAME AND HARDWARE.
 - F CARD READER TO BE REMOVED AND SALVAGED FOR REUSE.
 - G REMOVE EXISTING TOILET PARTITIONS, FIXTURES, AND ACCESSORIES.
 - H REMOVE EXIST PORTION OF PARTITION. ADJOINING FLOOR AND CEILING MATERIALS TO REMAIN INTACT.
 - J REMOVE EXISTING STOREFRONT PANEL. SEE ELEVATIONS.
 - K REMOVE WALL PROTECTION EACH SIDE, ENTIRE CORRIDOR.
 - L REMOVE EXISTING CASEWORK, TYP.
 - M REMOVE EXISTING COLUMN WRAP, TYP.
 - N REMOVE EXISTING WALL DISPLAY SYSTEM, TYP.
 - P CUT AND PATCH EXISTING BRICK MASONRY AS REQ. TO INSTALL NEW STOREFRONT DOOR & SIDELIGHT. SALVAGE BRICK FOR REUSE.
 - Q REMOVE ROLL-UP SECURITY DOOR AND SURROUNDING FRAMING AS INDICATED ON PLANS. SEE SECTIONS.
 - R REMOVE PORCELAIN FLOOR TILE WALL BASE, AND SETTING MATERIALS. TAKE CARE TO PROTECT EXISTING SLAB TO MAXIMUM EXTENT FEASIBLE.
 - S DEMOLISH PORTION OF CONCRETE SLAB FOR NEW PLUMBING TRENCH. COORDINATE FINAL LOCATION AND SIZE WITH PLUMBING CONTRACTORS.
 - T REMOVE GYPSUM ON INTERIOR FACE OF RESTROOM WALLS TO PREPARE FOR NEW TILE BACKER BOARD. PROTECT EXISTING FRAMING.

Demolition Legend

- [Solid Line] EXISTING PARTITION TO REMAIN
- [Dashed Line] EXISTING CONSTRUCTION TO REMAIN
- [Dashed Line with Tick] PARTITION TO BE REMOVED
- [Dashed Line with Cross] CONSTRUCTION TO BE REMOVED

Key Plan



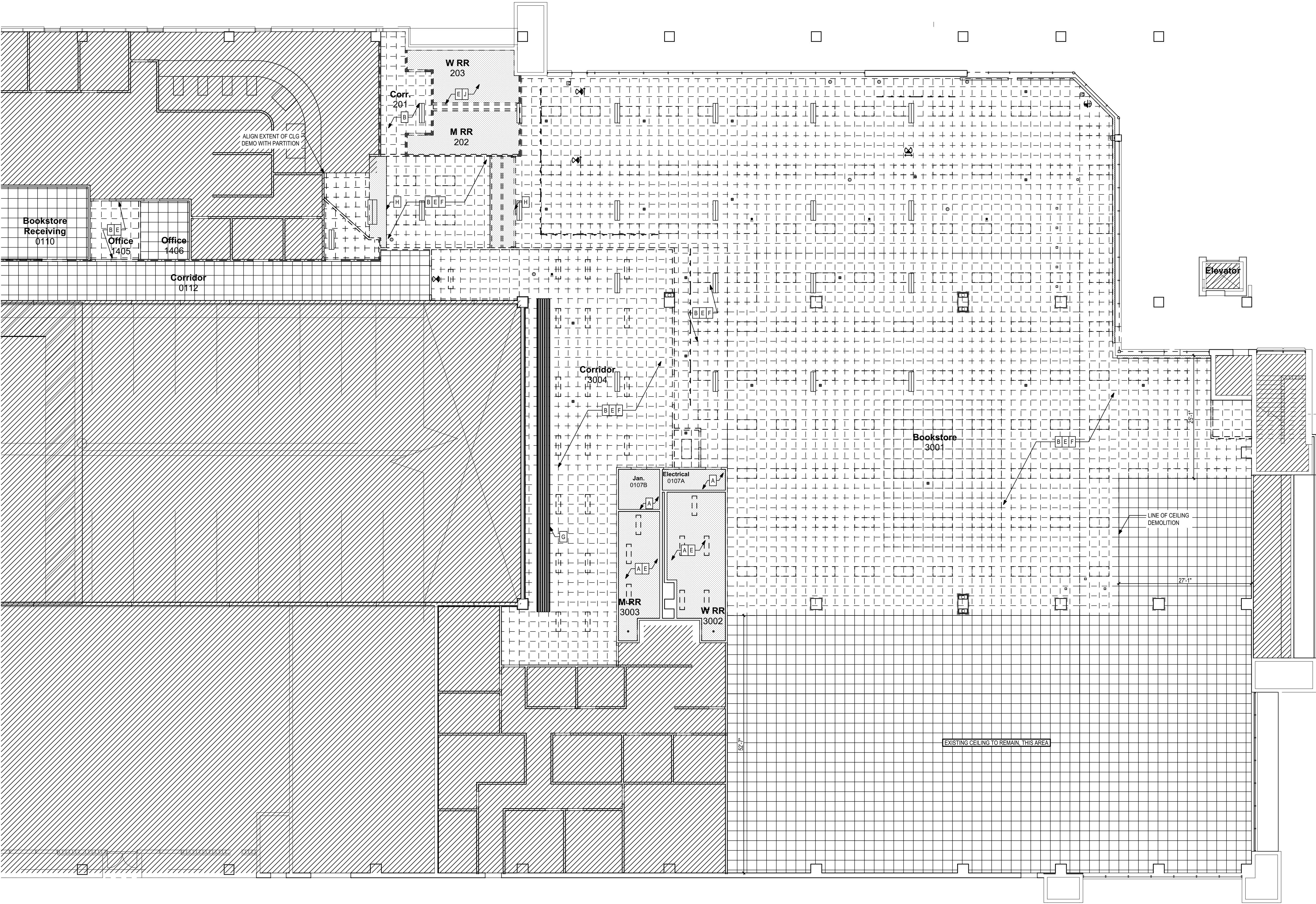
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SCHEMATIC DESIGN	KSABEE	CW	08/28/2024	1	As Issued No. 1	E. ELY	R. LEWIS	08/08/2025
DESIGN DEVELOPMENT	KSABEE	CW	11/05/2024					
100% CONSTRUCTION DOCS	ABEE	R. LEWIS	05/15/2025					

Client:	FLORIDA STATE UNIVERSITY Tallahassee, Florida	Job Title:	Parking Garage 1 Remodeling
Consultant:		Project #:	19370.42
Seal:		Phase:	100% CONSTRUCTION DOCUMENTS

ALW
Architects Lewis + Whitlock
206 West Virginia St.
Tallahassee, Florida 32301
850.942.1718
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Description:
1st Floor Demolition Plan

Sheet No.:
D1.1



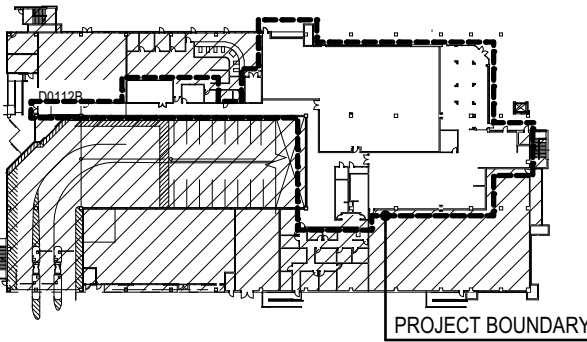
RCP Demolition Notes

- | | |
|---|--|
| X | REPRESENTS NOTE ON PLANS |
| A | EXISTING HARD CEILING TO REMAIN. |
| B | REMOVE EXISTING SUSPENDED CEILING SYSTEM AND ALL MEP ITEMS INDICATED ON MEP DEMOLITION. |
| C | REMOVE EXISTING ACOUSTICAL TILE AND SALVAGE FOR REUSE - GRID TO REMAIN @ CONTRACTORS DISCRETION - COORDINATE W/ SCOPE OF NEW WORK. |
| D | REPAIR/ REMOVE CEILING TILES AND OR GRID WHERE NEEDED TO ACCOUNT FOR NEW HVAC VENT LOCATIONS. SEE HVAC DWGS. |
| E | ALL EXISTING LIGHTING TO BE REMOVED. |
| F | EXISTING IT AND SECURITY WIRING ABOVE CEILING TO BE REMOVED AND REINSTALLED BY OWNER. |
| G | EXISTING PIPES TO REMAIN. |
| H | EXISTING GYPSUM SOFFIT TO BE REMOVED. |
| J | REMOVE EXISTING SUSPENDED CEILING SYSTEM AND ALL MEP ITEMS INDICATED ON MEP DEMOLITION. |

RCP Demolition Legend

- | | |
|--|---|
| | 2' X 4' FLUORESCENT FIXTURE TO BE REMOVED |
| | 1' X 4' FLUORESCENT FIXTURE TO BE REMOVED |
| | ACT CEILING SYSTEM TO BE REMOVED |
| | DRYWALL CEILING SYSTEM - TO BE REMOVED |
| | RETURN AIR DIFFUSER TO BE REMOVED |
| | SUPPLY AIR DIFFUSER TO BE REMOVED |
| | RECESSED FIXTURE TO BE REMOVED |
| | PENDANT FIXTURE TO BE REMOVED |
| | FIRE SPRINKLER HEAD TO BE REMOVED |
| | FIRE ALARM STROBE TO BE REMOVED |
| | EXIT SIGN TO BE REMOVED |
| | SPEAKER TO BE REMOVED |
| | SMOKE DETECTOR TO BE REMOVED |
| | DOME CAMERA TO BE REMOVED |

Key Plan



PHASE:	DRAWN:	REVIEWED:	DATE:	ID:	REVISION:	DATE:
SCHEMATIC DESIGN	KSABEE	CW	08/28/2024	1	Addendum No. 1	08/08/2025
DESIGN DEVELOPMENT	KSABEE	CW	11/05/2024			
100% CONSTRUCTION DOCS	ABEE	R. LEWIS	05/15/2025			

Client:	FLORIDA STATE UNIVERSITY Tallahassee, Florida
Consultant:	
Seal:	
Project #:	19370.42
Phase:	100% CONSTRUCTION DOCUMENTS
Job Title:	Parking Garage 1 Remodeling

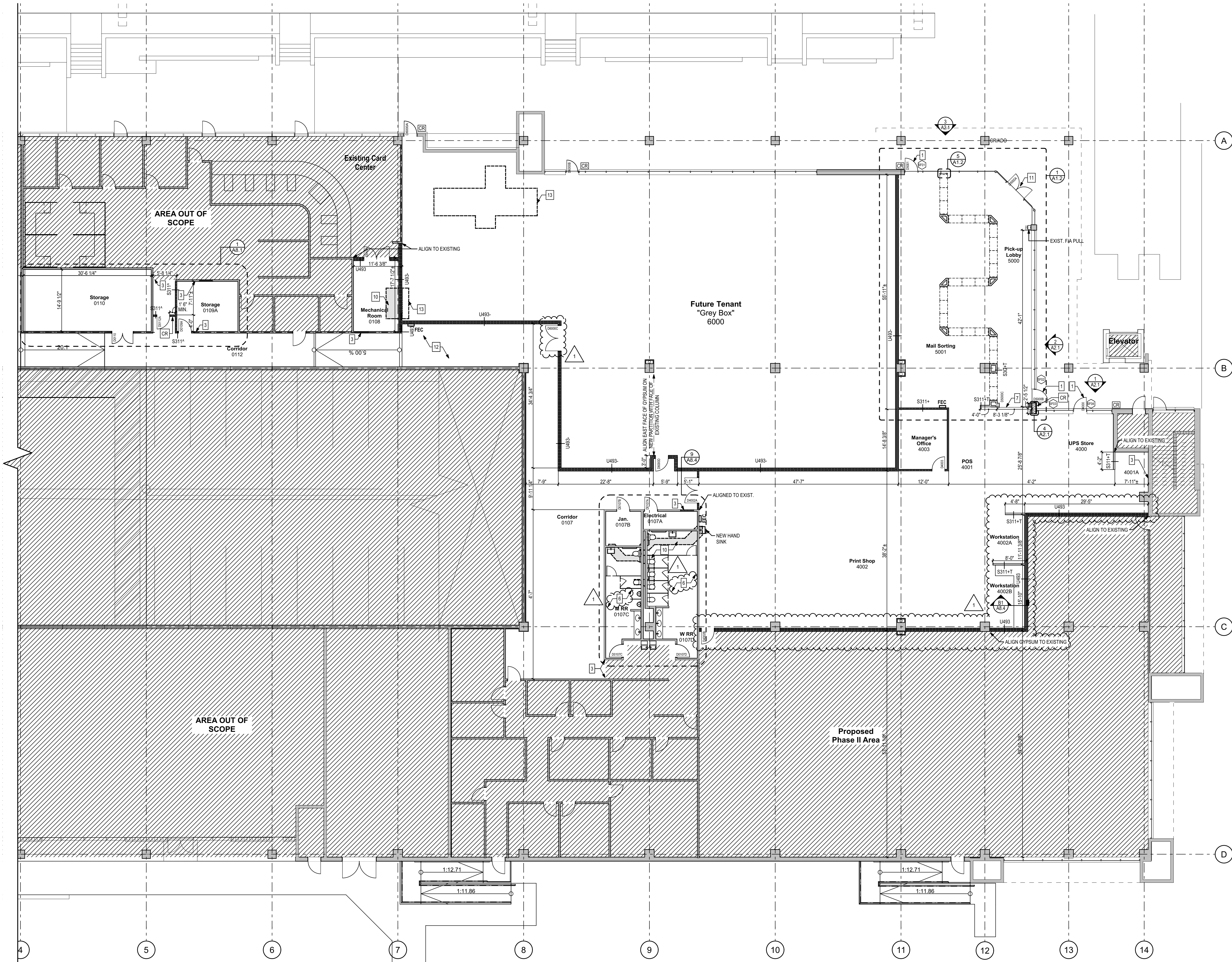


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Description:
1st Floor
Demolition RCP

Sheet No.:

D1.2



1 1st Floor Plan
3/32" = 1'-0"

General Construction Notes

1. THE CONTRACTOR SHALL EXAMINE THE SITE AND EXISTING CONDITIONS AND BECOME FAMILIAR WITH ALL CONDITIONS WHICH MAY AFFECT THE WORK, PRIOR TO STARTING.
2. DIMENSIONS INDICATED FOR NEW PARTITIONS ARE TO THE EDGE OF STUD FOR METAL PARTITIONS. MASONRY PARTITIONS ARE TO EDGE OF WALL (OR SLAB EDGE).
3. ALL NEW WALL SURFACES SHALL BE FINISHED AND PAINTED PER SPECIFICATIONS.
4. CLEAN AND PREP ALL AREAS WITHIN SCOPE OF WORK TO RECEIVE NEW FINISHES.
5. DIMENSIONS INDICATED FOR EXISTING CONSTRUCTION ARE ACCURATE TO +1" DIMENSIONS INDICATED FOR EXISTING PARTITIONS ARE TO THE FINISH FACE.
6. CONTRACTOR SHALL PATCH AND REPAIR ALL WALLS THAT ARE IMPACTED BY MECHANICAL AND/OR ELECTRICAL CONDUIT, PIPING, AND ALL OTHER MISC DEVICES.
7. ALL WORK IS TO BE LAID OUT TRUE, SQUARE, AND PLUMB, AND TO EXACT AND CORRECT DIMENSIONS. IF DIMENSIONAL DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER AND THE ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES AND WORK, INCLUDING WORK OF OTHERS WHERE AFFECTED.
9. THE CONTRACTOR SHALL PROVIDE BARRICADES, DUST CONTROL, TEMPORARY POWER, LIGHTING, TELEPHONE SERVICE, ETC. AS REQUIRED TO COMPLETE THE WORK.
10. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOB SITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNER'S RECORD COPY.
11. ALL EXISTING FIRE EXTINGUISHERS TO BE REUSED IN CONSTRUCTION SHALL BE RE-CERTIFIED BEFORE REINSTALLATION.

Construction Notes

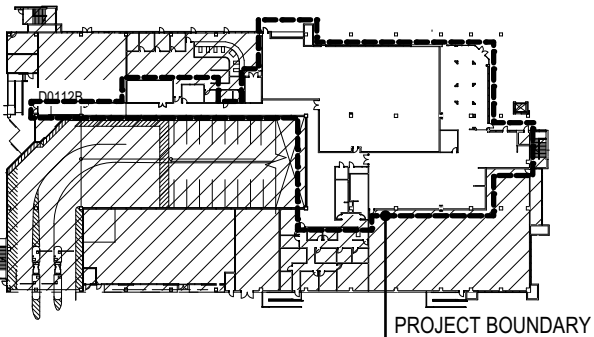
[X] REPRESENTS NOTE ON PLANS

1. INSTALL NEW STOREFRONT DOOR/SIDELIGHT WITHIN EXISTING STOREFRONT PANEL. SEE ELEVATIONS AND DETAILS.
2. INSTALL MATCHING CARPET TO EXISTING SUITE CARPET - OBTAIN FROM OWNERS STORED MATERIALS.
3. REPAIR WALLS ASSOCIATED WITH REMOVAL OF DOOR SYSTEM AND WALL. FINISH AND REPAINT THE ENTIRE WALL TO MATCH EXISTING OR NEW FINISH AS SCHEDULED.
4. PROVIDE WOOD BLOCKING FOR TV MOUNT AND SUPPORT.
5. INSTALL NEW DOOR, FRAME, AND CASING WITHIN EXISTING WALL. INSTALL BRACING ABOVE AS NEEDED. SEE ELEVATIONS AND DETAILS.
6. INSTALL 5/8" TILE BACKER BOARD OVER EXISTING WALL FRAMING. THIS ROOM IN ITS ENTIRETY.
7. INSTALL NEW ROLL-DOWN SECURITY SHUTTER.
8. NEW CASEWORK. SEE ELEVATIONS.
9. MATCH EXIST. BOND COURSEING, AND MORTAR JOINT SIZE AND COLOR WITH SALVAGED BRICK.
10. INFILL SLAB AT NEW PLUMBING TRENCH. COMPACT AND FILL. PROVIDE MIN. 12 MIL VAPOR BARRIER PRIOR TO INSTALL OF MIN. 4" THICK 3,000 PSI CONCRETE.
11. REPAIR/REPLACE DOOR BROKEN AND MALFUNCTIONING DOOR HARDWARE.
12. PROVIDE NEW CONTINUOUS WALL PROTECTION TO 48" AFF. ENTIRE CORRIDOR.
13. SLAB INFILL WITHIN REC TENANT SPACE WILL BE COMPLETED DURING THE REC TENANT BUILDOUT AS A SEPARATE PROJECT. IT IS NOT INCLUDED IN THIS CONTRACT.

Drawing Legend

- | | |
|------------------------|---------------------------------|
| [Solid Line] | EXISTING PARTITION TO REMAIN |
| [Dashed Line] | NEW PARTITION |
| [Solid Line with Dots] | EXISTING CONSTRUCTION TO REMAIN |
| [Solid Line] | NEW CONSTRUCTION |
| [CR] | NEW CARD READER LOCATION |

Key Plan



PHASE:	DRAWN:	REVIEWED:	DATE:	ID:	REVISION:	DATE:	REVIEWED:	DATE:
SCHEMATIC DESIGN	KS/ABEE	CW	08/28/2024	1	ADDENDUM No. 1	08/28/2024	E. ELY	R. LEWIS
DESIGN DEVELOPMENT	KS/ABEE	CW	11/05/2024					
100% CONSTRUCTION DOCS	ABEE	R. LEWIS	05/15/2025					

Client: FLORIDA STATE UNIVERSITY
Tallahassee, Florida

Job Title: Parking Garage 1 Remodeling

Consultant: 19370.42
100% CONSTRUCTION DOCUMENTS

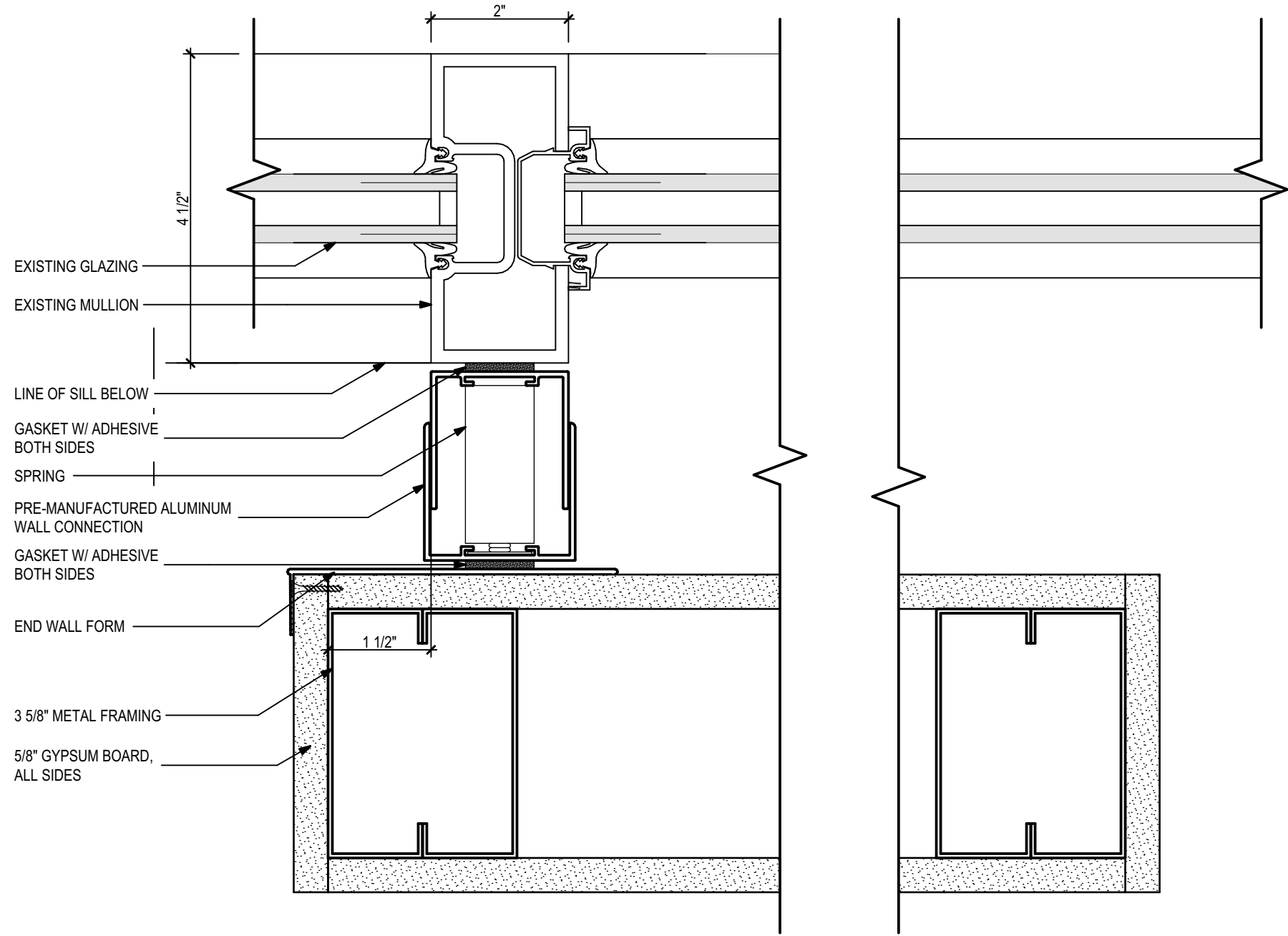
Project #: 19370.42
Phase: 100% CONSTRUCTION DOCUMENTS

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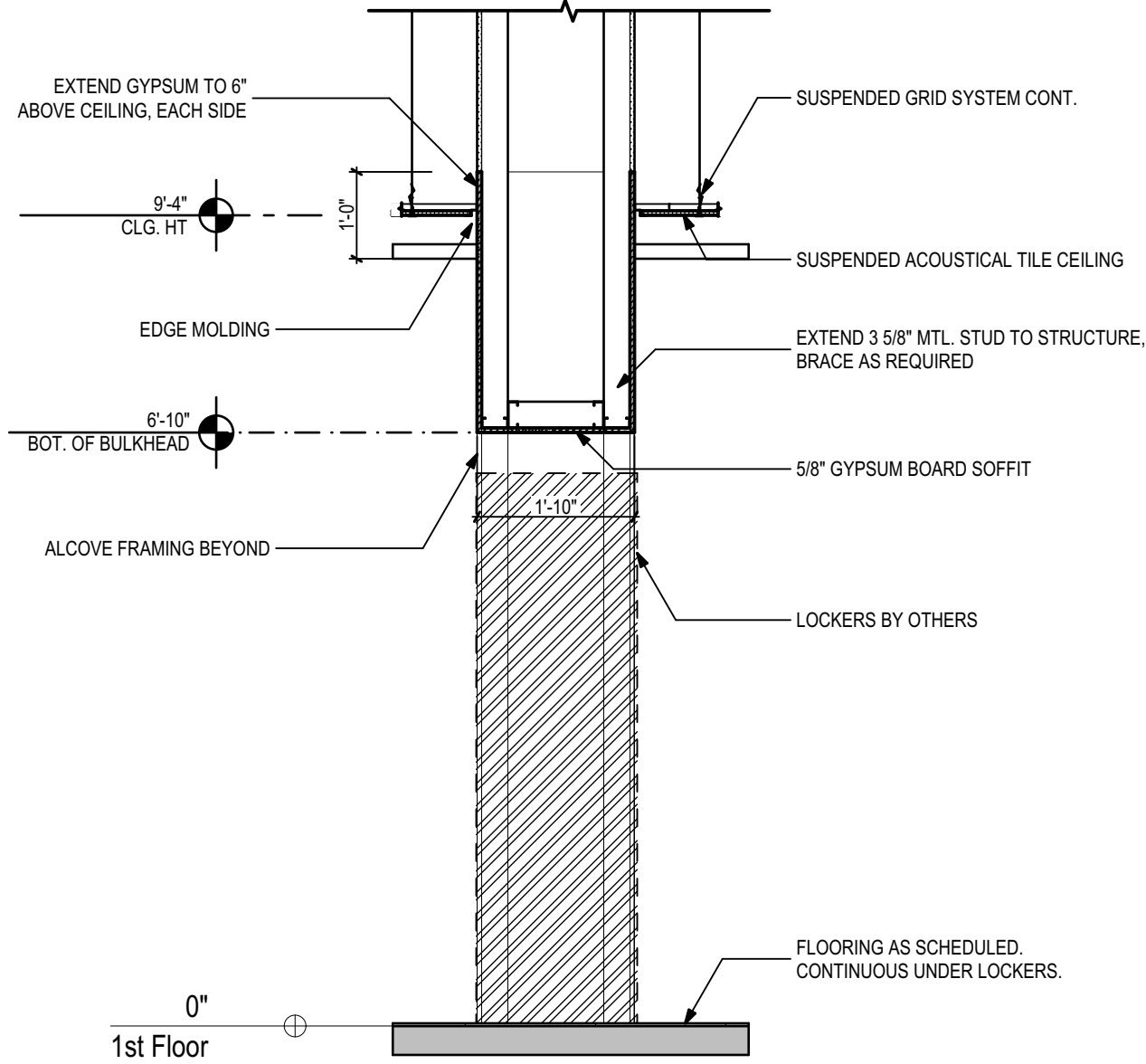
Description:
1st Floor Plan

Sheet No.:

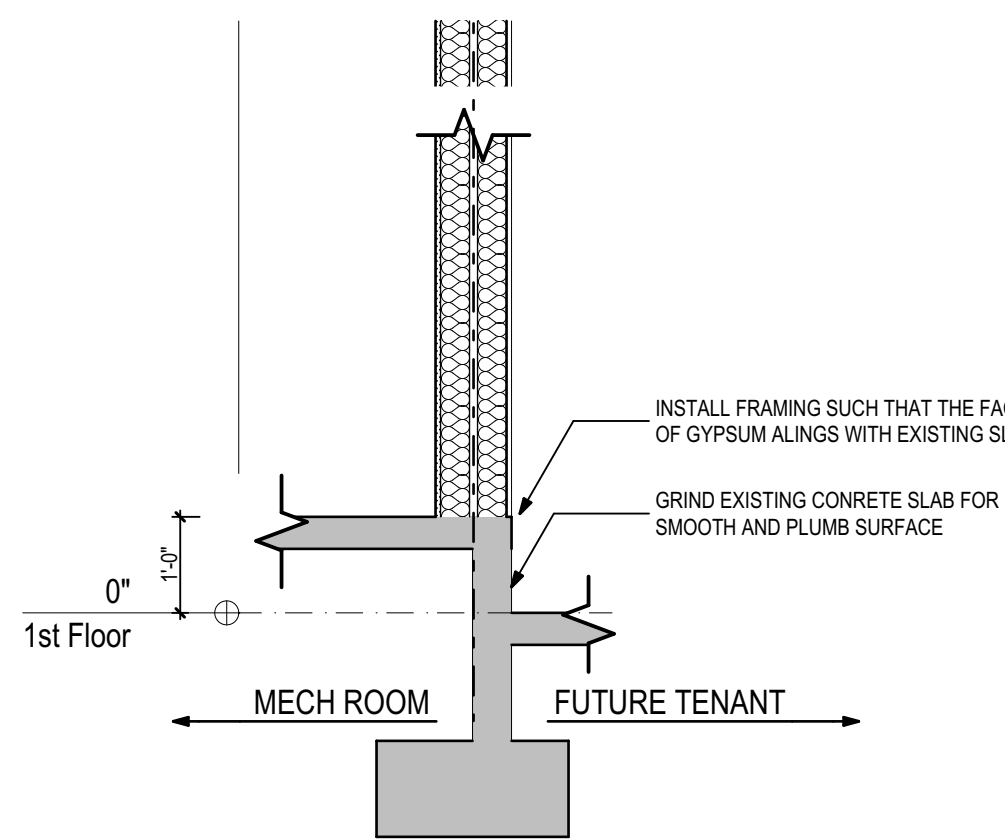
A1.1



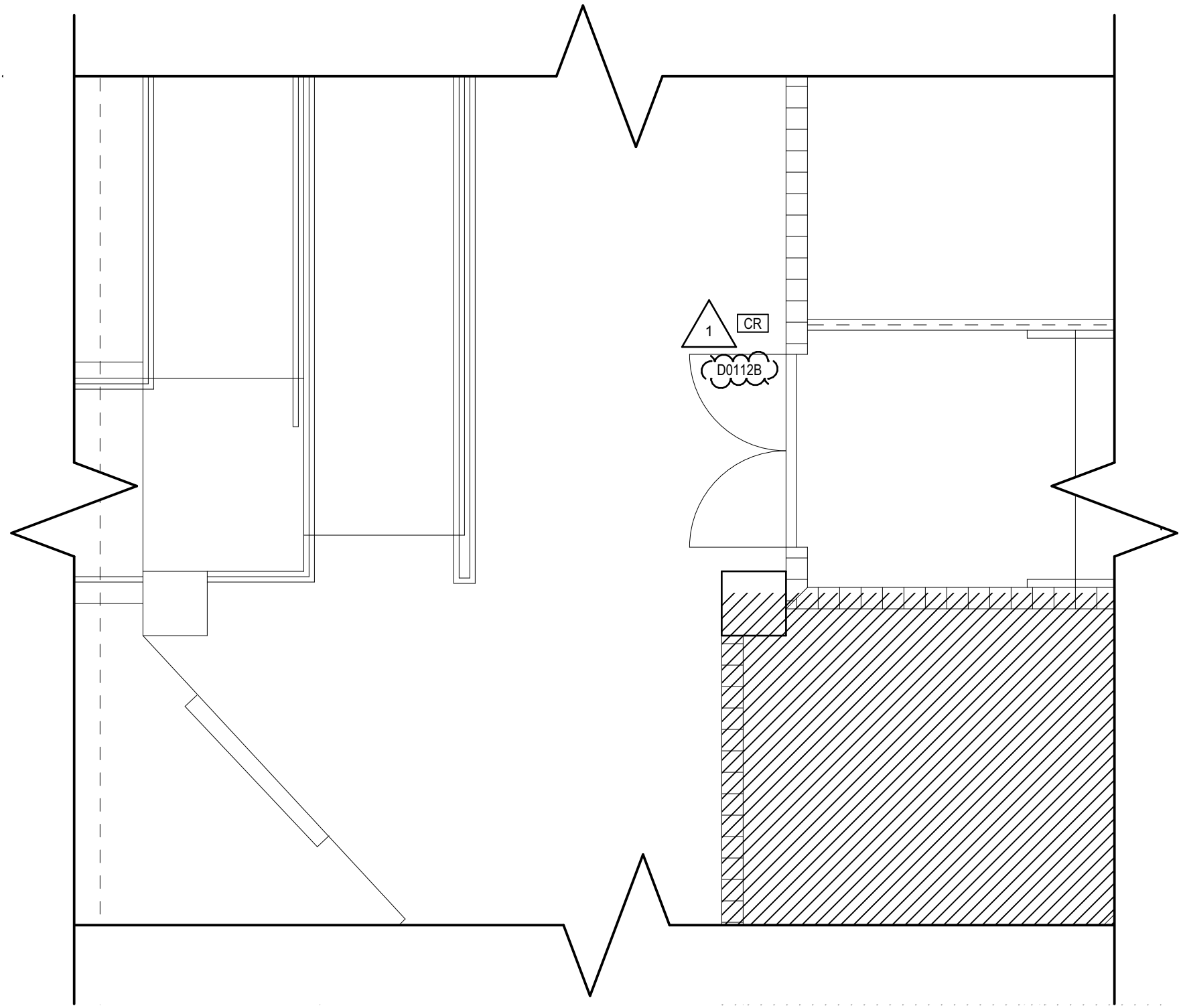
5 Mullion Detail @ Locker Alcove
6" = 1'-0"



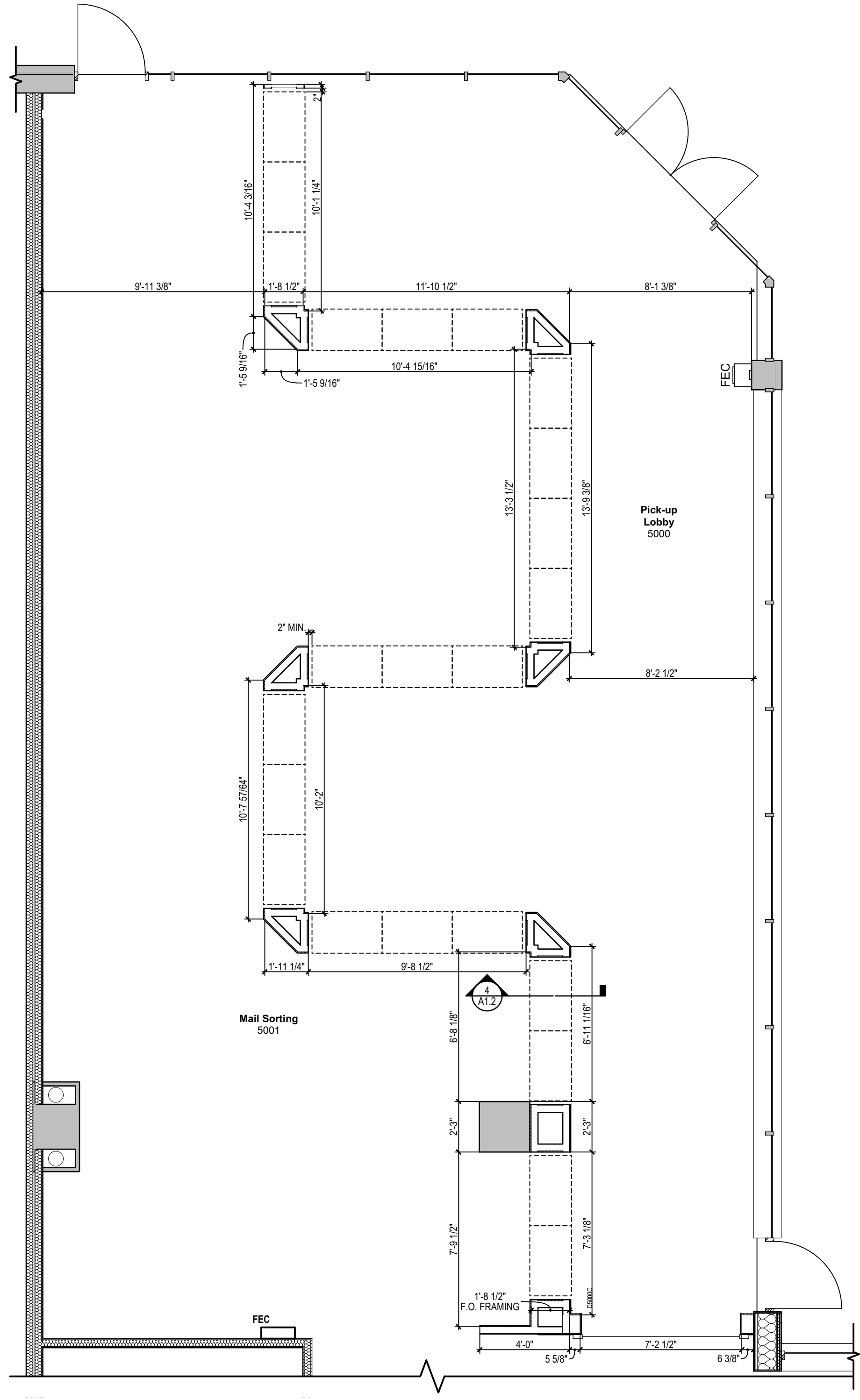
4 Locker Framing Section
1/2" = 1'-0"



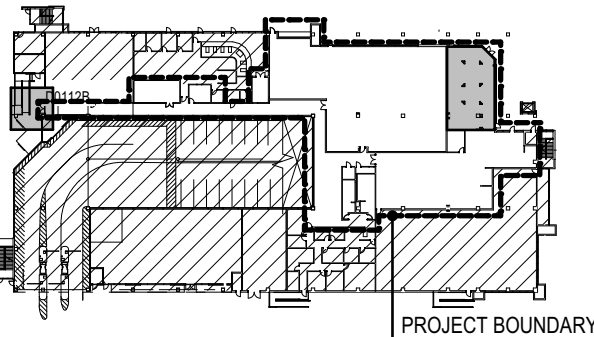
3 Wall Section
1/2" = 1'-0"



2 Enlarged Plan at Loading Dock
1/4" = 1'-0"



1 Locker Framing Dimension Plan
1/4" = 1'-0"



Key Plan

PHASE:	DRAWN:	REVIEWED:	DATE:	ID:	REVISION:	DRAWN:	REVIEWED:	DATE:
SCHEMATIC DESIGN	KSABEE	CW	08/28/2024	1	ADDENDUM No. 1	E. ELY	R. LEWIS	08/09/25
DESIGN DEVELOPMENT	KSABEE	CW	11/05/2024					
100% CONSTRUCTION DOCS	ABEE	R. LEWIS	05/15/2025					

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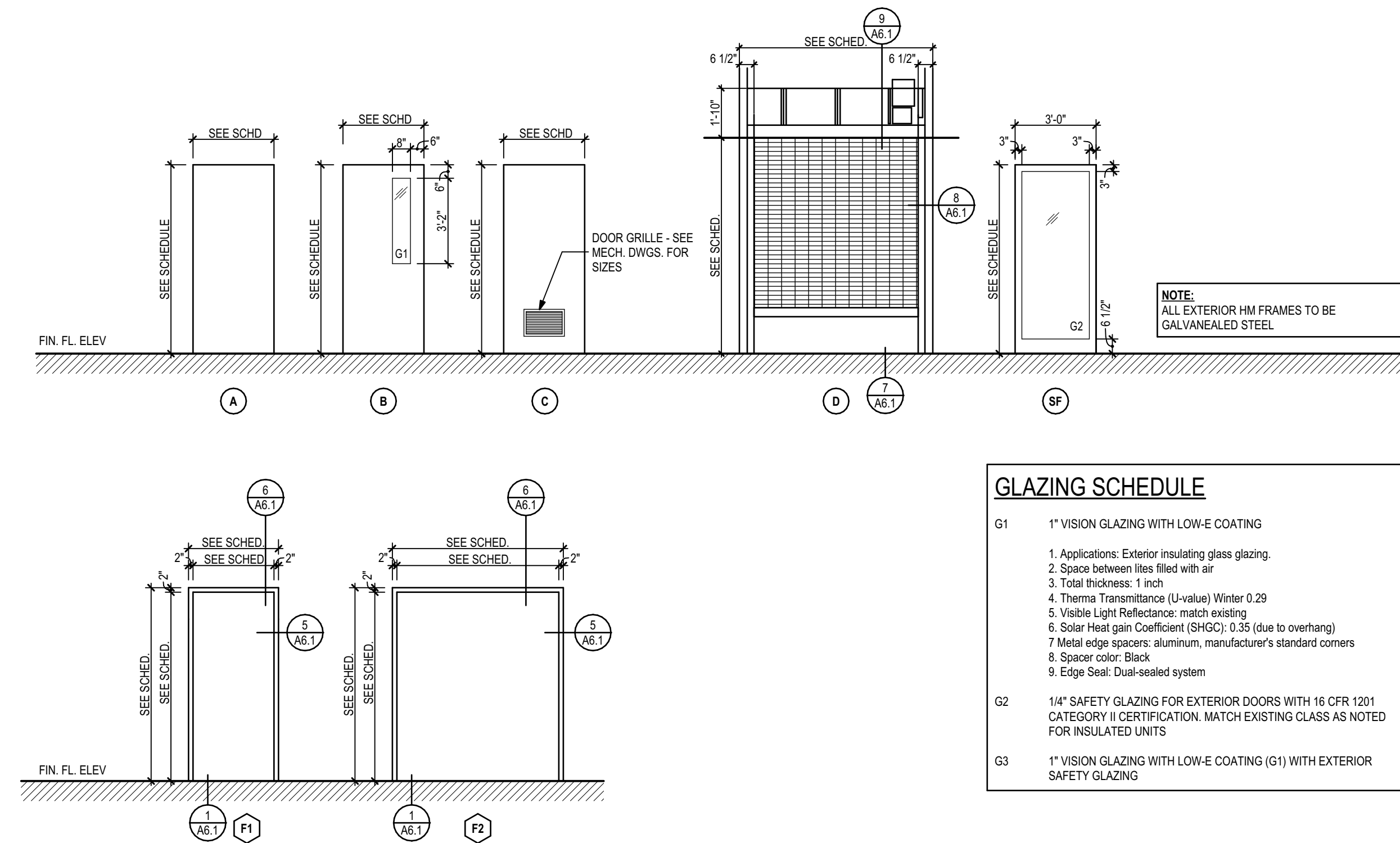
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Description:
**Enlarged Plans,
Sections and
Details**

Sheet No.:
A1.2

Door and Window Elevations

1/4" = 1'-0"

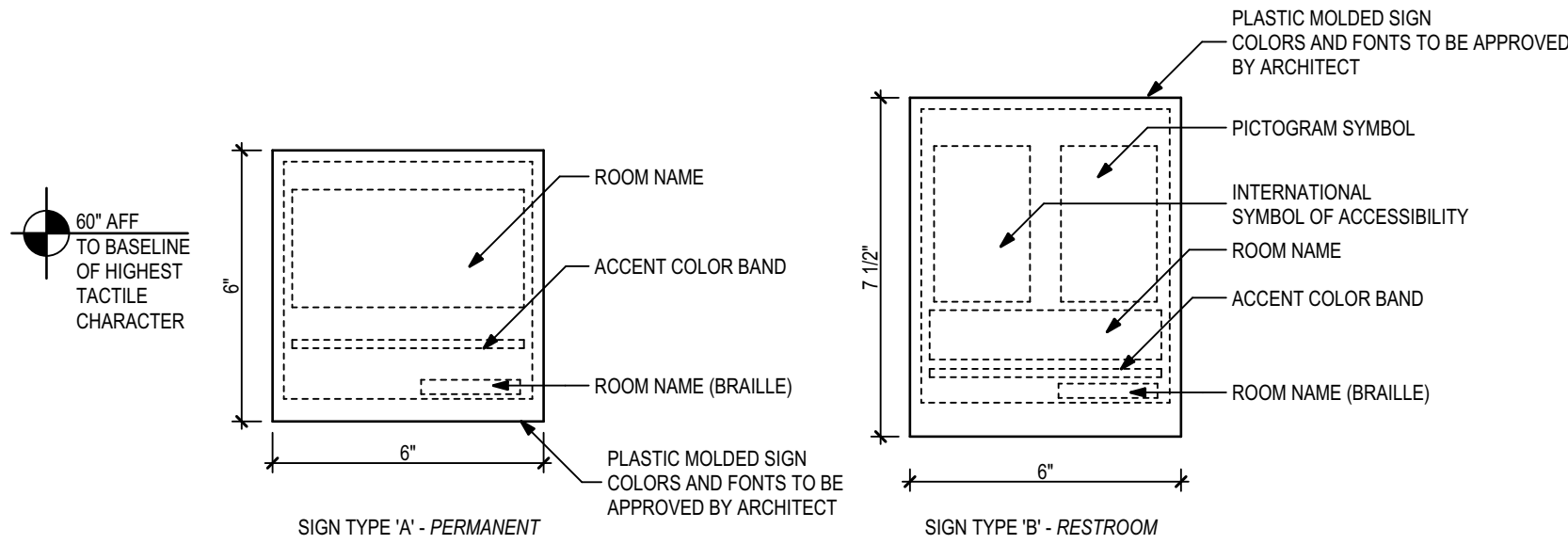


Door Schedule

DOOR NO.	ROOM NAME	LOCATION	ELEVATION	DOOR			FINISH	FRAME				SIGN TYPE	CARD READER	HARDWARE	NOTES
				SIZE	MATERIAL			DETAIL							
D0107A	Electrical	Interior	A	3'-0"	Existing	HM	PAINT	F1	6/A6.1	5/A6.1	1/A6.1	HM	PAINT	A	1
D0107B	Janitor's Closet	Interior		Existing			PAINT	Existing					PAINT	A	1
D0107C	Men's Restroom	Interior		Existing			PAINT	Existing		2/A6.1			PAINT	B	2
D0107D	Women's Restroom	Interior		Existing			PAINT	Existing		2/A6.1			PAINT	B	2
D0108	Mechanical Room	Interior	C	PR 3'-0"	7'-0"	WOOD	STAIN	F2	6/A6.1	5/A6.1	3/A6.1	HM	PAINT	A	3 3
D0109A	Storage	Interior	B	3'-0"	7'-0"	HM	PAINT	F1	6/A6.1	5/A6.1	3/A6.1	HM	PAINT	A	1
D0110	Storage	Interior		Existing			PAINT	Existing					PAINT	A	10
D0112A	Corridor	Interior	B	3'-0"	7'-0"	HM	PAINT	F1	6/A6.1	5/A6.1	1/A6.1	HM	PAINT	A	4
D0112B	Corridor	Exterior		Existing			PAINT	Existing					PAINT		5
D4000	UPS Store	Exterior	SF	3'-0"	7'-0"	ALUM	DARK BRONZE	F1	12/A2.1	7 & 9/A2.1	5/A2.1	ALUM	MATCH EXISTING	YES	6 1, 2
D4002A	Print Shop	Interior	B	PR 3'-0"	7'-0"	HM	PAINT	F2	6/A6.1	5/A6.1	1/A6.1	HM	PAINT	A	7 3
D4002B	Print Shop	Interior	A	3'-0"	7'-0"	HM	PAINT	F1	6/A6.1	5/A6.1	3/A6.1	HM	PAINT	A	8 3
D4003	Manager's Office	Interior	B	3'-0"	7'-0"	WOOD	STAIN	F1	6/A6.1	5/A6.1	3/A6.1	HM	PAINT	A	9
D5000A	Pick-Up Lobby	Exterior	SF	3'-0"	7'-0"	ALUM	DARK BRONZE	F1	12/A2.1	7 & 9/A2.1	5/A2.1	ALUM	MATCH EXISTING	YES	6 1, 2
D5000B	Pick-Up Lobby	Interior	D	7'-0"	8'-0"		#4 STAINLESS STEEL	6/A6.1	5/A6.1	7/A6.1	SEE SPECS	SEE SPECS	A		11
D5001	Mail Sorting	Exterior	SF	3'-0"	7'-0"	ALUM	DARK BRONZE	F1	12/A2.1	7 & 9/A2.1	5/A2.1	ALUM	MATCH EXISTING	YES	6 1, 2
D6000A	Future Tenant	Exterior		Existing			EXISTING	Existing					EXISTING		11
D6000B	Future Tenant	Exterior	SF	3'-0"	7'-0"	ALUM	DARK BRONZE	F1	12/A2.1	7 & 9/A2.1	5/A2.1	ALUM	MATCH EXISTING	YES	6 1, 2
D6000C	Future Tenant	Interior	A	PR 3'-0"	7'-0"	HM	PAINT	F1	6/A6.1	5/A6.1	3/A6.1	HM	PAINT	A	7 3
D6000D	Future Tenant	Interior	A	3'-0"	7'-0"	HM	PAINT	F1	6/A6.1	5/A6.1	3/A6.1	HM	PAINT	A	12 3

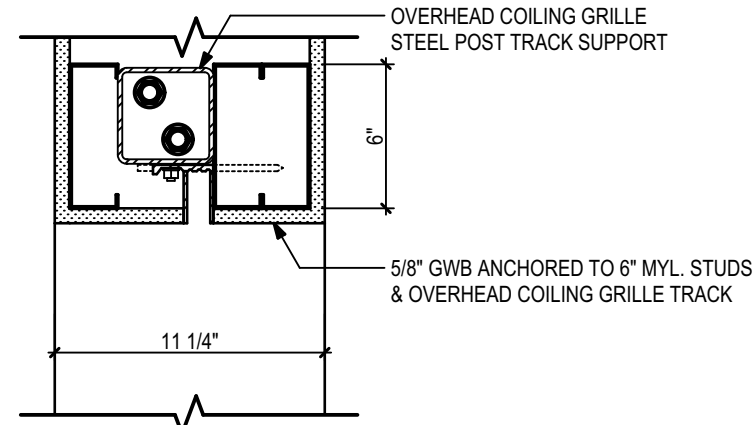
NOTE:
1. REFER TO SHEET A1.2 FOR STOREFRONT ELEVATION.
2. FIELD VERIFY EXISTING STOREFRONT GLAZING SYSTEM SIZE, MANUFACTURER, FINISH ETC. AND MATCH NEW FRAMES TO EXISTING AS CLOSE AS POSSIBLE.
3. SOUND ASSEMBLY

Signage Elevations



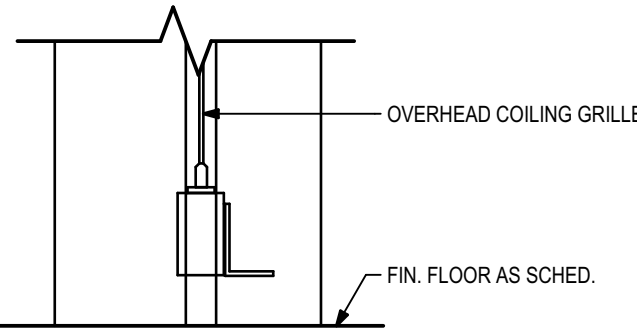
Roll-up Door Jamb Detail

1 1/2" = 1'-0"



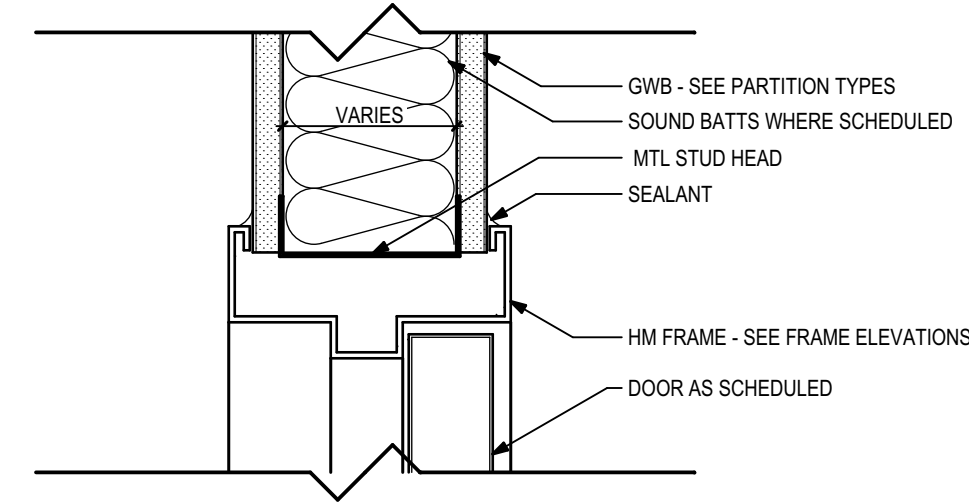
Roll-up Door Transition Detail

1 1/2" = 1'-0"



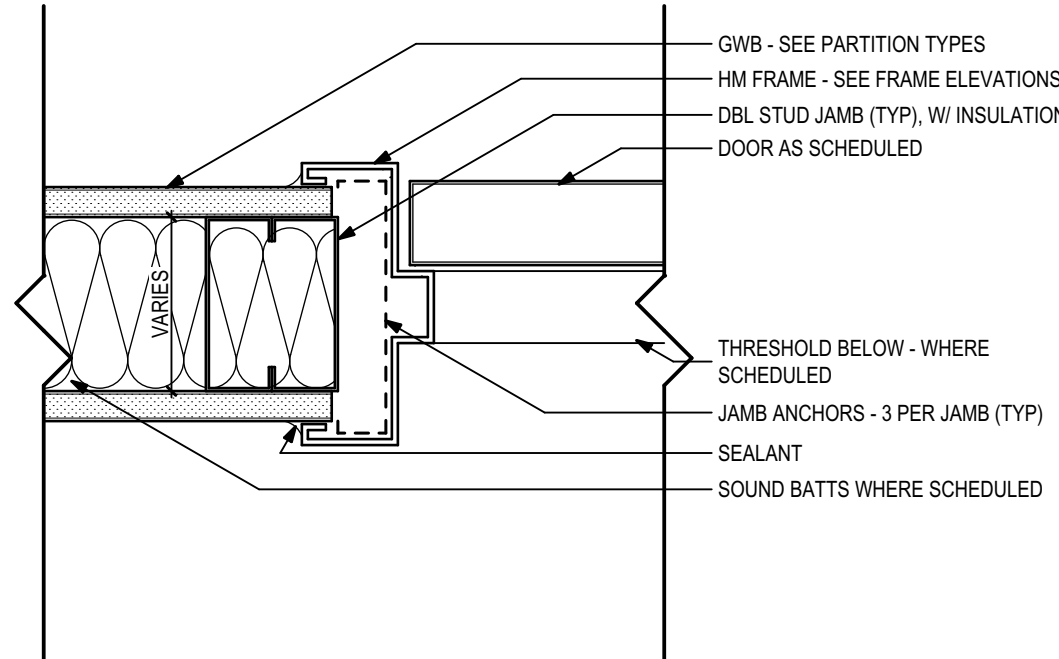
INTERIOR DOOR HEAD DETAIL

3" = 1'-0"



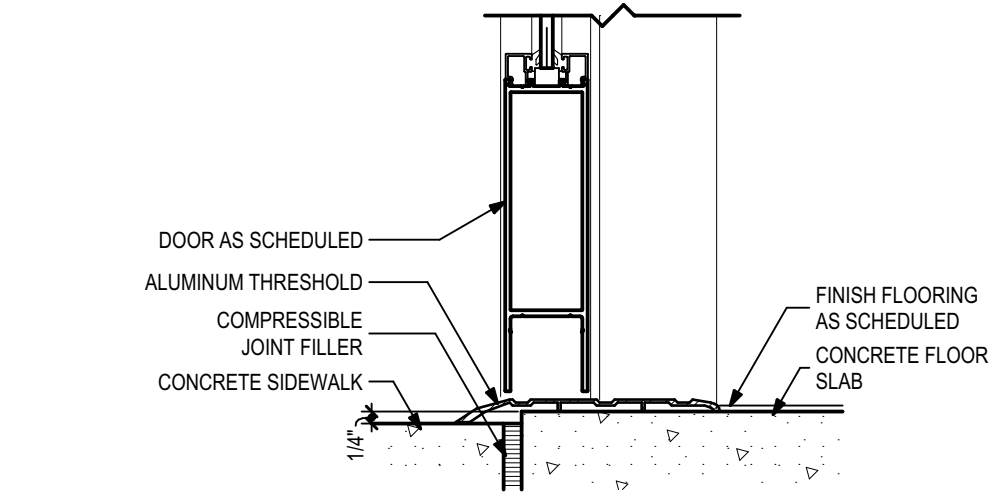
INTERIOR DOOR JAMB DETAIL

3" = 1'-0"



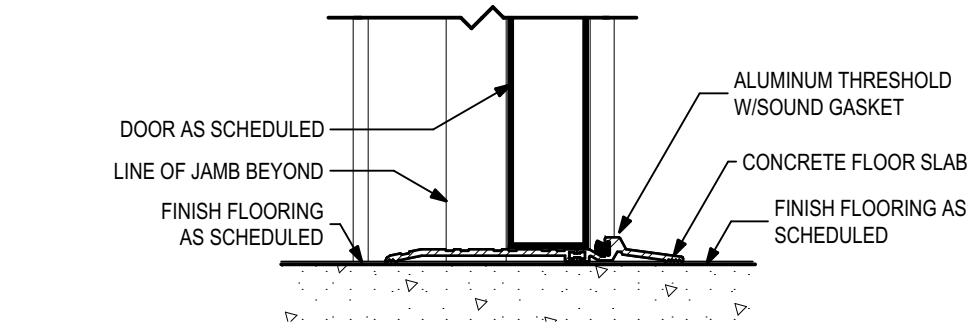
THRESHOLD AT EXTERIOR STOREFRONT

3" = 1'-0"



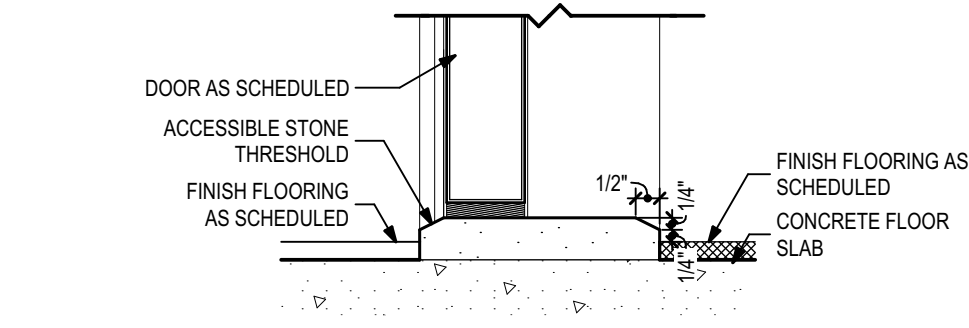
INTERIOR ALUMINUM THRESHOLD

3" = 1'-0"



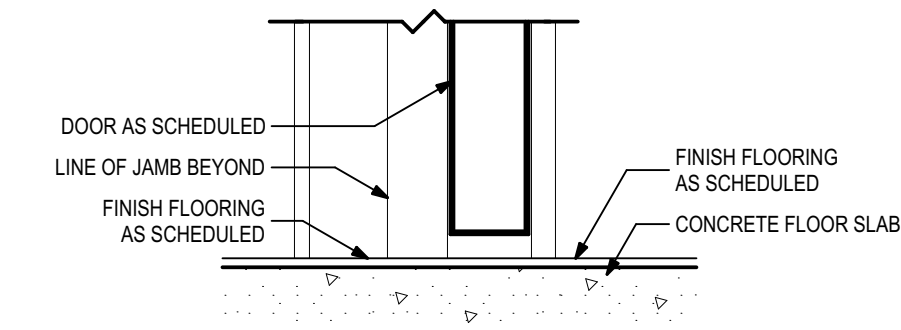
INTERIOR STONE THRESHOLD

3" = 1'-0"



INTERIOR THRESHOLD - NO TRANSITION

3" = 1'-0"



PHASE:	DRAWN:	REVIEWED:	DATE:	ID:	REVISION:	DATE:
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100% CONSTRUCTION DOCS	ABEE	R. LEWIS	05/15/2025			

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Client:
FLORIDA STATE UNIVERSITY
Tallahassee, Florida

Job Title:
Parking Garage 1 Remodeling

Consultant:
19370.42
100% CONSTRUCTION DOCUMENTS

Seal:

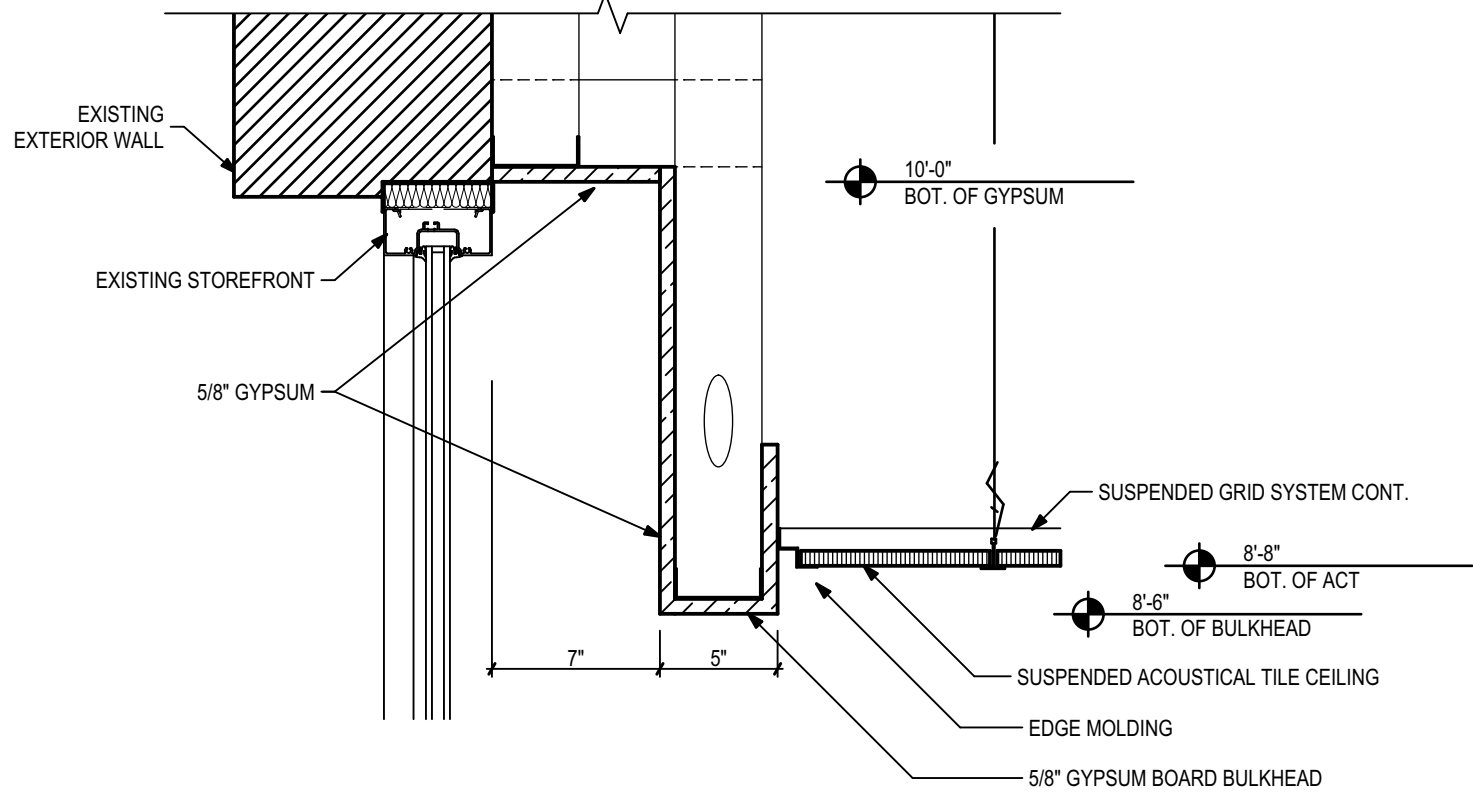
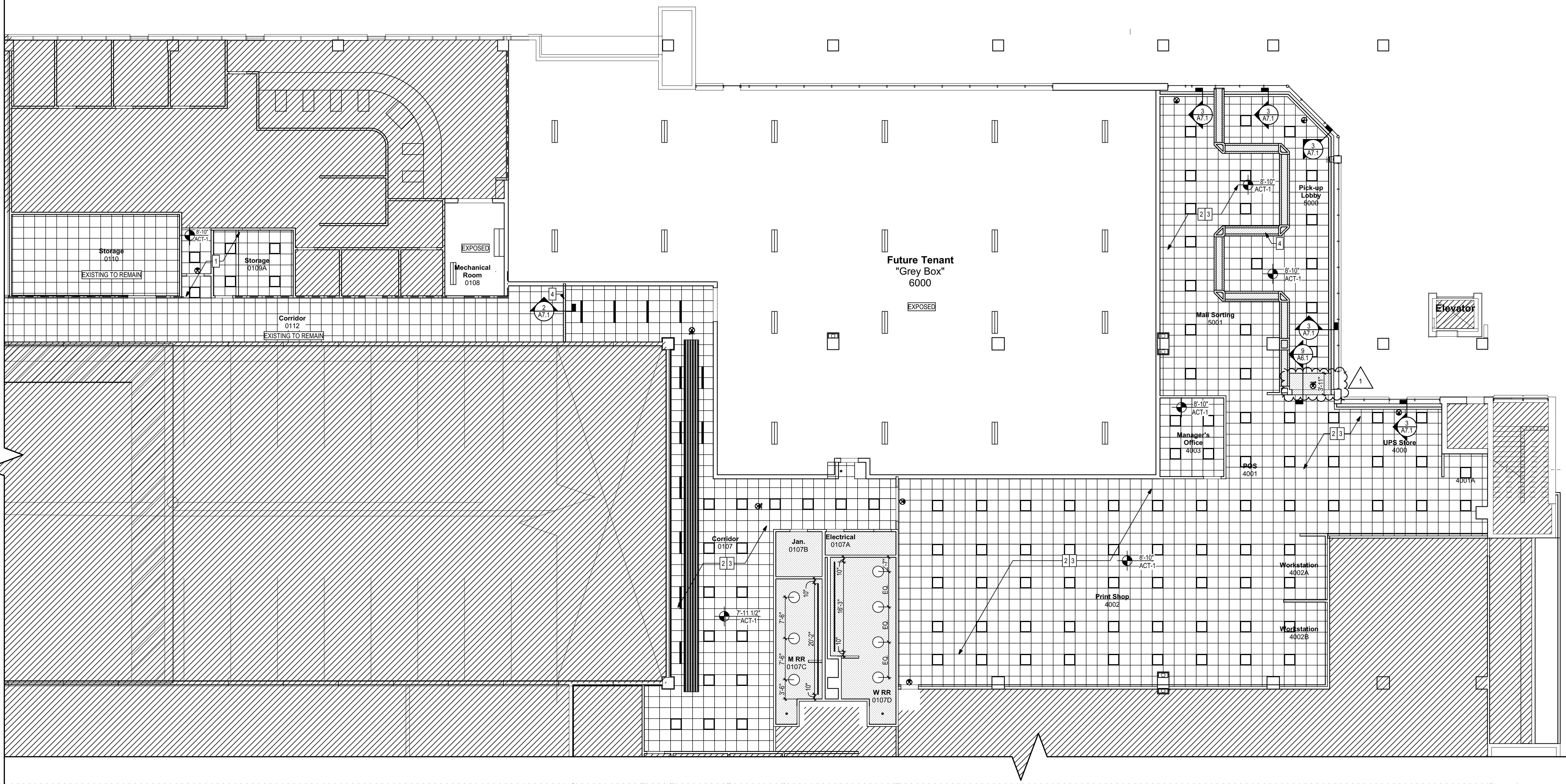
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Description:
Door Elevations,
Schedules, &
Details

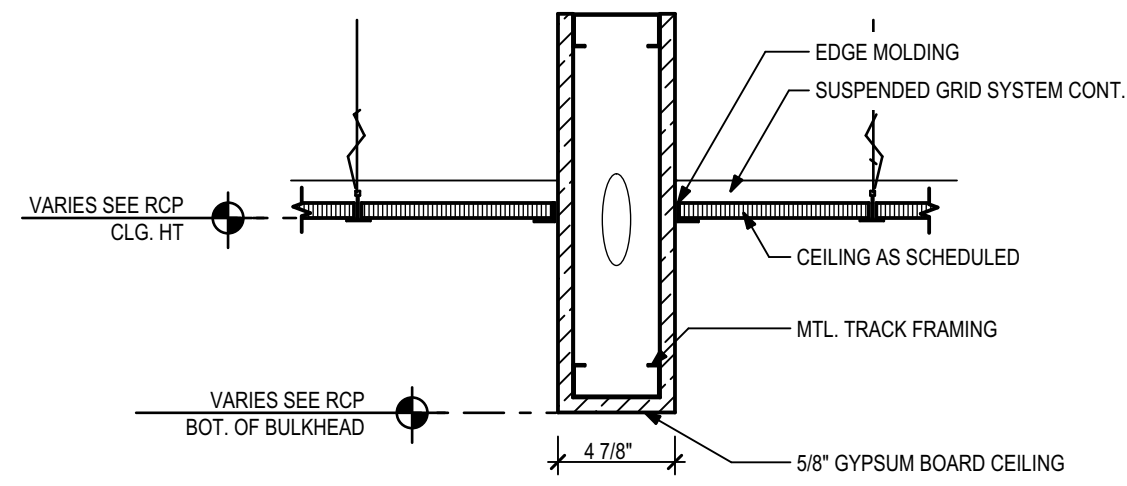
Sheet No.:

A6.1

1 1st Floor Reflected Ceiling Plan
3/32" = 1'-0"



3 Typical Curtain Pocket Detail
1 1/2" = 1'-0"



2 Typical Bulkhead Detail
1 1/2" = 1'-0"

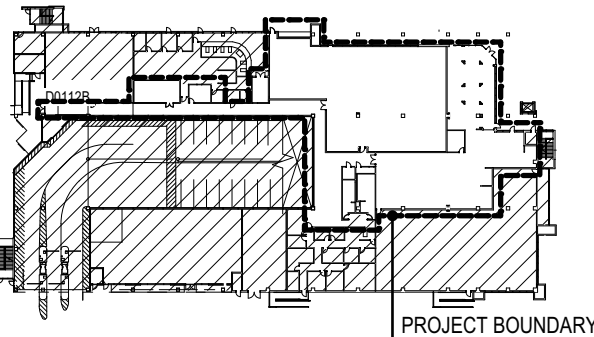
RCP Construction Notes

- [X] REPRESENTS NOTE ON PLANS
- 1 INSTALL NEW SUSPENDED CEILING SYSTEM TO MATCH EXISTING ADJACENT CEILING WHERE WALLS WERE REMOVED.
 - 2 INSTALL NEW SUSPENDED CEILING SYSTEM ACCORDING TO THE RCP.
 - 3 INSTALL ALL NEW CEILING COMPONENTS INCLUDING LIGHTING, HVAC GRILLES AND RETURNS, AND SPEAKERS. SEE RCP AND MEP PLANS.
 - 4 NEW GYPSUM SOFFIT/BULKHEAD. SEE CEILING DETAILS.

RCP Legend

- ACT CEILING SYSTEM
- DRYWALL CEILING SYSTEM
- OPEN TO STRUCTURE
- RETURN AIR DIFFUSER
- SUPPLY AIR DIFFUSER
- 2X2 LAY-IN LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- SURFACE-MOUNTED LIGHT FIXTURE
- SURFACE MOUNTED LINEAR LIGHT FIXTURE
- FIRE SPRINKLER HEAD
- FIRE ALARM STROBE
- EXIT SIGN
- SUSPENDED LIGHT FIXTURE

Key Plan



PHASE:	DRAWN:	REVIEWED:	DATE:	ID:	REVISION:	DATE:
SCHEMATIC DESIGN	KSABEE	CW	08/28/2024	1	ADDENDUM No. 1	08/08/2025
DESIGN DEVELOPMENT	KSABEE	CW	11/05/2024			
100% CONSTRUCTION DOCS	ABEE	R. LEWIS	05/15/2025			

Client: FLORIDA STATE UNIVERSITY
Tallahassee, Florida

Consultant: Seal: Project #: 19370.42
Phase: 100% CONSTRUCTION DOCUMENTS

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Description:
Reflected Ceiling
Plan

Sheet No.:

A7.1

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