

Abbreviations:

#	NUMBER
@	AT
&	AND
+	AND
AB	ANCHOR BOLT
A/C	AIR CONDITIONING / AIR CONDITIONER
ABV	ABOVE
ACI	AMERICAN CONCRETE INSTITUTE
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
ADDL	ADDITIONAL
ADJ	ADJACENT / ADJUST
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
AG	ABOVE GRADE
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
AOR	ARCHITECT OF RECORD
ARCH	ARCHITECT / ARCHITECTURAL
ASPH	ASPHALT
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS

BD	BOARD
BL	BUILDING LINE
BLDG	BUILDING
BM	BEAM
BO	BOTTOM OF
BOF	BOTTOM OF FOOTING
BOW	BOTTOM OF WALL
BSMT	BASEMENT
BTM	BOTTOM
BRG	BEARING
BYND	BEYOND

C/C	CENTER TO CENTER
CL	CENTERLINE
CAB	CABINET / CABINETS
CB	CATCH BASIN
CEM	CEMENT
CF	CUBIC FEET
CFM	CUBIC FEET PER MINUTE
CH	CHANNEL
CIP	CAST-IN-PLACE
CIR	CIRCLE, CIRCULAR
CJ	CONTROL JOINT
CLG	CEILING
CL	CLOSET
CLR	CLEARANCE / CLEAR
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
CO	CLEAN OUT / CASED OPENING
COL	COLUMN
COMP	COMPRESSOR / COMPOSITE
COMPR	COMPRESSIBLE
CONC	CONCRETE
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRUGATED
CPT	CARPET
CS	COUNTERSINK / COUNTERSUNK
CT	CERAMIC TILE
CTR	CENTER
CTYD	COURTYARD
CUYD	CUBIC YARDS
CW	COLD WATER

d	PENNY
dB	DECIBEL
DBL	DOUBLE
DEG	DEGREES
DEMO	DEMOLISH / DEMOLITION
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DL	DEAD LOAD
DN	DOWN
DS	DOWNSPOUT
DTL	DETAIL
DWG	DRAWING
DWGS	DRAWINGS

EA	EACH
EF	EXHAUST FAN
EJ	EXPANSION JOINT
ELEC	ELECTRIC / ELECTRICAL
ELEV	ELEVATOR / ELEVATION
ENCL	ENCLOSURE
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EW	ELECTRICAL WATER COOLER
EX	EXISTING / EXHAUST
EXH	EXHAUST
EXIST	EXISTING
EXT	EXTERIOR

FA	FIRE ALARM
FAP	FIRE ALARM PANEL
FAS	FIRE ALARM STROBE / HORN
FD	FLOOR DRAIN / FIRE DEPARTMENT
FE	FIRE EXTINGUISHER
FEB	FIRE EXTINGUISHER WITH BRACKET
FEC	FIRE EXTINGUISHER IN CABINET
FF	FINISH FLOOR
FHC	FIRE HOSE CABINET
FIN	FINISH
FIXT	FIXTURE
FLG	FLASHING
FL	FLOOR
FLR	FLOOR
FLUOR	FLUORESCENT
FND	FOUNDATION
FO	FACE OF
FOS	FACE OF STUD
FRP	FIBERGLASS REINFORCED PANEL
FT	FOOT / FEET
FTG	FOOTING
FV	FIELD VERIFY

H/C	HANDICAPPED ACCESSIBLE
HB	HOSE BIBB
HC	HOLLOW CORE
HDR	HEADER
HDRL	HANDRAIL
HM	HOLLOW METAL
HORZ	HORIZONTAL
HR	HOUR
HGT	HEIGHT
HT	HEIGHT
HTR	HEATER
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING
HW	HOT WATER / HARDWARE
ICF	INSULATED CONCRETE FORM
ID	INSIDE DIAMETER
IN	INCHES
INCL	INCLUDES / INCLUDING
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
IR	IMPACT RESISTANT
IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD

JAN	JANITOR
JB	JAMB
JBOX	JUNCTION BOX
JCT	JUNCTION
JST	JOIST
JT	JOINT
K	KIPS
KD	KILN DRIED
KDAT	KILN DRIED AFTER TREATMENT

L	STEEL ANGLE, LENGTH
LAM	LAMINATED
LAV	LAVATORY
LBS	POUNDS
LF	LINEAR FEET
LH	LEFT HAND
LINO	LINOLEUM
LL	LIVE LOAD
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LT	LIGHT
LTG	LIGHTING
LTL	LINTEL
LXGH	LIGHT HEIGHT
LWT	LOUVER

M	METER
MAR	MARBLE
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MC	MEDICINE CABINET
MECH	MECHANICAL
MD	MEDIUM
MEMBR	MEMBRANE
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MARK	MARK
MO	MASONRY OPENING
MOD	MODULAR
MRGWB	MOISTURE RESISTANT GYPSUM WALLBOARD
MTD	MOUNTED
MTL	METAL
MULL	MULLION

N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NS	NON SHRINK
NTS	NOT TO SCALE
O/	OVER
OA	OVERALL
OC	ON CENTER
OCOS	OCCUPANTS
OD	OUTSIDE DIAMETER / OVERFLOW DRAIN
OH	OVERHEAD / OPPOSITE HAND
OHD	OVERHEAD DOOR
OPP	OPPOSITE
OPPH	OPPOSITE HAND
OPNG	OPENING
OZ	OUNCE
PART	PARTITION
PCC	PRE-CAST CONCRETE
PCF	POUNDS PER CUBIC FOOT
PERF	PERFORATED
PKG	PARKING
PL	PLATE / PLASTER / PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLUMB	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
PR	PAIR
PREFAB	PREFABRICATED
PREP	PREPARE / PREPARATION
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURED TREATED / PAINT / POINT
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
PWR	POWER

QC	QUALITY CONTROL
QT	QUARRY TILE
QTY	QUANTITY

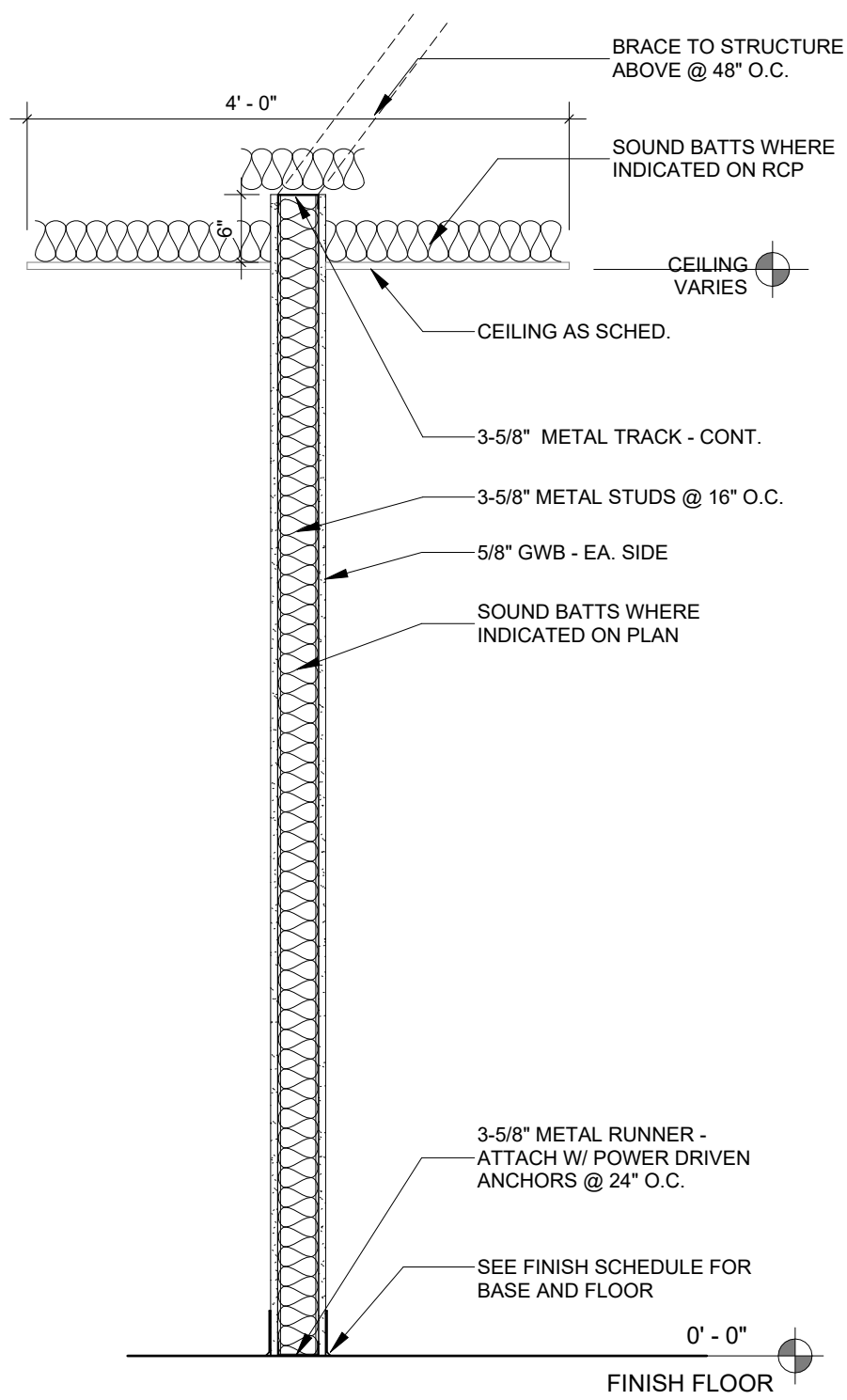
RA	RETURN AIR
RAD	RADIUS
RBR	RUBBER
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REINF	REINFORCED / REINFORCEMENT
RET	RETURN
REQD	REQUIRED
REV	REVISION
RH	RIGHT HAND
RM	ROOM
RMV	REMOVE
RO	ROUGH OPENING
ROW	RIGHT OF WAY

SA	SUPPLY AIR
SAN	SANITARY
SC	SOLID CORE
SCHED	SCHEDULE / SCHEDULED
SD	SMOKE DETECTOR
SECT	SECTION
SEW	SEWER
SF	SQUARE FEET
SGL	SIGNAL / SINGLE
SHT	SHEET
SIM	SIMILAR
SJ	SAWED JOINT
SPECS	SPECIFICATIONS
SPKLR	SPRINKLER
SQ	SQUARE
SS	SANITARY SEWER
SST	STAINLESS STEEL
STC	SOUND TRANSMISSION COEFFICIENT
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURE / STRUCTURAL
SUSP	SUSPENDED
SW	STORMWATER
SYD	SQUARE YARD
SYS	SYSTEM

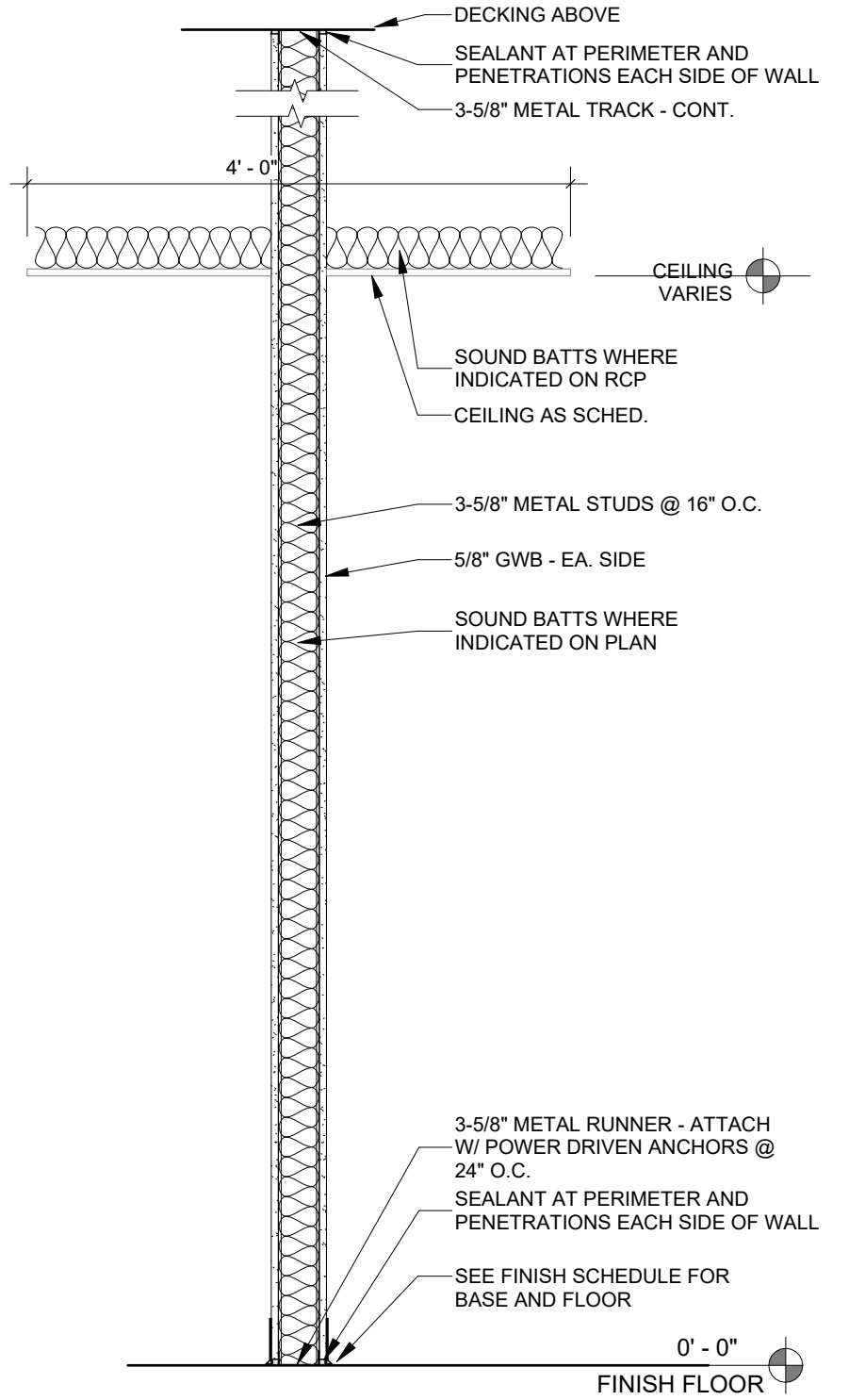
T&G	TONGUE AND GROOVE
T/D	TELEPHONE / DATA
TBD	TO BE DETERMINED
TEL	TELEPHONE
TEMP	TEMPORARY / TEMPERATURE
THK	THICK
THR	THRESHOLD / THREADED
TJ	TOOLED JOINT
TME	TO MATCH EXISTING
TO	TOP OF
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOS	TOP OF STEEL
TOW	TOP OF WALL
TS	STRUCTURAL TUBE STEEL
TV	TELEVISION
TYP	TYPICAL

U/S	UNDERSIDE
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UON	UNLESS OTHERWISE NOTED
UR	URINAL
VB	VAPOR BARRIER
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VFY	VERIFY
VOL	VOLUME
VP	VISION PANEL
VT	VINYL TILE
VTR	VENT THROUGH ROOF

W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WCT	WAINSCOT
WD	WOOD
WP	WATERPROOF, WATERPROOFING
WT	WATER TABLE
WWF	WELDED WIRE FABRIC

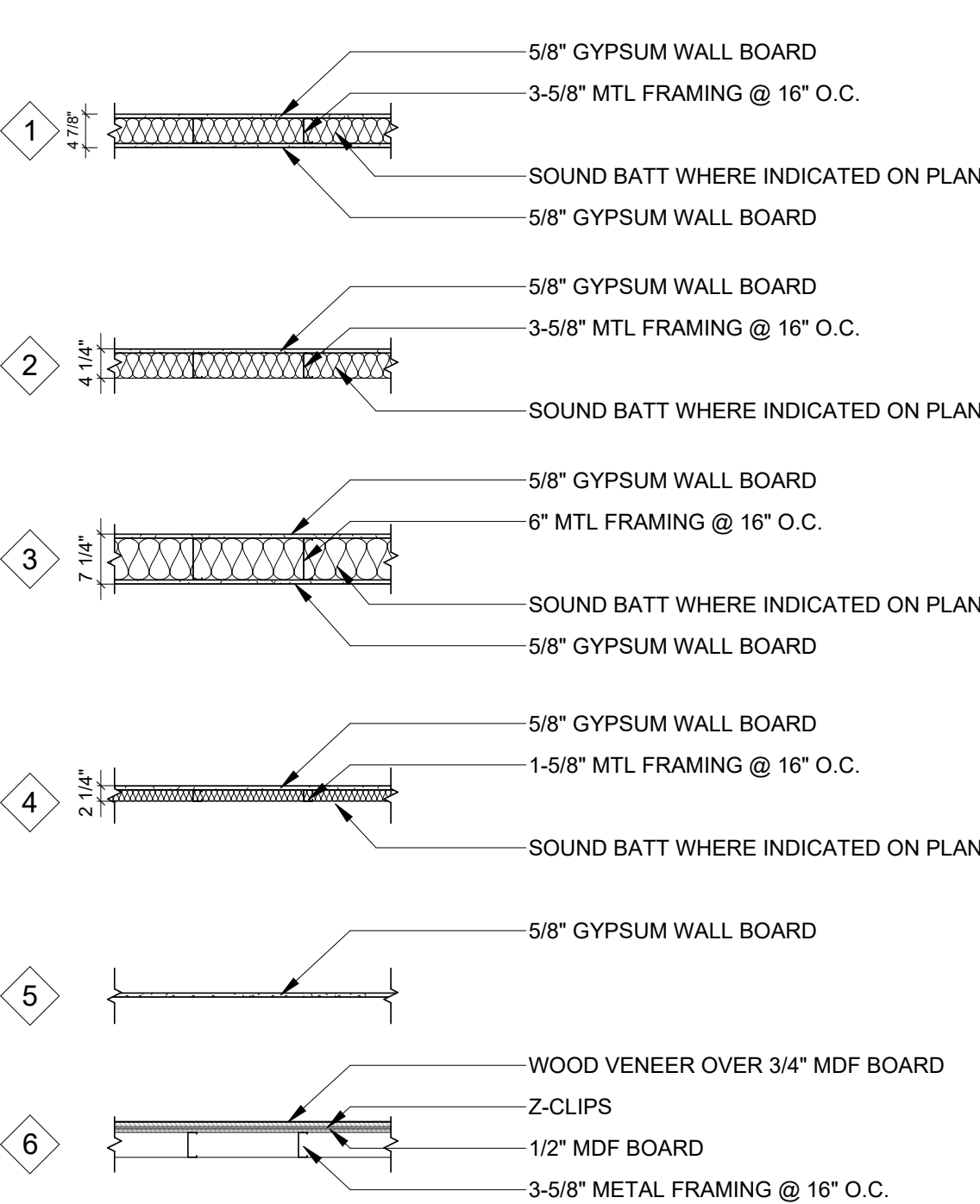


Typical Wall Section 6" Above Ceiling



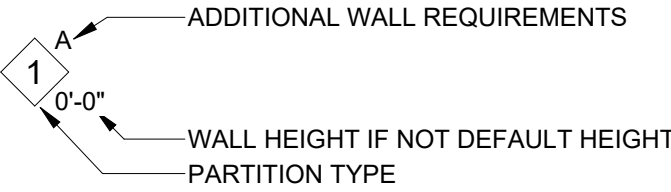
Typical Wall Section to Structure Above

Partition Types:



Partition Notes:

1. DEFAULT INTERIOR PARTITION HEIGHT: EXTEND 6" ABOVE CEILING GRID/STRUCTURE.
2. PROVIDE METAL BRACING @ 4'-0" O.C. MAX ATTACHED TO STRUCTURE ABOVE.



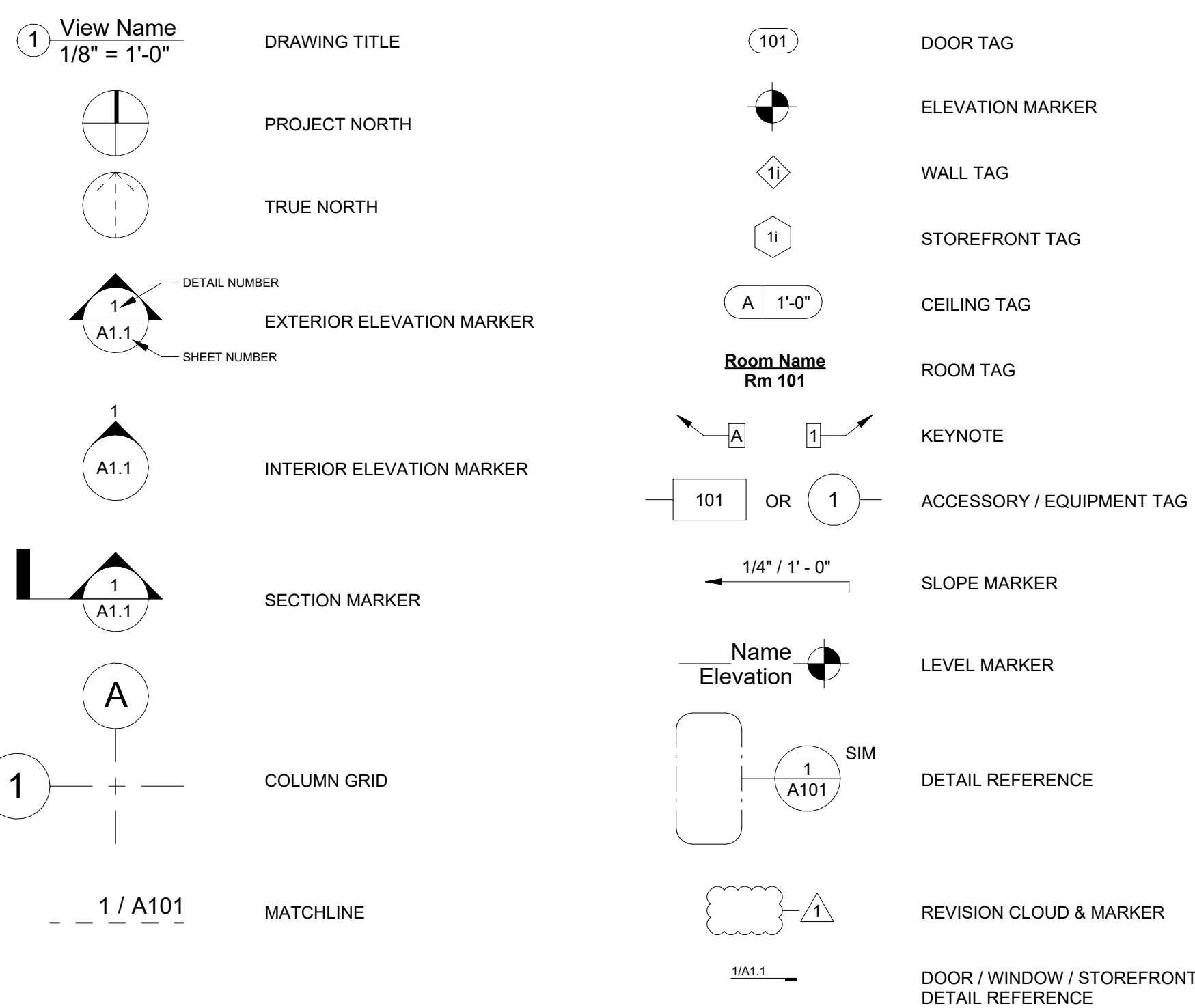
Additional Requirements:

- A. MOISTURE RESISTANT GYPSUM BOARD ON ONE SIDE
- B. MOISTURE RESISTANT GYPSUM BOARD ON TWO SIDES
- C. INFILL DEMOLISHED DOOR OR WALL OPENING
- D. EXTEND TO BOTTOM OF ROOF DECK

Partition Types General Notes:

1. INTERIOR METAL FRAMED PARTITIONS SHALL HAVE 2 CONTINUOUS BEADS OF ACOUSTIC SOUND SEALANT PLACED BELOW THE BASE PLATE – TYPICAL AT ALL LOCATIONS UNLESS OTHERWISE NOTED.
2. TILE BACKER BOARD SHALL BE USED AT WALL LOCATIONS TO RECEIVE TILE FINISH.
3. WALLS WITH TILE FINISH TRANSITION TO PAINTED GWB – SEE INTERIOR ELEVATIONS FOR TRANSITION HEIGHT.

Legend of Architectural Symbols:



SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD/ML

DRAWN: MP

CHECKED: BD/ML

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Abbreviations, Symbols, & PartitionTypes

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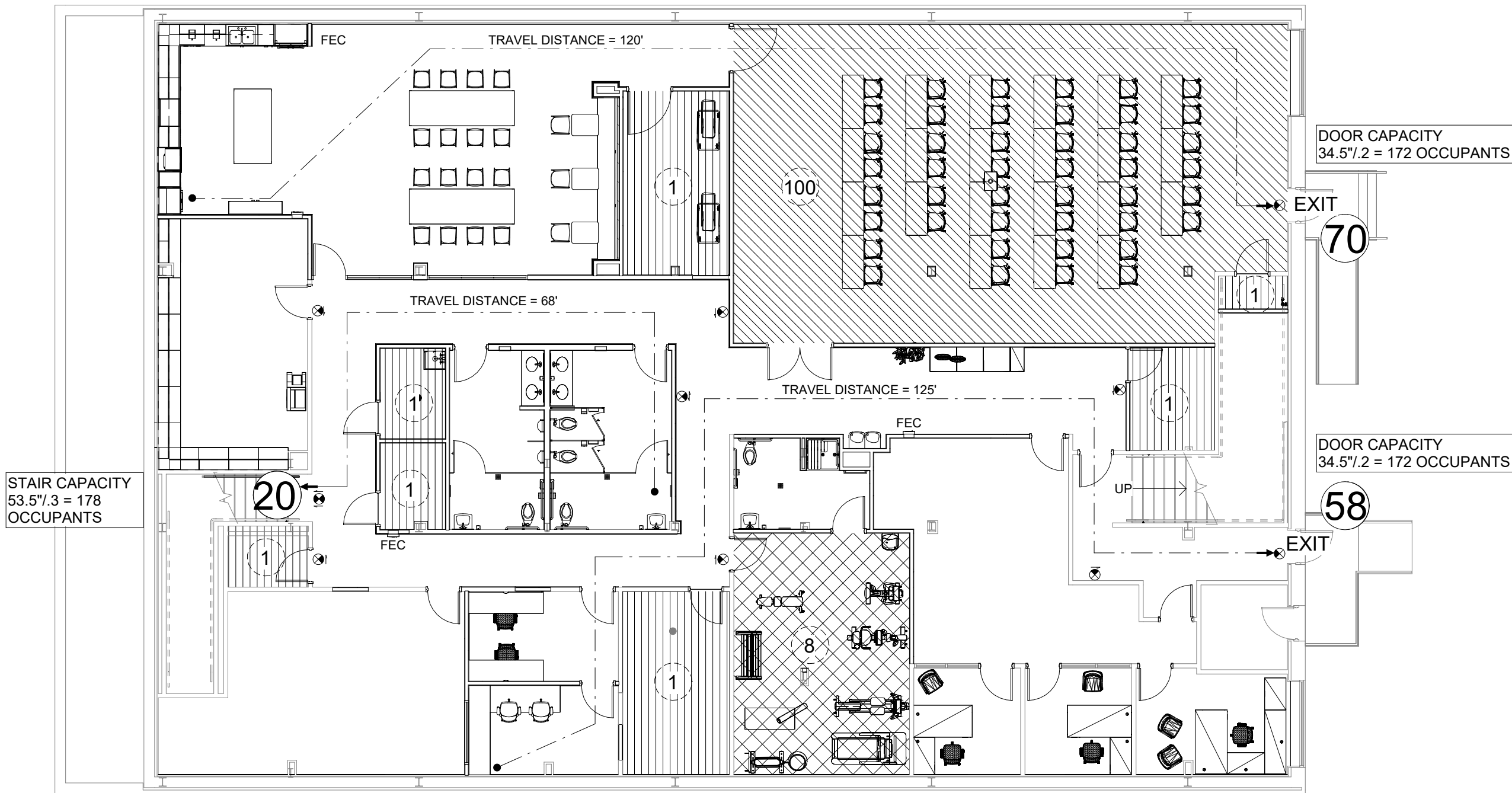
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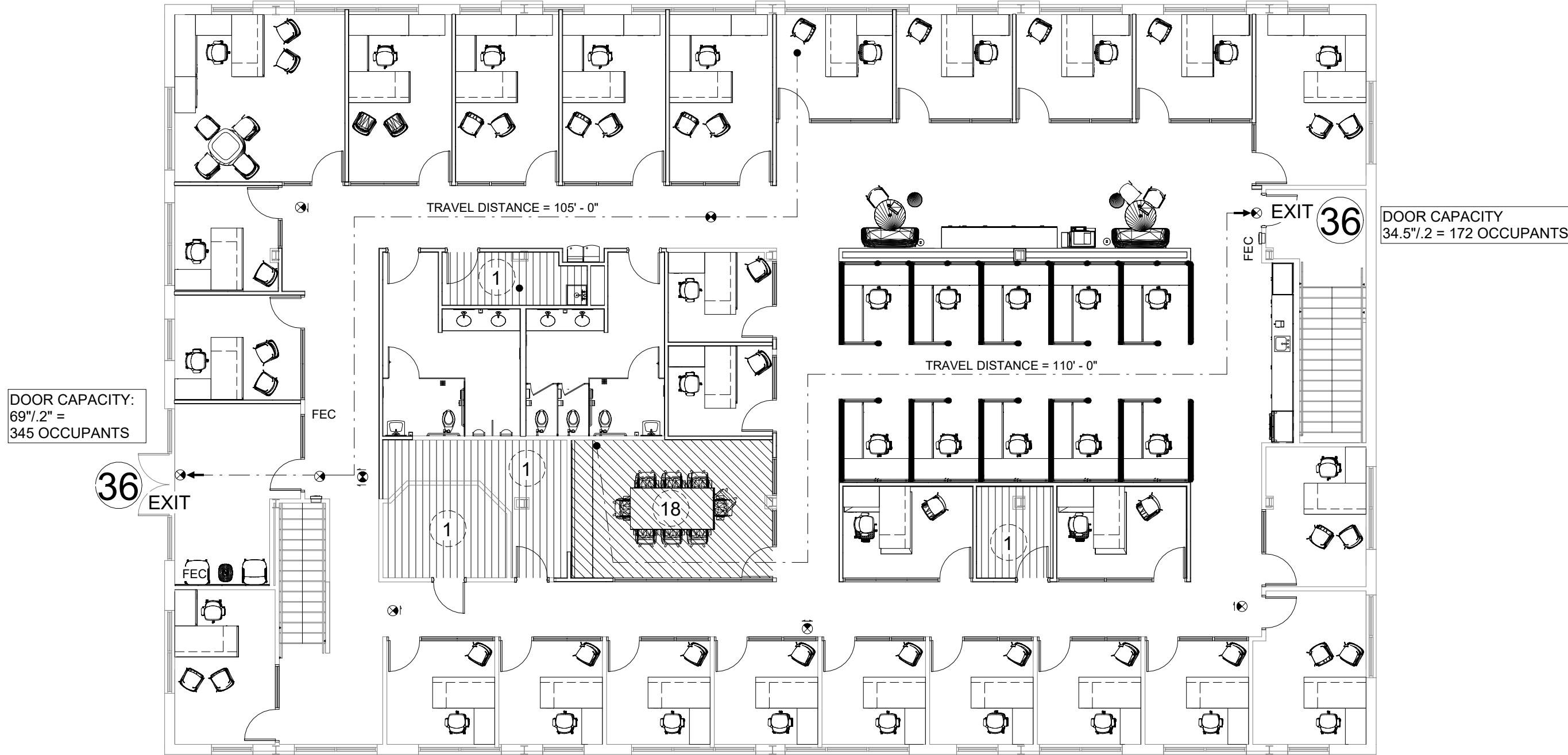
August 18, 2025

Code Summary

		Allowed/ Required	Provided	Comments
General Project Information				
Project Name:	Office Renovation for FAIA			
Project Location:	1117 Thomasville Road			
City:	Tallahassee			
County:	Leon			
State:	Florida			
Alteration Level				
Level 3 Alteration (FBC-E 604.1)				Work area exceeds 50% of the building area
Use and Occupancy Classification				
Mixed (Non-Separated) Per FBC-B 506.3 and				
Mixed (Non-Separated) Per FFPC 6.1.14.3				
Occupancy Group Classification				
Business Group B	Business Group B			
FBC-B (504.1)	Business			
FFPC (6.1.11)	Business			
Hazard Classification (FFPC: 38.1.5 & 6.2.2.3)	Ordinary Hazard			
Assembly Group A-3				
FBC-B (303.4)	Assembly Group A-3			
FFPC (6.1.2.1)	Assembly			
Hazard Classification (FFPC: 12.1.5 & 6.2.2.3)	Ordinary Hazard			
Building Area				
1st Level	8,121			No change to building square footage.
Basement	7,359			
Total	15,480			
Project Work Area	8,258			Reconfigured work area
Project Area	15,612			Renovated area including finish replacements
Occupant Loads (FBC-B: 1004.5, FFPC: Table 7.3.1.2)				
1st Level				
Business Areas	7,493/150 gsf = 50			
Assembly Area	2			
Conference (131)	257/15 nsf = 18			
Storage and Equipment Areas				
Mechanical (124)	101/300 gsf = 1			
Electrical (125)	126/300 gsf = 1			
Janitor (128)	66/300 gsf = 1			
Storage (133)	64/300 gsf = 1			
Total 1st Level	72			
Basement Level				
Business Areas	4,899/150 gsf = 33			
Assembly Area	3			
Multi-Purpose (004)	1,499/15 nsf = 100			
Storage and Equipment Areas				
Furniture Storage (003)	170/300 gsf = 1			
Riser Room (004A)	20/300 gsf = 1			
Storage (005)	76/300 gsf = 1			
Storage (017)	36/300 gsf = 1			
Storage (018)	48/300 gsf = 1			
Janitor (019)	52/300 gsf = 1			
Mech (113)	171/300 gsf = 1			
Exercise				
Gym (011)	371/50 gsf = 8			
Total Basement Level	148			
Building Total	220			
Building will be provided with a Fire Alarm System	no	yes	FFPC: 12.3.4.1, 38.3.4.1	
Construction Type (FBC-B 601)				
Type V B, Sprinklered				
Allowable Building Heights and Area				
Business (B) (Type V B, Sprinklered)				
Allowable Building Height (Table 504.3)	60'	<60'		
Allowable Number of Stories (Table 504.4)	3	2		
Allowable Area Factor (Table 506.2)	36,000 sf	8,178 1st level area		
Assembly (A-3) (Type V B, Sprinklered)				
Allowable Building Height (Table 504.3)	60'	<60'		
Allowable Number of Stories (Table 504.4)	2	2		
Allowable Area Factor (Table 506.2)	24,000 sf	8,178 1st level area		
Fire Resistance Rating for Building Elements (Type II B, unprotected)				
Table 601 (FBC-B)				
Structural Frame	0hr	0hr		
Bearing Walls Exterior	0hr	0hr		
Nonbearing Walls Exterior (see table 705.5) ("x" distance >= 10')	0hr	0hr		
Nonbearing Interior Walls and Partitions	0hr	0hr		
Floor Construction	0hr	0hr		
Roof Construction	0hr	0hr		
Minimum Fire Resistance				
Stair	FBC-B: 7012.1.9	N/A	N/A	
Shaft		N/A	N/A	
Fire Walls		N/A	N/A	
Tenant Separations		N/A	N/A	
Occupancy Separations		N/A	N/A	
Horizontal Exit		N/A	N/A	
Corridors	FBC-B: 708.1 & 1020.2	0hr	0hr	Building is sprinklered
Classification of Finishes (FBC-B: Table 803.11, FFPC: 38.3.3, FFPC: 12.3.3)				
Business Areas:				
Interior exit stairways, int. exit ramps and exit passageways	B	A, B		
Corridors and enclosure for exit access stairways and exit access ramps	B	A, B		
Rooms and enclosed spaces	C	A, B, C		
Exit enclosure and exit access corridors - floor finish (FBC-B: 804)	Class I or II	Class I or II		
Assembly Areas:				
Enclosed stairways	A	A		
Lobbies	B	A, B		
Corridors	B	A, B		
General Assembly Areas less than 300 occupants	C	A, B, C		
Exit enclosure and exit access corridors - floor finish (FBC-B: 804)	Class II	Class II		
Common Path of Egress Travel (FBC-B Table 1006.2.1, FFPC: 38.2.5.3)				
Business Areas	100'	<75'		
Assembly Areas	75'	<75'		
Exit Travel Distance (FBC-B: Table 1017.2, FFPC: 12.2.6.2, FFPC: 38.2.6.3)				
Business Maximum Travel Distance	300'	<300'		
Assembly Maximum Travel Distance	250'	<250'		
Minimum Corridor Width (FBC-B: Table 1020.3, FFPC: 12.2.3.8, FFPC: 38.2.3.2)				
Minimum corridor width	44"	53"		
Dead End Corridor (FBC-B: 1020.5, FFPC: 12.2.5.1.3, FFPC: 38.2.5.2)				
Business Occupancy:				
Maximum Dead End Corridor	50'	N/A		
Assembly Occupancy:				
Maximum Dead End Corridor	20'	N/A		
Minimum Number of Exits (FBC-B: 1006, FFPC: 7.4, 12.2.4 & 38.2.4)				
Minimum Number of Exits Required	2	3		
Minimum Number of Required Plumbing Fixtures (FBC-P Table 403.1)				
Total occupancy load	215			
Male occupants	107			
Female occupants	108			
Water Closets (1 per 25 for the first 50, 1 per 50 above 50)				
Male	4	6		
Female	4	6		
Unisex	0	3		
Lavatories (1 per 40 for the first 80, 1 per 80 above 80)				
Male	3	6		
Female	3	6		
Unisex	0	3		
Drinking Fountains (1 per 100)	3	5	Provide (2) Hi-Lo and (1) Lo	
Service Sink	1	2		



2 Basement - Life Safety
3/32" = 1'-0"



1 First Level - Life Safety
3/32" = 1'-0"

Life Safety Plan General Notes:

1. SEE ELECTRICAL DRAWINGS FOR INFORMATION ON EMERGENCY
EGRESS LIGHTING LOCATIONS AND/OR FIRE ALARM INFOMRATION.

Life Safety Legend:

- ASSEMBLY AREAS
- STORAGE / MECH / ELEC AREAS
- EXERCISE
- EXISTING WALLS
- EXISTING ELEMENTS
- NEW WALLS
- NEW ELEMENTS
- TRAVEL DISTANCE
- NUMBER OF OCCUPANTS AT EXIT
- NUMBER OF OCCUPANTS PER SPACE
- FIRE EXTINGUISHER CABINET
- EXIT SIGN



SEAL:

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FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD/ML

DRAWN: JH/MP

CHECKED: BD/ML

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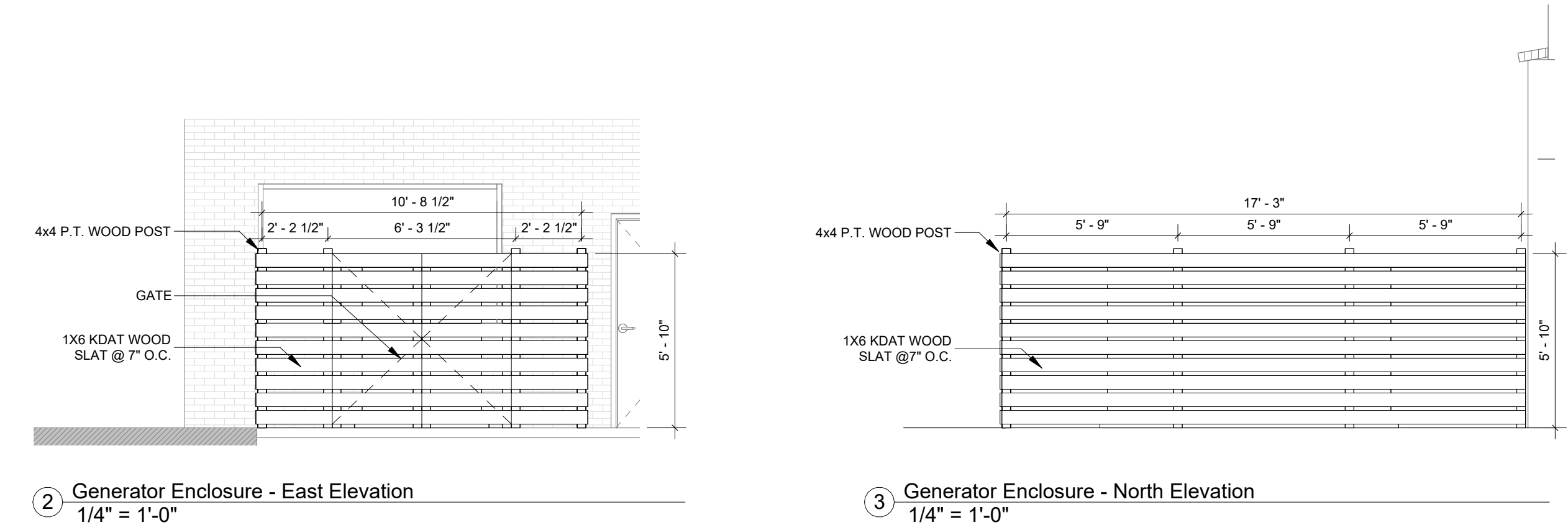
Life Safety Plans &
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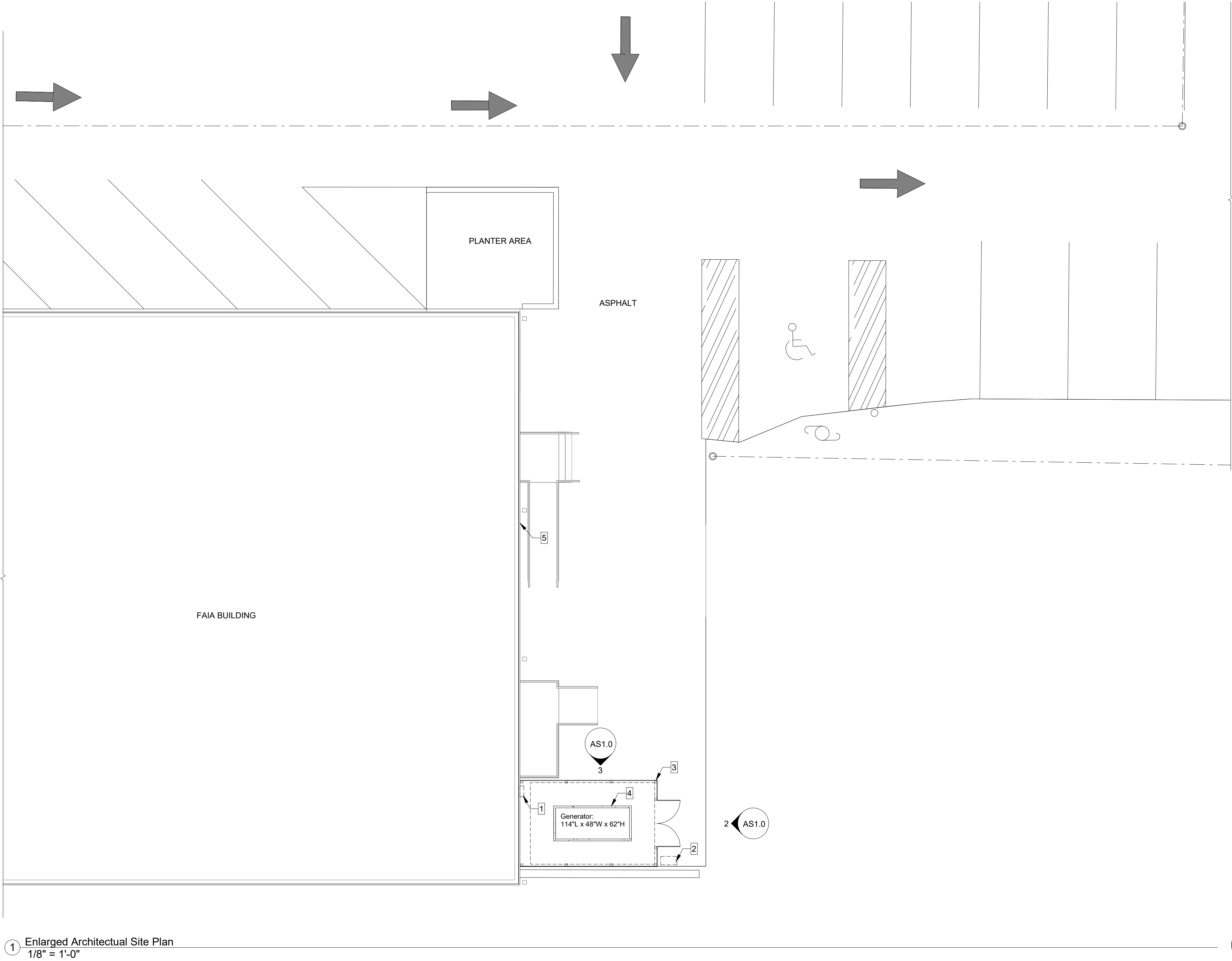
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- Site Plan Keynotes:**
- 1 APPROX. LOCATION OF WALL MOUNTED DOCKING STATION
 - 2 APPROX. LOCATION OF GAS METER
 - 3 FENCED ENCLOSURE TO BE A MINIMUM OF 3' CLEARANCE ON ALL SIDES OF GENERATOR. COORDINATE WITH ELECTRICAL DWGS.
 - 4 EQUIPMENT CONCRETE PAD PER ELECTRICAL SPECIFICATIONS
 - 5 APPROX. LOCATION OF NEW HOSE BIB. COORDINATE W/ PLUMBING DWGS.

- Site Plan General Notes:**
- 1. STAIN WOOD ENCLOSURE. COLOR TBD
 - 2. REPAIR/PATCH ASPHALT PARKING LOT AS NEEDED FOR NEW FIRE MAIN, GAS LINE, AND FIRE ALARM CONDUIT, THAT WILL BE ROUTED FROM THE EAST SIDE OF THE PARKING LOT AT GADSDEN STREET TO THE BUILDING.



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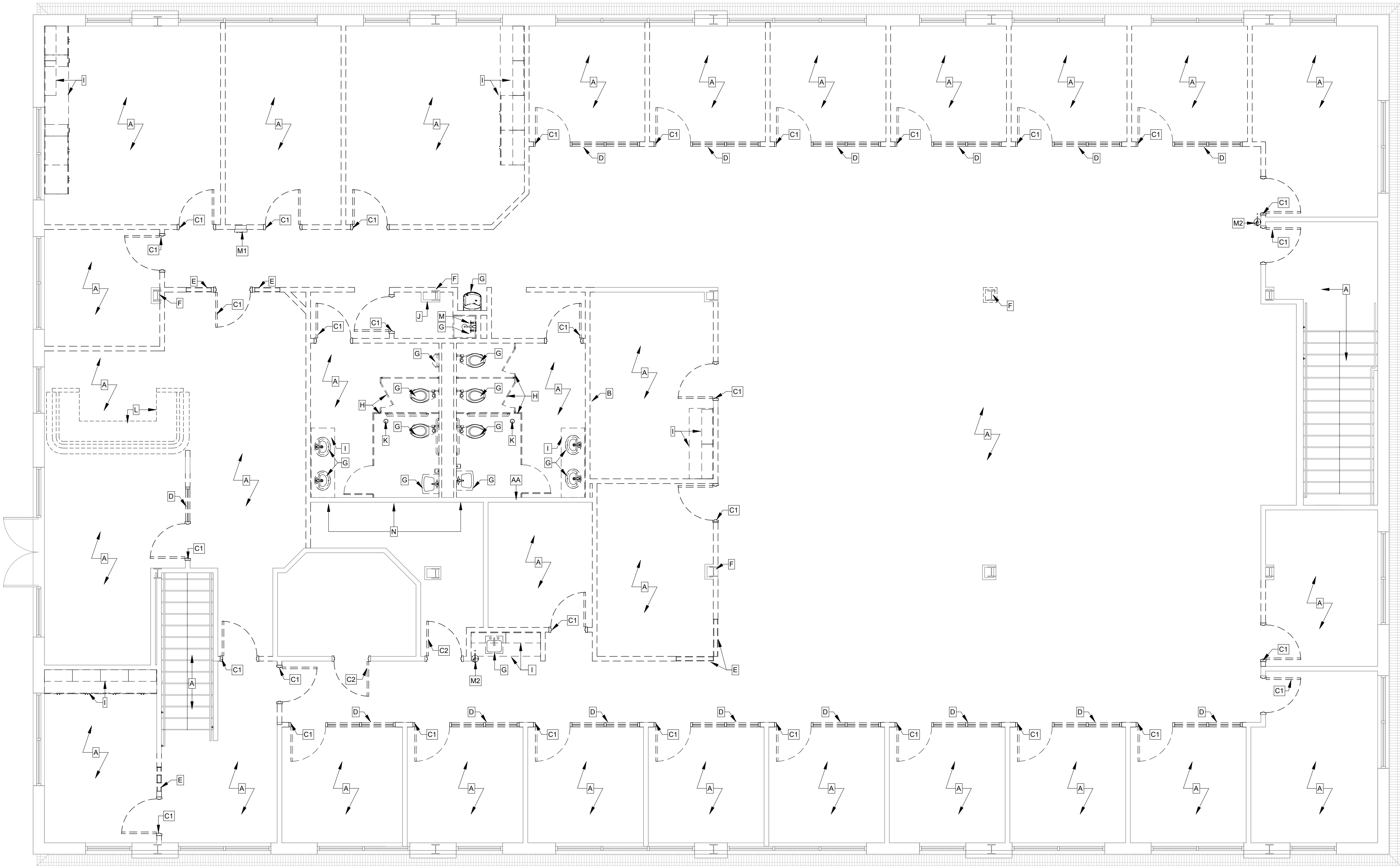
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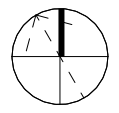
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August 18, 2025



1 First Level Demolition Plan
3/16" = 1'-0"



General Demolition Notes:

1. ALL DASHED WALLS ARE TO BE REMOVED AS INDICATED PER LEGEND. DOORS WITHIN WALLS TO BE REMOVED SHALL BE REMOVED INCLUDING ALL ASSOCIATED TRIMS AND HARDWARE UNLESS SPECIFICALLY INDICATED TO BE SALVAGED.
2. "SAFE-OFF" M.P.E. SYSTEMS BY QUALIFIED MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTOR, AS REQUIRED.
3. ALL DAMAGE TO FINISH SURFACES AND ALL THROUGH-SLAB OR WALL PENETRATIONS THAT REMAIN FOLLOWING THE DEMOLITION OF EXISTING WALLS SHALL BE NOTED BY CONTRACTOR FOR REPAIR AND SEALING DURING RENOVATION.
4. REMOVE MISCELLANEOUS WALL-MOUNTED ITEMS WITHIN THE WORK AREA, INCLUDING TACK BOARDS, WHITE BOARDS, CLOCKS. COORDINATE STORAGE AND REINSTALLATION W/ OWNER, UNLESS OTHERWISE NOTED.
5. REMOVE AND DISPOSE OF EXISTING WALL BASE ON WALLS TO REMAIN. PREPARE SUBSTRATE FOR NEW WALL BASE INCLUDING WALL REPAIRS NEEDED AFTER BASE REMOVAL.
6. REMOVE AND DISPOSE OF ALL EXISTING WINDOW BLINDS.
7. REMOVE AND DISPOSE OF ALL WALL-MOUNTED EMERGENCY LIGHTS. COORDINATE WITH ELECTRICAL DWGS.
8. DURING DEMOLITION, VISUALLY INSPECT EXISTING FRAMING/GYPSUM BOARD WRAP AROUND STRUCTURAL COLUMNS. IF OVERALL DIMENSIONS OF WRAPPED COLUMNS CAN BE REDUCED, DEMO AND REPLACE FRAMING AND GYPSUM BOARD.

Demolition Plan Legend:

- EXISTING WALLS
- EXISTING ELEMENTS
- WALLS TO BE DEMOLISHED
- ELEMENTS TO BE DEMOLISHED

Demolition Keynotes:

- A** REMOVE AND DISPOSE OF EXISTING FLOOR FINISH AND WALL BASE TO SOLID SUBSTRATE TO EXTENTS SHOWN. PREPARE SUBSTRATE FOR NEW FINISH INCLUDING FLOOR TOPPING AND PATCHING. - SEE FINISH FLOOR PLAN.
- B** REMOVE AND DISPOSE OF EXISTING STOREFRONT SYSTEM AND HARDWARE.
- C1** REMOVE AND DISPOSE OF EXISTING DOOR, HARDWARE, AND FRAME. COORDINATE OPENING SIZE W/ NEW WORK.
- C2** REMOVE AND DISPOSE OF EXISTING DOOR. FRAME TO REMAIN.
- D** REMOVE AND DISPOSE OF EXISTING HOLLOW METAL FRAMES AND INTERIOR WINDOWS. - COORDINATE SIZE OF OPENING W/ NEW WORK.
- E** REMOVE PORTION OF WALL FOR NEW OPENING. COORDINATE W/ NEW WORK.
- F** PROTECT EXISTING STRUCTURAL COLUMNS AND FRAME FROM DAMAGE THROUGHOUT ALL PHASES OF CONSTRUCTION. COORDINATE W/ NEW WORK.
- G** REMOVE AND DISPOSE OF ALL PLUMBING FIXTURES. COORDINATE WITH PLUMBING DWGS.
- H** REMOVE AND DISPOSE OF EXISTING RESTROOM PARTITIONS.
- I** REMOVE AND DISPOSE OF EXISTING MILLWORK.
- J1** EXISTING WALL MOUNTING T.V. AND SHELF TO BE REMOVED AND RETURNED TO OWNER.
- J2** REMOVE AND DISPOSE EXISTING WALL MOUNTING T.V. AND ASSOCIATED SHELF.
- K** EXISTING FLOOR DRAIN TO BE REMOVED AND RELOCATED. COORDINATE WITH PLUMBING DWGS.
- L** REMOVE AND DISPOSE OF EXISTING DESK TO EXTENTS SHOWN. COORDINATE W/ NEW WORK.
- M1** REMOVED AND DISPOSED OF EXISTING F.E.C. COORDINATE W/ NEW WORK.
- M2** REMOVED AND DISPOSED OF EXISTING F.E. COORDINATE W/ NEW WORK.
- N** COORDINATE REMOVAL OF EXISTING WALL MOUNTED PANELS WITH OWNER.
- O** REMOVE AND DISPOSE OF EXISTING REFRIGERATORS AND MISC. EQUIPMENT.
- P** REMOVE AND DISPOSE EXISTING ELECTRICAL PANELS AND I.T. RACKS. COORDINATE W/ ELECTRICAL DWG.
- Q** REMOVE AND DISPOSE OF EXISTING LARGE ELECTRICAL SCREEN STAND AND ENTERTAINMENT CABINET.
- R** REMOVE AND DISPOSE OF LOW WALL VENT. COORDINATE WALL INFILL W/ NEW WORK.
- S** REMOVE AND DISPOSE OF EXISTING MIRRORS ON WALLS.
- T** REMOVE AND DISPOSE OF EXISTING SHELVING.
- U** REMOVE AND DISPOSE OF EXISTING MECH. UNIT. COORDINATE WITH MECHANICAL DWG.
- V** REMOVE CEILING GRID/TILES. LIGHTS, REGISTERS, SMOKE DETECTORS, EXIT LIGHTS, AND ANY ADDITIONAL CEILING MOUNTED DEVICE. REFER TO MEP DRAWINGS FOR ITEMS TO BE REUSED IN RENOVATION.
- W** REMOVE GYPSUM BOARD CEILING, LIGHTS, REGISTERS, SMOKE DETECTORS, EXIT LIGHTS, EXHAUST FANS, AND ANY ADDITIONAL CEILING MOUNTED DEVICE.
- X** PROTECT EXISTING GYPSUM BOARD CEILING SYSTEM DURING DEMO PHASE. COORDINATE W/ NEW WORK.
- Y** REMOVE AND DISPOSE OF EXISTING WALL MOUNTED LIGHT.
- Z** REMOVE WALL FOR NEW OPENING. COORDINATE W/ NEW WORK.
- AA** DEMO LAYER OF GYPSUM BOARD TO ADD SOUND BATT INSULATION IN WALL BETWEEN NEW RESTROOM AND NEW CONFERENCE ROOM. COORDINATE W/ NEW WORK.

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SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

DRAWN: JH/MP

CHECKED: BD/ML

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REVISIONS:

DRAWING PHASE:
100% Construction Documents

DRAWING TITLE:
First Level Demolition Plan

SHEET NO.:
AD1.1

DATE:
August 18, 2025

SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

DRAWN: JH/MP

CHECKED: BD/ML

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REVISIONS:

DRAWING PHASE:
**100% Construction
Documents**

DRAWING TITLE:

**Basement Level
Demolition RCP**

SHEET NO.:

AD1.2

DATE:
August 18, 2025

General Demolition Notes:

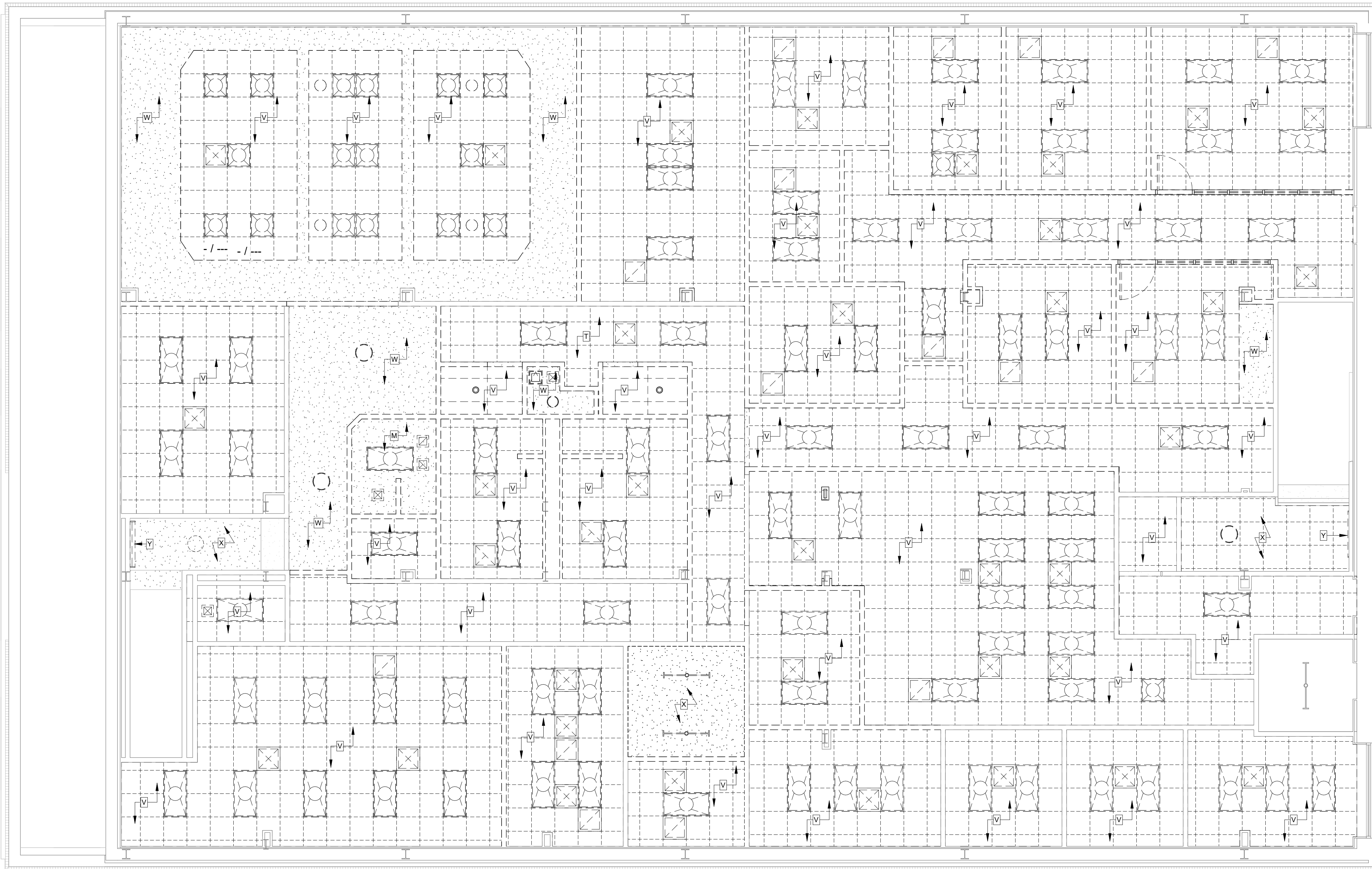
1. ALL DASHED WALLS ARE TO BE REMOVED AS INDICATED PER LEGEND. DOORS WITHIN WALLS TO BE REMOVED SHALL BE REMOVED INCLUDING ALL ASSOCIATED TRIMS AND HARDWARE UNLESS SPECIFICALLY INDICATED TO BE SALVAGED.
2. "SAFE-OFF" M.P.E. SYSTEMS BY QUALIFIED MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTOR, AS REQUIRED.
3. ALL DAMAGE TO FINISH SURFACES AND ALL THROUGH-SLAB OR WALL PENETRATIONS THAT REMAIN FOLLOWING THE DEMOLITION OF EXISTING WALLS SHALL BE NOTED BY CONTRACTOR FOR REPAIR AND SEALING DURING RENOVATION.
4. REMOVE MISCELLANEOUS WALL-MOUNTED ITEMS WITHIN THE WORK AREA, INCLUDING TACK BOARDS, WHITE BOARDS, CLOCKS. COORDINATE STORAGE AND REINSTALLATION W/ OWNER, UNLESS OTHERWISE NOTED.
5. REMOVE AND DISPOSE OF EXISTING WALL BASE ON WALLS TO REMAIN. PREPARE SUBSTRATE FOR NEW WALL BASE INCLUDING WALL REPAIRS NEEDED AFTER BASE REMOVAL.
6. REMOVE AND DISPOSE OF ALL EXISTING WINDOW BLINDS.
7. REMOVE AND DISPOSE OF ALL WALL-MOUNTED EMERGENCY LIGHTS. COORDINATE WITH ELECTRICAL DWGS.
8. DURING DEMOLITION, VISUALLY INSPECT EXISTING FRAMING/GYPSUM BOARD WRAP AROUND STRUCTURAL COLUMNS. IF OVERALL DIMENSIONS OF WRAPPED COLUMNS CAN BE REDUCED, DEMO AND REPLACE FRAMING AND GYPSUM BOARD.

Demolition RCP Legend:

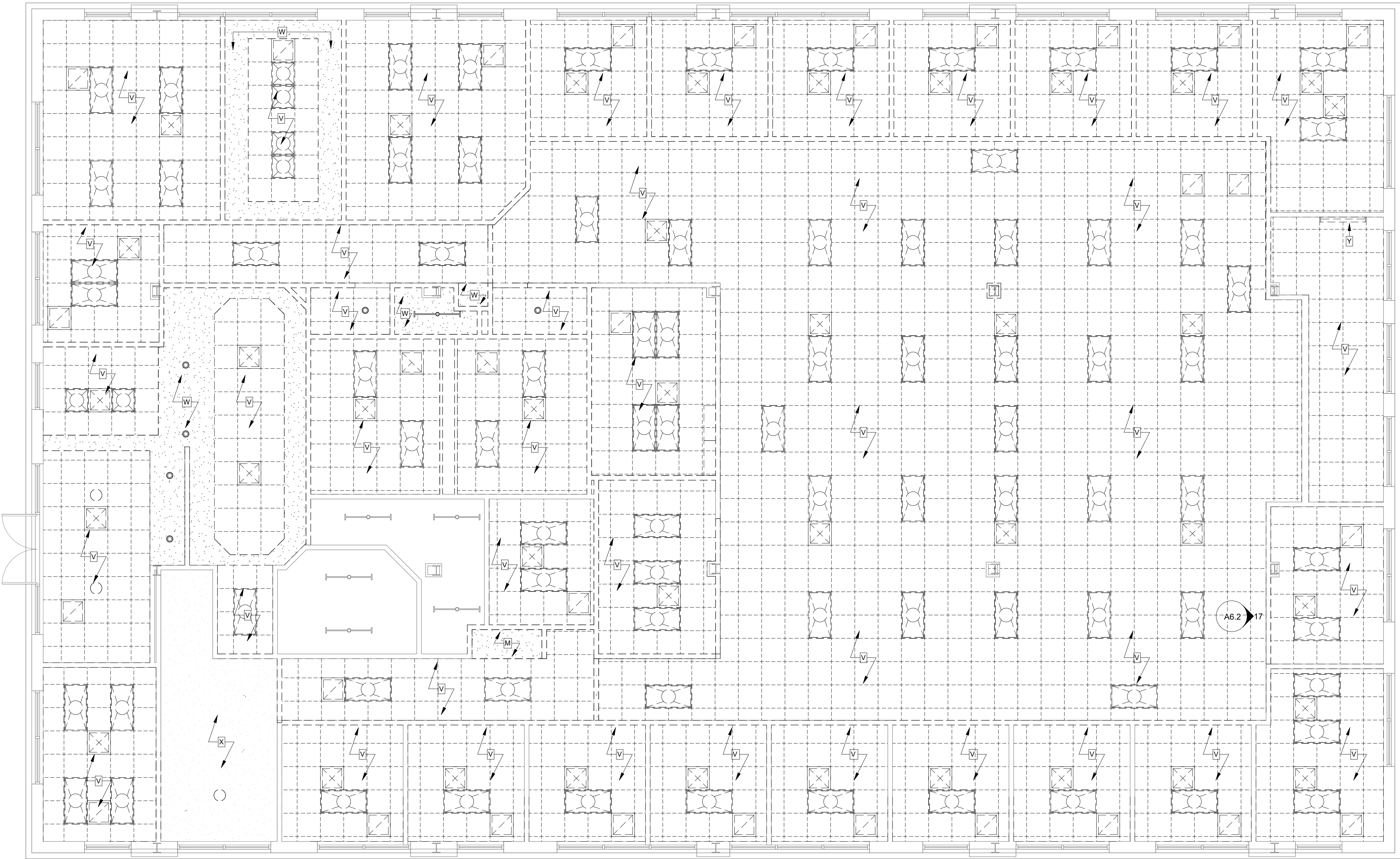
- EXISTING WALLS
- EXISTING ELEMENTS
- WALLS TO BE DEMOLISHED
- ELEMENTS TO BE DEMOLISHED
- EXISTING GYPSUM BOARD TO REMAIN
- DEMO. GYPSUM BOARD

Demolition Keynotes:

- A** REMOVE AND DISPOSE OF EXISTING FLOOR FINISH AND WALL BASE. TO SOLID SUBSTRATE TO EXTENTS SHOWN. PREPARE SUBSTRATE FOR NEW FINISH INCLUDING FLOOR TOPPING AND PATCHING. - SEE FINISH FLOOR PLAN.
- B** REMOVE AND DISPOSE OF EXISTING STOREFRONT SYSTEM AND HARDWARE.
- C1** REMOVE AND DISPOSE OF EXISTING DOOR, HARDWARE, AND FRAME. COORDINATE OPENING SIZE W/ NEW WORK.
- C2** REMOVE AND DISPOSE OF EXISTING DOOR. FRAME TO REMAIN.
- D** REMOVE AND DISPOSE OF EXISTING HOLLOW METAL FRAMES AND INTERIOR WINDOWS. - COORDINATE SIZE OF OPENING W/ NEW WORK.
- E** REMOVE PORTION OF WALL FOR NEW OPENING. COORDINATE W/ NEW WORK.
- F** PROTECT EXISTING STRUCTURAL COLUMNS AND FRAME FROM DAMAGE THROUGHOUT ALL PHASES OF CONSTRUCTION. COORDINATE W/ NEW WORK.
- G** REMOVE AND DISPOSE OF ALL PLUMBING FIXTURES. COORDINATE WITH PLUMBING DWGS.
- H** REMOVE AND DISPOSE OF EXISTING RESTROOM PARTITIONS.
- I** REMOVE AND DISPOSE OF EXISTING MILLWORK.
- J1** EXISTING WALL MOUNTING T.V. AND SHELF TO BE REMOVED AND RETURNED TO OWNER.
- J2** REMOVE AND DISPOSE EXISTING WALL MOUNTING T.V. AND ASSOCIATED SHELF.
- K** EXISTING FLOOR DRAIN TO BE REMOVED AND RELOCATED. COORDINATE WITH PLUMBING DWGS.
- L** REMOVE AND DISPOSE OF EXISTING DESK TO EXTENTS SHOWN. COORDINATE W/ NEW WORK.
- M1** REMOVED AND DISPOSED OF EXISTING F.E.C. COORDINATE W/ NEW WORK.
- M2** REMOVED AND DISPOSED OF EXISTING F.E. COORDINATE W/ NEW WORK.
- N** COORDINATE REMOVAL OF EXISTING WALL MOUNTED PANELS WITH OWNER.
- O** REMOVE AND DISPOSE OF EXISTING REFRIGERATORS AND MISC. EQUIPMENT.
- P** REMOVE AND DISPOSE EXISTING ELECTRICAL PANELS AND I.T. RACKS. COORDINATE W/ ELECTRICAL DWG.
- Q** REMOVE AND DISPOSE OF EXISTING LARGE ELECTRICAL SCREEN STAND AND ENTERTAINMENT CABINET.
- R** REMOVE AND DISPOSE OF LOW WALL VENT. COORDINATE WALL INFILL W/ NEW WORK.
- S** REMOVE AND DISPOSE OF EXISTING MIRRORS ON WALLS.
- T** REMOVE AND DISPOSE OF EXISTING SHELIVING.
- U** REMOVE AND DISPOSE OF EXISTING MECH. UNIT. COORDINATE WITH MECHANICAL DWG.
- V** REMOVE CEILING GRID/TILES, LIGHTS, REGISTERS, SMOKE DETECTORS, EXIT LIGHTS, AND ANY ADDITIONAL CEILING MOUNTED DEVICE. REFER TO MEP DRAWINGS FOR ITEMS TO BE REUSED IN RENOVATION.
- W** REMOVE GYPSUM BOARD CEILING, LIGHTS, REGISTERS, SMOKE DETECTORS, EXIT LIGHTS, EXHAUST FANS, AND ANY ADDITIONAL CEILING MOUNTED DEVICE.
- X** PROTECT EXISTING GYPSUM BOARD CEILING SYSTEM DURING DEMO PHASE. COORDINATE W/ NEW WORK.
- Y** REMOVE AND DISPOSE OF EXISTING WALL MOUNTED LIGHT.
- Z** REMOVE WALL FOR NEW OPENING. COORDINATE W/ NEW WORK.
- AA** DEMO LAYER OF GYPSUM BOARD TO ADD SOUND BATT INSULATION IN WALL BETWEEN NEW RESTROOM AND NEW CONFERENCE ROOM. COORDINATE W/ NEW WORK.



1 Basement Level -Demolition RCP
3/16" = 1'-0"



1 First Level Demolition RCP
3/16" = 1'-0"

General Demolition Notes:

1. ALL DASHED WALLS ARE TO BE REMOVED AS INDICATED PER LEGEND. DOORS WITHIN WALLS TO BE REMOVED SHALL BE REMOVED INCLUDING ALL ASSOCIATED TRIMS AND HARDWARE UNLESS SPECIFICALLY INDICATED TO BE SALVAGED.
2. "SAFE-OFF" M.P.E. SYSTEMS BY QUALIFIED MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTOR, AS REQUIRED.
3. ALL DAMAGE TO FINISH SURFACES AND ALL THROUGH-SLAB OR WALL PENETRATIONS THAT REMAIN FOLLOWING THE DEMOLITION OF EXISTING WALLS SHALL BE NOTED BY CONTRACTOR FOR REPAIR AND SEALING DURING RENOVATION.
4. REMOVE MISCELLANEOUS WALL-MOUNTED ITEMS WITHIN THE WORK AREA, INCLUDING TACK BOARDS, WHITE BOARDS, CLOCKS. COORDINATE STORAGE AND REINSTALLATION W/ OWNER, UNLESS OTHERWISE NOTED.
5. REMOVE AND DISPOSE OF EXISTING WALL BASE ON WALLS TO REMAIN. PREPARE SUBSTRATE FOR NEW WALL BASE INCLUDING WALL REPAIRS NEEDED AFTER BASE REMOVAL.
6. REMOVE AND DISPOSE OF ALL EXISTING WINDOW BLINDS.
7. REMOVE AND DISPOSE OF ALL WALL-MOUNTED EMERGENCY LIGHTS. COORDINATE WITH ELECTRICAL DWGS.
8. DURING DEMOLITION, VISUALLY INSPECT EXISTING FRAMING/GYPSUM BOARD WRAP AROUND STRUCTURAL COLUMNS. IF OVERALL DIMENSIONS OF WRAPPED COLUMNS CAN BE REDUCED, DEMO AND REPLACE FRAMING AND GYPSUM BOARD.

Demolition RCP Legend:

- EXISTING WALLS
- EXISTING ELEMENTS
- WALLS TO BE DEMOLISHED
- ELEMENTS TO BE DEMOLISHED
- EXISTING GYPSUM BOARD TO REMAIN
- DEMO. GYPSUM BOARD

Demolition Keynotes:

- A** REMOVE AND DISPOSE OF EXISTING FLOOR FINISH AND WALL BASE. TO SOLID SUBSTRATE SHOWN. PREPARE SUBSTRATE FOR NEW FINISH INCLUDING FLOOR TOPPING AND PATCHING. - SEE FINISH FLOOR PLAN.
- B** REMOVE AND DISPOSE OF EXISTING STOREFRONT SYSTEM AND HARDWARE.
- C1** REMOVE AND DISPOSE OF EXISTING DOOR, HARDWARE, AND FRAME. COORDINATE OPENING SIZE W/ NEW WORK.
- C2** REMOVE AND DISPOSE OF EXISTING DOOR. FRAME TO REMAIN.
- D** REMOVE AND DISPOSE OF EXISTING HOLLOW METAL FRAMES AND INTERIOR WINDOWS. - COORDINATE SIZE OF OPENING W/ NEW WORK.
- E** REMOVE PORTION OF WALL FOR NEW OPENING. COORDINATE W/ NEW WORK.
- F** PROTECT EXISTING STRUCTURAL COLUMNS AND FRAME FROM DAMAGE THROUGHOUT ALL PHASES OF CONSTRUCTION. COORDINATE W/ NEW WORK.
- G** REMOVE AND DISPOSE OF ALL PLUMBING FIXTURES. COORDINATE WITH PLUMBING DWGS.
- H** REMOVE AND DISPOSE OF EXISTING RESTROOM PARTITIONS.
- I** REMOVE AND DISPOSE OF EXISTING MILLWORK.
- J1** EXISTING WALL MOUNTING T.V. AND SHELF TO BE REMOVED AND RETURNED TO OWNER.
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- U** REMOVE AND DISPOSE OF EXISTING MECH. UNIT. COORDINATE WITH MECHANICAL DWG.
- V** REMOVE CEILING GRID/TILES, LIGHTS, REGISTERS, SMOKE DETECTORS, EXIT LIGHTS, AND ANY ADDITIONAL CEILING MOUNTED DEVICE. REFER TO MEP DRAWINGS FOR ITEMS TO BE REUSED IN RENOVATION.
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- Z** REMOVE WALL FOR NEW OPENING. COORDINATE W/ NEW WORK.
- AA** DEMO LAYER OF GYPSUM BOARD TO ADD SOUND BATT INSULATION IN WALL BETWEEN NEW RESTROOM AND NEW CONFERENCE ROOM. COORDINATE W/ NEW WORK.

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SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

DRAWN: JH/MP

CHECKED: BD/ML

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REVISIONS:

DRAWING PHASE:
100% Construction Documents

DRAWING TITLE:

First Level Demolition RCP

SHEET NO.:

AD1.3

DATE:

August 18, 2025

SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

DRAWN: JH/MP

CHECKED: BD/ML

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REVISIONS:

DRAWING PHASE:
**100% Construction
Documents**

DRAWING TITLE:
**Basement Level
Floor Plan**

SHEET NO.:

A1.0

DATE:

August 18, 2025

Floor Plan General Notes:

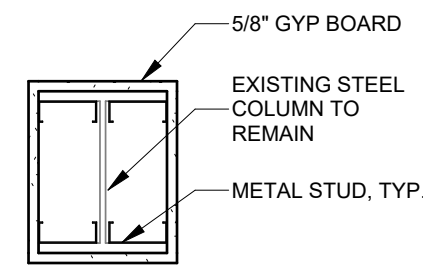
1. ALL DIMENSIONS FOR NEW PARTITIONS ARE TO FACE OF STUD. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF FINISH SURFACE.
2. ALL DOOR OPENINGS TO BE LOCATED 6" FROM FACE OF STUD OF ADJACENT WALL ON HINGE SIDE UNLESS OTHERWISE NOTED. SEE DOOR SCHEDULE COMMENTS AND PLAN DIMENSIONS.
3. FIRE EXTINGUISHERS SHALL BE MOUNTED BETWEEN 41" MIN. AND 48" MAX. ABOVE FINISH FLOOR. PORTABLE FIRE EXTINGUISHERS SHALL BEAR THE LABEL OF AN APPROVED AGENCY, BE AN APPROVED TYPE, AND BE INSTALLED IN A LOCATION VISIBLE AND ACCESSIBLE TO THE OCCUPANTS. VERIFY LOCATION IN FIELD WITH FIRE MARSHALL.
4. PROVIDE PLYWOOD BLOCKING BEHIND GYP. BOARD TO SUPPORT EQUIPMENT AND/OR MISC. ITEMS INSTALLED (MILLWORK, TOILET PAPER HOLDERS, GRAB BARS, MIRRORS, KITCHEN SHELVING ETC.).
5. CONTRACTOR TO COORDINATE DELIVERY OF ALL OWNER SUPPLIED ITEMS.
6. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL MILLWORK.
7. THE DESIGN AND CONSTRUCTION OF ALL NON-LOAD BEARING INTERIOR LIGHT GAUGE METAL FRAMING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AT A MINIMUM, THIS FRAMING SHALL BE CONSTRUCTED OF 20 GAUGE (30 MIL - 33 KSI) OR 20 GAUGE EQ (18 MIL - 70 KSI) METAL STUDS AND TRACK. STUDS SHALL HAVE MAXIMUM SPACING OF 16" O.C. WITH DOUBLE STUDS AT DOOR AND WINDOW JAMBS. PROVIDE A MINIMUM OF TWO #10 SELF TAPPING SCREWS AT ALL CONNECTIONS.
8. AT ALL UTILITY TRENCHES IN EXISTING SLAB, ADD 6 MIL. VAPOR BARRIER AFTER SOIL HAS BEEN TREATED. PROVIDE #3 DOWELS @ 24" O.C. ON BOTH SIDES. DRILL HOLES 6" DEEP IN ADJACENT SLAB. DOWELS TO FIT TIGHT AND SECURE IN HOLES.
9. PROVIDE WINDOW SHADES FOR ALL EXTERIOR WINDOWS ON 1ST LEVEL. WINDOW SHADES TO BE DRAPER FLEX SHADE, 3% PHIFFER SHEARWEAVE W/ FASCIA COVER SURFACE MOUNTED ON STOREFRONT.
10. SOUND BATTS TO BE PROVIDED IN NEW WALLS AS DELINEATED ON PLANS.
11. PROVIDE BLOCKING FOR ALL WALL MOUNTED LARGE SCREEN MONITORS AND WHITE BOARDS. CONTRACTOR TO COORDINATE LOCATION AND HEIGHT WITH OWNER. MONITORS TO BE OWNER PROVIDED AND CONTRACTOR INSTALLED.

Floor Plan Legend:

- EXISTING WALLS
- EXISTING ELEMENTS
- NEW WALLS
- NEW ELEMENTS
- F.D. NEW FLOOR DRAIN

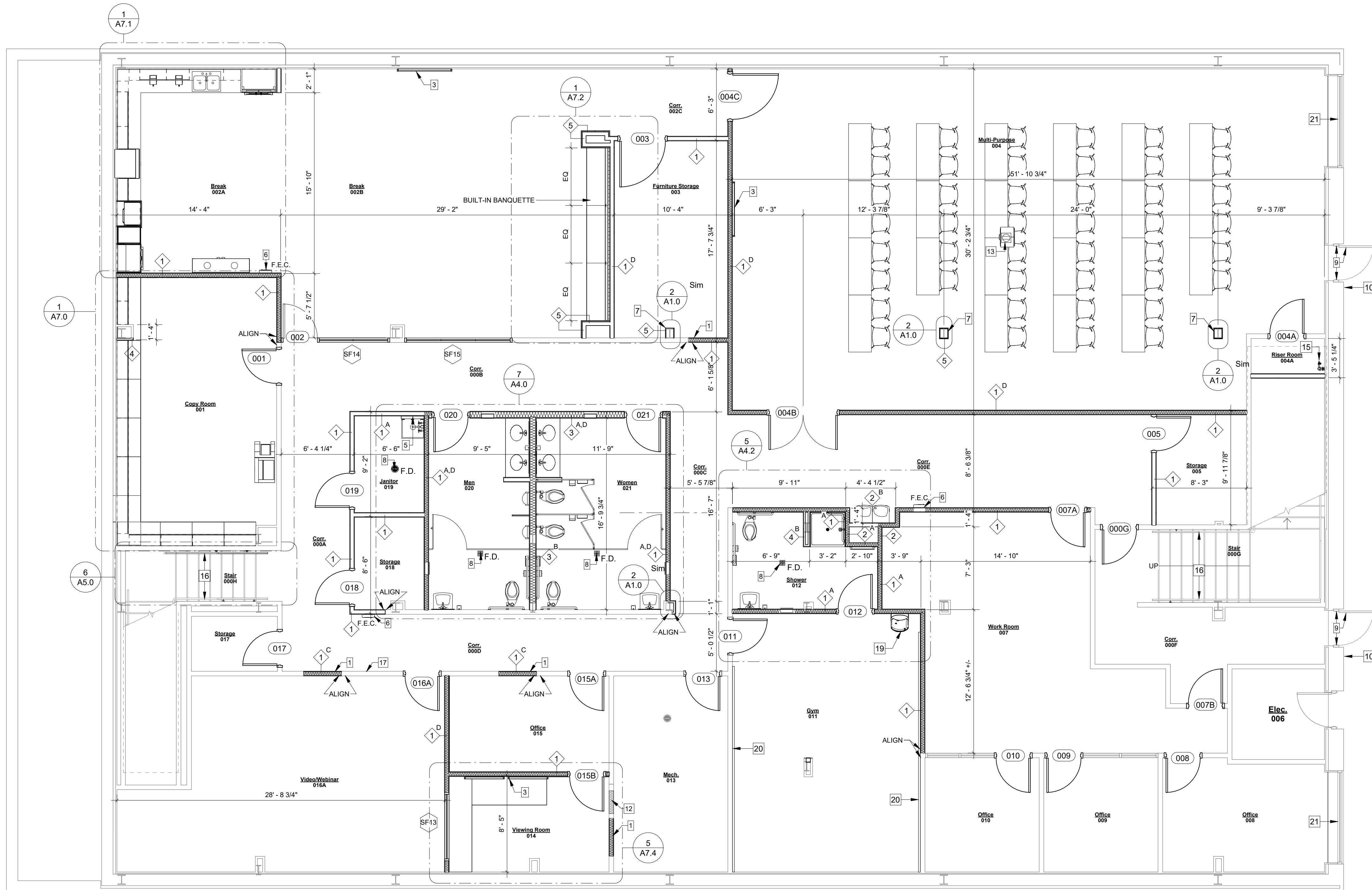
Floor Plan Keynotes:

- 1 INFILL OPENING IN WALL. PROVIDE A SMOOTH CONTINUOUS FINISH SURFACE TO MATCH EXISTING ADJACENT WALL FINISH.
- 2 (10) 6'-6" X 7'-6" WORKSTATIONS. SEE FINISH FLOOR PLAN
- 3 PROVIDE BLOCKING FOR WALL MOUNTED SMART MONITOR/TV. OWNER SUPPLIED CONTRACTOR INSTALLED.
- 4 WRAP END WALL W/ BLACK BREAK METAL AT STOREFRONT GLASS - REFER TO ENLARGED PLAN 2/A1.1
- 5 INSTALL MOP AND BROOM HOLDER A13 (BOBRICK B-233 x 24)
- 6 INSTALL RECESSED FIRE EXTINGUISHER CABINET
- 7 WRAP ALL STRUCTURAL STEEL COLUMNS, TYP. SEE COLUMN WRAP DETAIL 2/A1.0
- 8 FLOOR DRAIN. COORDINATE W/ PLUMBING DWGS.
- 9 PAINT INTERIOR SIDE OF EXISTING DOOR AND FRAME. COLOR: TBD
- 10 INSTALL NEW CARD SWIPE. COORDINATE WITH ELECTRICAL.
- 11 REFINISH OR REPLACE EXISTING WOOD TRIM ON TOP OF LOW WALL TO MATCH STAIN OF NEW DOOR.
- 12 INFILL WHERE LOW WALL VENT WAS REMOVED.
- 13 ELECTRICAL / DATA FLOOR BOX LOCATION TO BE COORDINATED W/ OWNER AND SELECTED FURNITURE. SEE ELECTRICAL DWG.
- 14 INSTALL FAIA SIGNAGE ON WALL. PROVIDE BLOCKING AS NEEDED. COORDINATE WITH OWNER.
- 15 AUTOMATIC SPRINKLER RISER LOCATION. COORDINATE WITH FIRE PROTECTION.
- 16 PAINT EXISTING HANDRAILS PT-1 TO MATCH WALLS.
- 17 INSTALL "ON AIR" WALL MOUNTED LIGHT. COORDINATE WITH ELECTRICAL.
- 18 NOT USED
- 19 WATER COOLER W/ BOTTLE FILLER INSTALLED WITH SPOUT HEIGHT AT 36" A.F.F. MAX.
- 20 INSTALL 6" TALL MIRRORS @ 1'-0" A.F.F. FOR A TOTAL OF 18" ON WEST WALL AND 21" ON EAST WALL PER PLAN.
- 21 PROVIDE WINDOW SHADES FOR ALL EXTERIOR WINDOWS. WINDOW SHADES TO BE DRAPER FLEX SHADE, 3% PHIFFER SHEARWEAVE, W/ FASCIA COVER SURFACE MOUNTED ON STOREFRONT.
- 22 INSTALL SOUND BATT INSULATION IN WALL. INSTALL NEW LAYER OF GYP. BOARD ON WALL AS NEEDED.
- 23 CONFIRM EXISTING WALL GOES TO DECK ABOVE FOR PORTION OF WALL BETWEEN WOMEN'S RR AND CONFERENCE ROOM.
- 24 EXISTING WOOD WINDOW SILLS TO BE PAINTED PT4

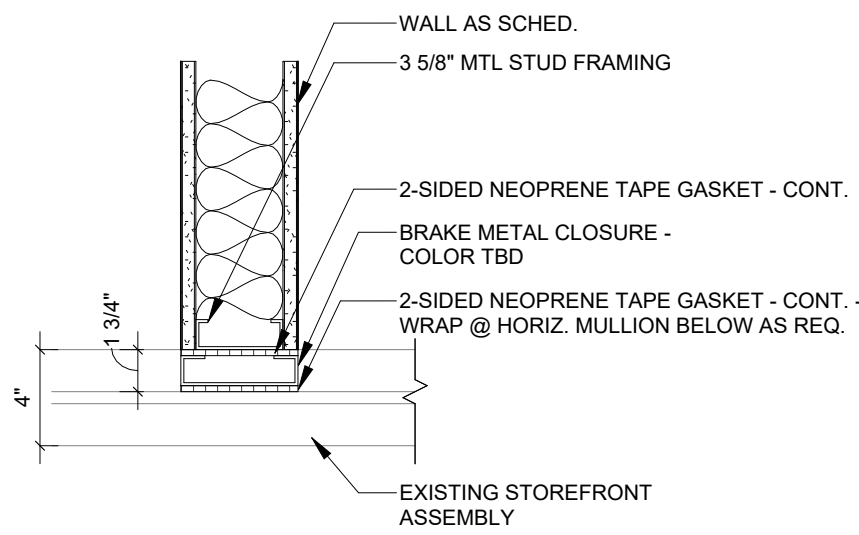


NOTE: SIZE OF THE EXISTING COLUMN IS UNKNOWN. INTENT IS TO PROVIDE SMALLEST COLUMN WRAP ACHIEVABLE.

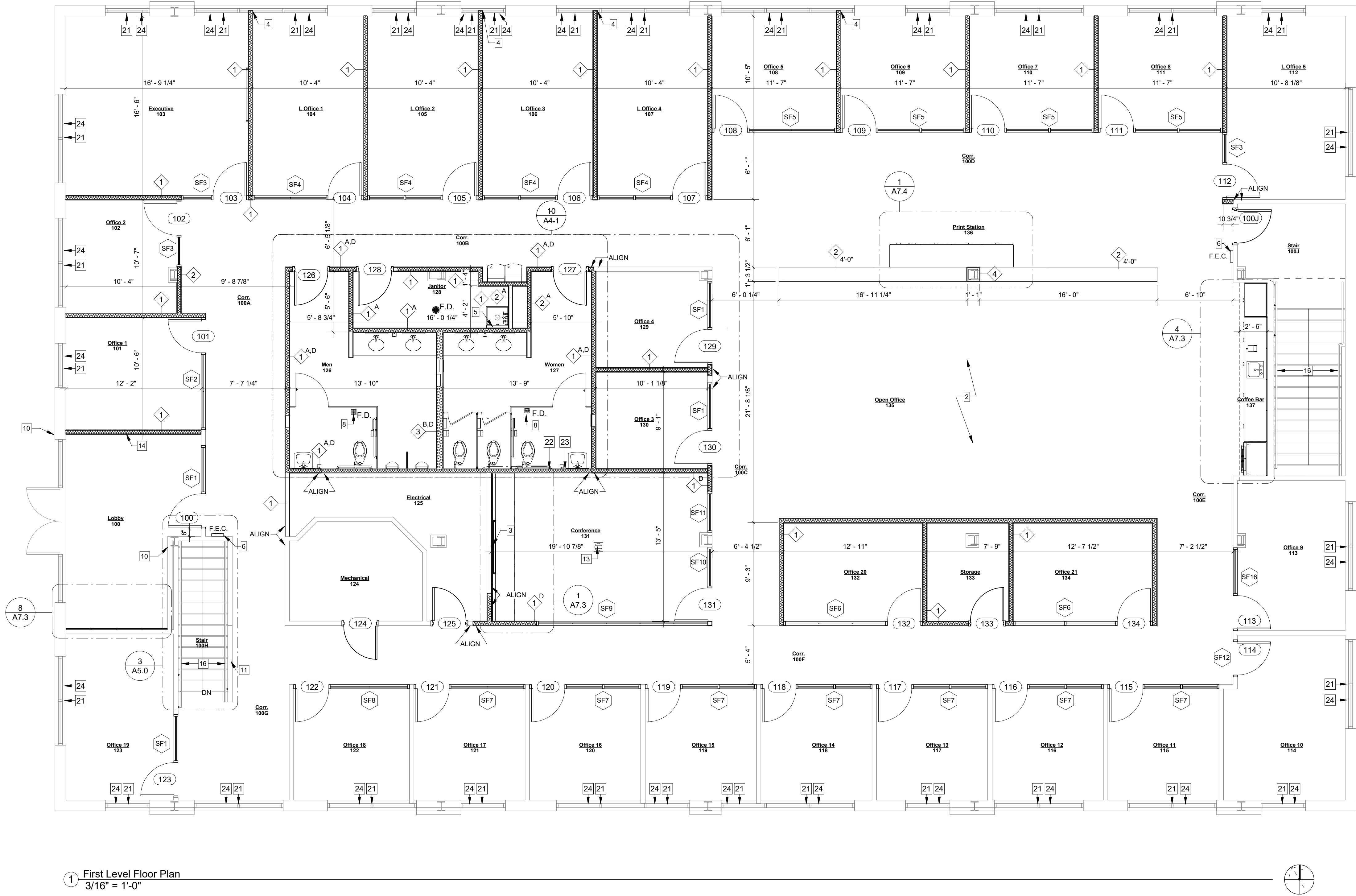
2 Column Wrap Detail - Typical
1" = 1'-0"



1 Basement Level Floor Plan
3/16" = 1'-0"



2 Enlarged Plan - Brake Metal @ Glazing Condition
1 1/2" = 1'-0"



1 First Level Floor Plan
3/16" = 1'-0"

Floor Plan General Notes:

1. ALL DIMENSIONS FOR NEW PARTITIONS ARE TO FACE OF STUD. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF FINISH SURFACE.
2. ALL DOOR OPENINGS TO BE LOCATED 6" FROM FACE OF STUD OF ADJACENT WALL ON HINGE SIDE UNLESS OTHERWISE NOTED. SEE DOOR SCHEDULE COMMENTS AND PLAN DIMENSIONS.
3. FIRE EXTINGUISHERS SHALL BE MOUNTED BETWEEN 41" MIN. AND 48" MAX. ABOVE FINISH FLOOR. PORTABLE FIRE EXTINGUISHERS SHALL BEAR THE LABEL OF AN APPROVED AGENCY, BE AN APPROVED TYPE, AND BE INSTALLED IN A LOCATION VISIBLE AND ACCESSIBLE TO THE OCCUPANTS. VERIFY LOCATION IN FIELD WITH FIRE MARSHALL.
4. PROVIDE PLYWOOD BLOCKING BEHIND GYP. BOARD TO SUPPORT EQUIPMENT AND/OR MISC. ITEMS INSTALLED (MILLWORK, TOILET PAPER HOLDERS, GRAB BARS, MIRRORS, KITCHEN SHELVING ETC.).
5. CONTRACTOR TO COORDINATE DELIVERY OF ALL OWNER SUPPLIED ITEMS.
6. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL MILLWORK.
7. THE DESIGN AND CONSTRUCTION OF ALL NON-LOAD BEARING INTERIOR LIGHT GAUGE METAL FRAMING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AT A MINIMUM, THIS FRAMING SHALL BE CONSTRUCTED OF 20 GAUGE (30 MIL - 33 KSI) OR 20 GAUGE EQ (18 MIL - 70 KSI) METAL STUDS AND TRACK. STUDS SHALL HAVE MAXIMUM SPACING OF 16" O.C. WITH DOUBLE STUDS AT DOOR AND WINDOW JAMBS. PROVIDE A MINIMUM OF TWO #10 SELF TAPPING SCREWS AT ALL CONNECTIONS.
8. AT ALL UTILITY TRENCHES IN EXISTING SLAB, ADD 6 MIL. VAPOR BARRIER AFTER SOIL HAS BEEN TREATED. PROVIDE #3 DOWELS @ 24" O.C. ON BOTH SIDES. DRILL HOLES 6" DEEP IN ADJACENT SLAB. DOWELS TO FIT TIGHT AND SECURE IN HOLES.
9. PROVIDE WINDOW SHADES FOR ALL EXTERIOR WINDOWS ON 1ST LEVEL. WINDOW SHADES TO BE DRAPER FLEX SHADE, 3% PHIFFER SHEARWEAVE W/ FASCIA COVER SURFACE MOUNTED ON STOREFRONT.
10. SOUND BATTS TO BE PROVIDED IN NEW WALLS AS DELINEATED ON PLANS.
11. PROVIDE BLOCKING FOR ALL WALL MOUNTED LARGE SCREEN MONITORS AND WHITE BOARDS. CONTRACTOR TO COORDINATE LOCATION AND HEIGHT WITH OWNER. MONITORS TO BE OWNER PROVIDED AND CONTRACTOR INSTALLED.

Floor Plan Legend:

	EXISTING WALLS
	EXISTING ELEMENTS
	NEW WALLS
	NEW ELEMENTS
	NEW FLOOR DRAIN

Floor Plan Keynotes:

- 1 INFILL OPENING IN WALL. PROVIDE A SMOOTH CONTINUOUS FINISH SURFACE TO MATCH EXISTING ADJACENT WALL FINISH.
- 2 (10) 6'-6" X 7'-6" WORKSTATIONS. SEE FINISH FLOOR PLAN
- 3 PROVIDE BLOCKING FOR WALL MOUNTED SMART MONITOR/TV. OWNER SUPPLIED CONTRACTOR INSTALLED.
- 4 WRAP END WALL W/ BLACK BREAK METAL AT STOREFRONT GLASS - REFER TO ENLARGED PLAN 2/A1.1
- 5 INSTALL MOP AND BROOM HOLDER A13 (BOBRICK B-233 x 24)
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- 7 WRAP ALL STRUCTURAL STEEL COLUMNS, TYP. SEE COLUMN WRAP DETAIL 2/A1.0
- 8 FLOOR DRAIN. COORDINATE W/ PLUMBING DWGS.
- 9 PAINT INTERIOR SIDE OF EXISTING DOOR AND FRAME. COLOR: TBD
- 10 INSTALL NEW CARD SWIPE. COORDINATE WITH ELECTRICAL.
- 11 REFINISH OR REPLACE EXISTING WOOD TRIM ON TOP OF LOW WALL TO MATCH STAIN OF NEW DOOR.
- 12 INFILL WHERE LOW WALL VENT WAS REMOVED.
- 13 ELECTRICAL / DATA FLOOR BOX LOCATION TO BE COORDINATED W/ OWNER AND SELECTED FURNITURE. SEE ELECTRICAL DWG.
- 14 INSTALL FAIA SIGNAGE ON WALL. PROVIDE BLOCKING AS NEEDED. COORDINATE WITH OWNER.
- 15 AUTOMATIC SPRINKLER RISER LOCATION. COORDINATE WITH FIRE PROTECTION.
- 16 PAINT EXISTING HANDRAILS PT-1 TO MATCH WALLS.
- 17 INSTALL "ON AIR" WALL MOUNTED LIGHT. COORDINATE WITH ELECTRICAL.
- 18 NOT USED
- 19 WATER COOLER W/ BOTTLE FILLER INSTALLED WITH SPOUT HEIGHT AT 36" A.F.F. MAX
- 20 INSTALL 6' TALL MIRRORS @ 1'-0" A.F.F. FOR A TOTAL OF 18' ON WEST WALL AND 21' ON EAST WALL PER PLAN.
- 21 PROVIDE WINDOW SHADES FOR ALL EXTERIOR WINDOWS. WINDOW SHADES TO BE DRAPER FLEX SHADE, 3% PHIFFER SHEARWEAVE, W/ FASCIA COVER SURFACE MOUNTED ON STOREFRONT.
- 22 INSTALL SOUND BATT INSULATION IN WALL. INSTALL NEW LAYER OF GYP. BOARD ON WALL AS NEEDED.
- 23 CONFIRM EXISTING WALL GOES TO DECK ABOVE FOR PORTION OF WALL BETWEEN WOMEN'S RR AND CONFERENCE ROOM.
- 24 EXISTING WOOD WINDOW SILLS TO BE PAINTED PT4



BKJ, Inc. Architecture
1621 Physicians Dr.
Tallahassee, Florida 32308
(P) 850.778.8007 | (F) 850.546.6150
www.bkjarchitecture.com
FL Architecture Corporation AAS002280

SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

DRAWN: JH/MP

CHECKED: BD/ML

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REVISIONS:

DRAWING PHASE:
100% Construction Documents

DRAWING TITLE:
First Level Floor Plan

SHEET NO.:

A1.1

DATE:

August 18, 2025

RCP Keynotes:

- SEAMLESSLY CONNECT NEW GYPSUM BOARD CEILING TO EXISTING CEILING - COORDINATE WITH MECH. & ELECTRICAL.
- BULKHEADS TO BE 2" BELOW LOWEST ADJACENT CEILINGS AND PAINTED PT-3.
- EXISTING BULKHEADS TO REMAIN AND PAINTED PT-3.
- REFER TO A1.4 FOR CUSTOM ACOUSTICAL CEILING TILE DESIGN AND PATTERN
- BOTTOM OF FIXTURE MOUNTED 7'-6" A.F.F.

RCP General Notes:

- ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH SURFACE.
- COORDINATE WITH ELECTRICAL PLAN FOR LOCATION OF FIXTURES AND SWITCHING. ANY DISCREPANCIES DISCOVERED IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- COORDINATE WITH MECHANICAL PLAN FOR LOCATION OF DUCTWORK AND DIFFUSERS. ANY DISCREPANCIES DISCOVERED IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- REFER TO ELECTRICAL DWGS FOR LOCATIONS OF ALL LIGHTS WITH EMERGENCY BATTERY.
- CONTRACTOR TO CONSULT WITH ARCHITECT AFTER DEMOLITION TO CONFIRM THERE ARE NO CONFLICTS THAT WILL REQUIRE REDUCTION TO PROPOSED CEILING HEIGHTS AND TO IDENTIFY AREAS WHERE CEILING HEIGHTS CAN BE INCREASED.

Ceiling Finish Legend:

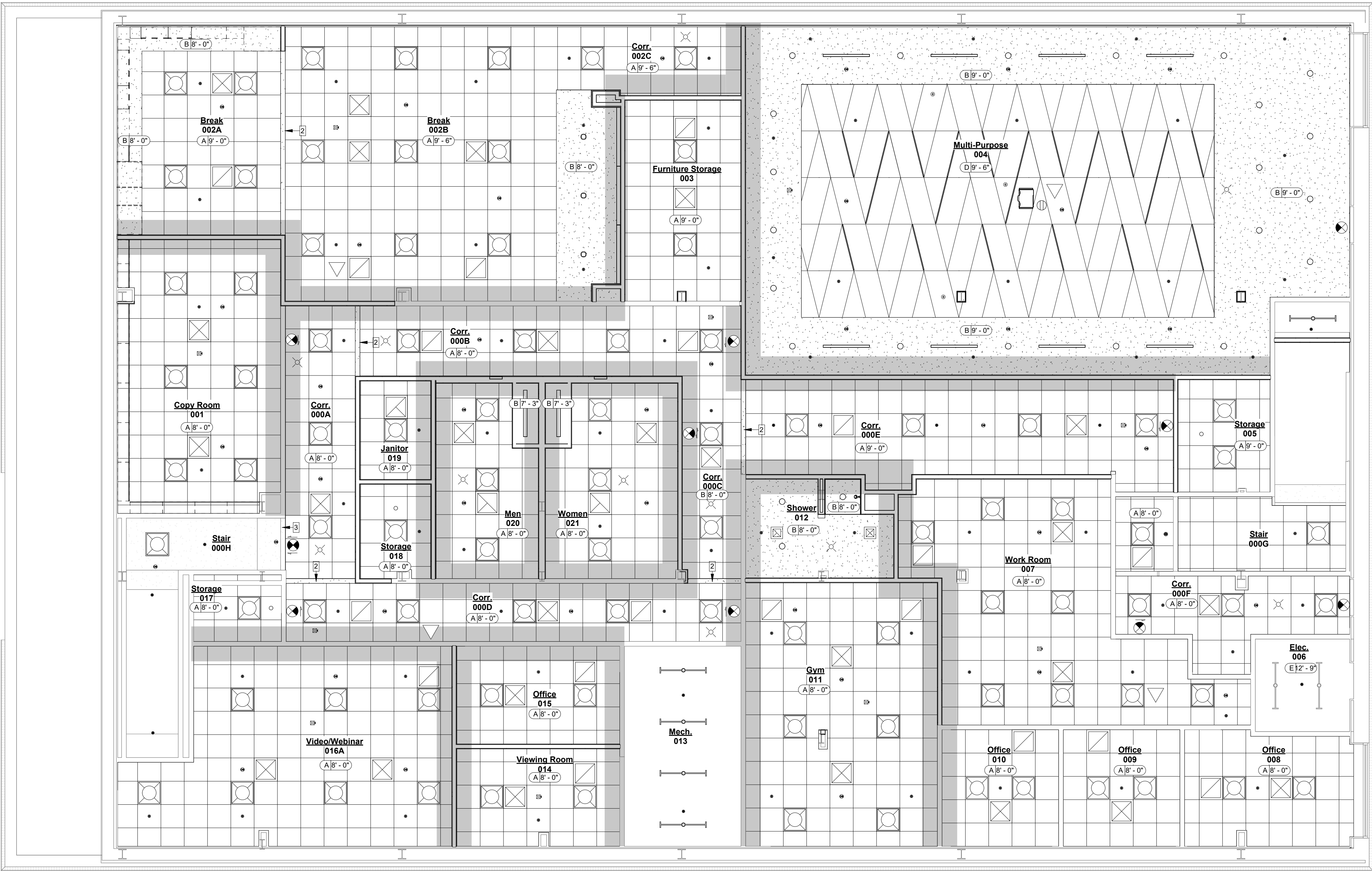
- A 9'-0" CEILING HEIGHT
CEILING FINISH
- A - ACOUSTICAL CEILING TILE
 - B - GYPSUM BOARD CEILING
 - C - ARMSTRONG LYRA DROP CEILING
 - D - ARMSTRONG DESIGNFLEX GEOMETRIC ACOUSTICAL CEILING TILE
 - E - EXISTING TO REMAIN

RCP Legend:

- EXISTING GYPSUM BOARD TO REMAIN
- NEW GYPSUM BOARD
- 2x2 ACOUSTIC CEILING TILE
- ARMSTRONG: LYRA PB TEGULAR ACOUSTICAL PANELS (CUSTOM PATTERN)
- ARMSTRONG: DESIGNFLEX GEOMETRIC ACOUSTICAL CEILING TILE

Lighting & HVAC Legend:

- 2'x2' RECESSED LIGHT FIXTURE
- 6" LED RECESSED CAN LIGHT
- SUSPENDED LIGHT FIXTURE
- 4" ROUND PENDANT LIGHT FIXTURE
- 1" X 4' WIDE RECESSED LIGHT
- 4'x4' RECESSED LINEAR LED LIGHT
- 4'x6' RECESSED LINEAR LED LIGHT
- 4'x8' RECESSED LINEAR LED LIGHT
- 4'x8' SLOT DIFFUSER
- SUPPLY DIFFUSER
- EXHAUST FAN
- RETURN GRILLE
- FIRE ALARM STROBE
- WIRELESS ACCESS POINT 10" SQUARE
- CEILING MOUNTED PROJECTOR
- FIRE ALARM HORN / VISIBLE DEVICE
- FIRE SPRINKLER
- EMERGENCY LIGHTS
- EXIT LIGHT
- UTILITY LIGHT
- EXISTING UTILITY LIGHT TO REMAIN
- UNFACED BATTS INSULATION
- 24" STRIP WHERE SHOWN ON ONE SIDE OF WALL
- 48" STRIP WHERE SHOWN ON BOTH SIDES OF WALL



1 Basement Level - Reflected Ceiling Plan
3/16" = 1'-0"

SEAL:

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REVISIONS:

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Documents

DRAWING TITLE:
Basement Level
RCP

SHEET NO.:

A1.2

DATE:
August 18, 2025

INSTALL OPEN CELL, LOW-DENSITY, SPRAY FOAM INSULATION (R-20) W/ INTUMESCENT COATING ON THE UNDERSIDE OF THE EXISTING ROOF DECK. BASIS OF DESIGN PRODUCT INFORMATION LISTED BELOW. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

QUIK-SHIELD 108YM

A. Manufacturer: SWD Urethane.

B. Description:

1. Compatibility:

a. Ensure components and materials are compatible with specified accessories and adjacent materials.

C. Performance Criteria:

- Thermal Resistance (R), ASTM C518 at 180 days aged: 3.7 degrees F. ft.²; h/Btu at 1 inch thickness and 3.6 degrees F. ft.²; h/Btu at 3.5 inch thickness, minimum.
- Air Leakage, ASTM E283: <0.02 L/second/meter² at 3.5" thickness.
- Core Density, ASTM D1622: 0.36-0.04 lb./ft.³, maximum.
- Tensile Strength, ASTM D1623: 3.0 psi, minimum.
- Flame Spread, ASTM E84: 25, maximum.
- Smoke Developed, ASTM E84: 450, maximum.

D. Materials:

- Low-density, open cell, two-component, spray-applied, polyurethane system.

E. Mixes:

- In accordance with manufacturer's recommendations.

F. Location and thickness:

- Underside of roof sheathing: 5.5" and R-20

DC315 INTUMESCENT COATING

A. DC315 intumescent coating, manufactured by IFTI, Paint to Protect, is a water-based coating supplied in 5-gallon pails and 55-gallon drums. The coating material has a shelf life of 24 months when stored in factory-sealed containers at temperatures between 41 degrees F and 95 degrees F. DC315 complies with ICC-ES AC456 as recognized in ICC-ES ESR-3702.

B. Alternate intumescent coatings:

- FS-4B intumescent coating
- NO-BURN Plus TnB intumescent coating.

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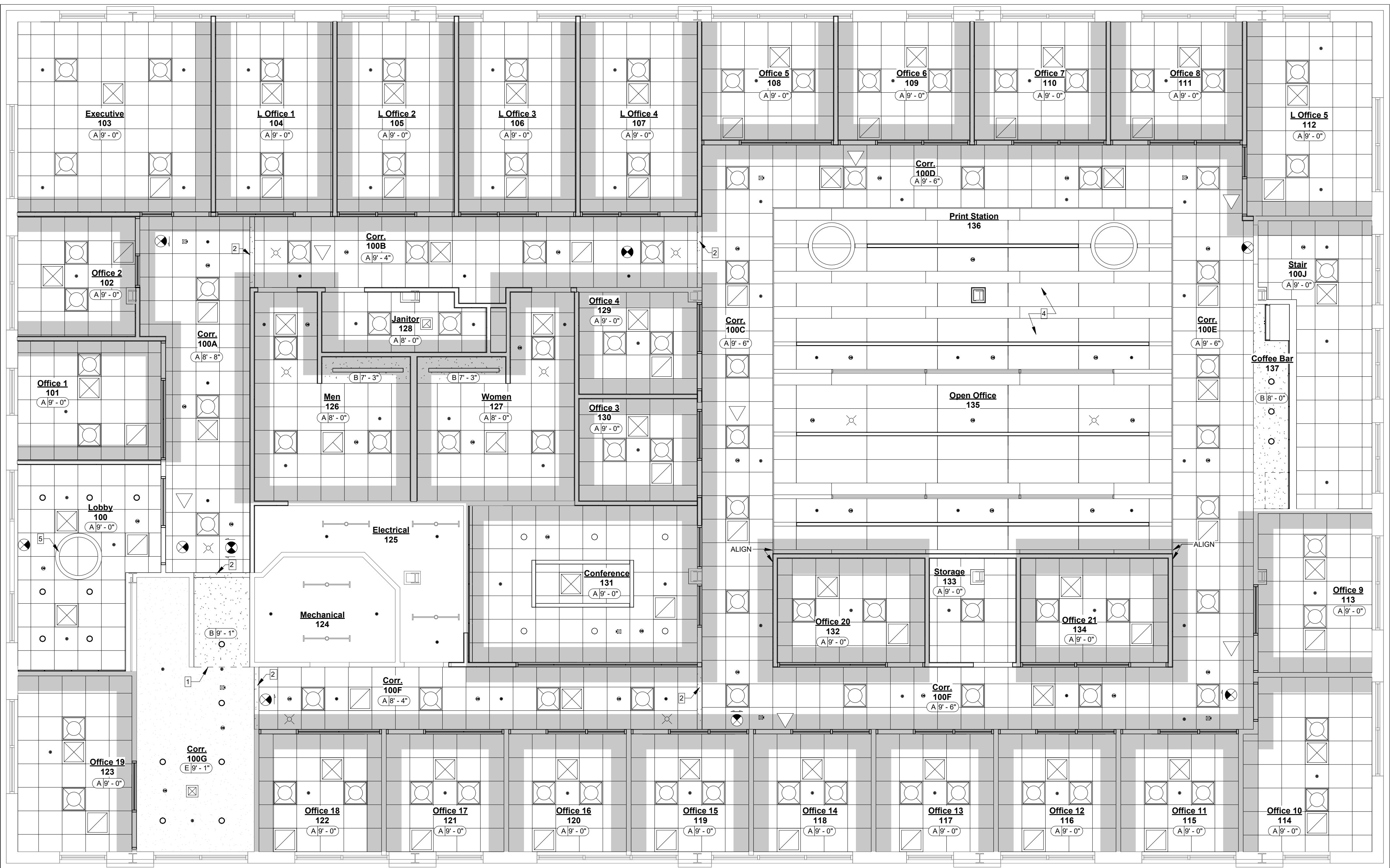
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1 First Level - Reflected Ceiling Plan
3/16" = 1'-0"

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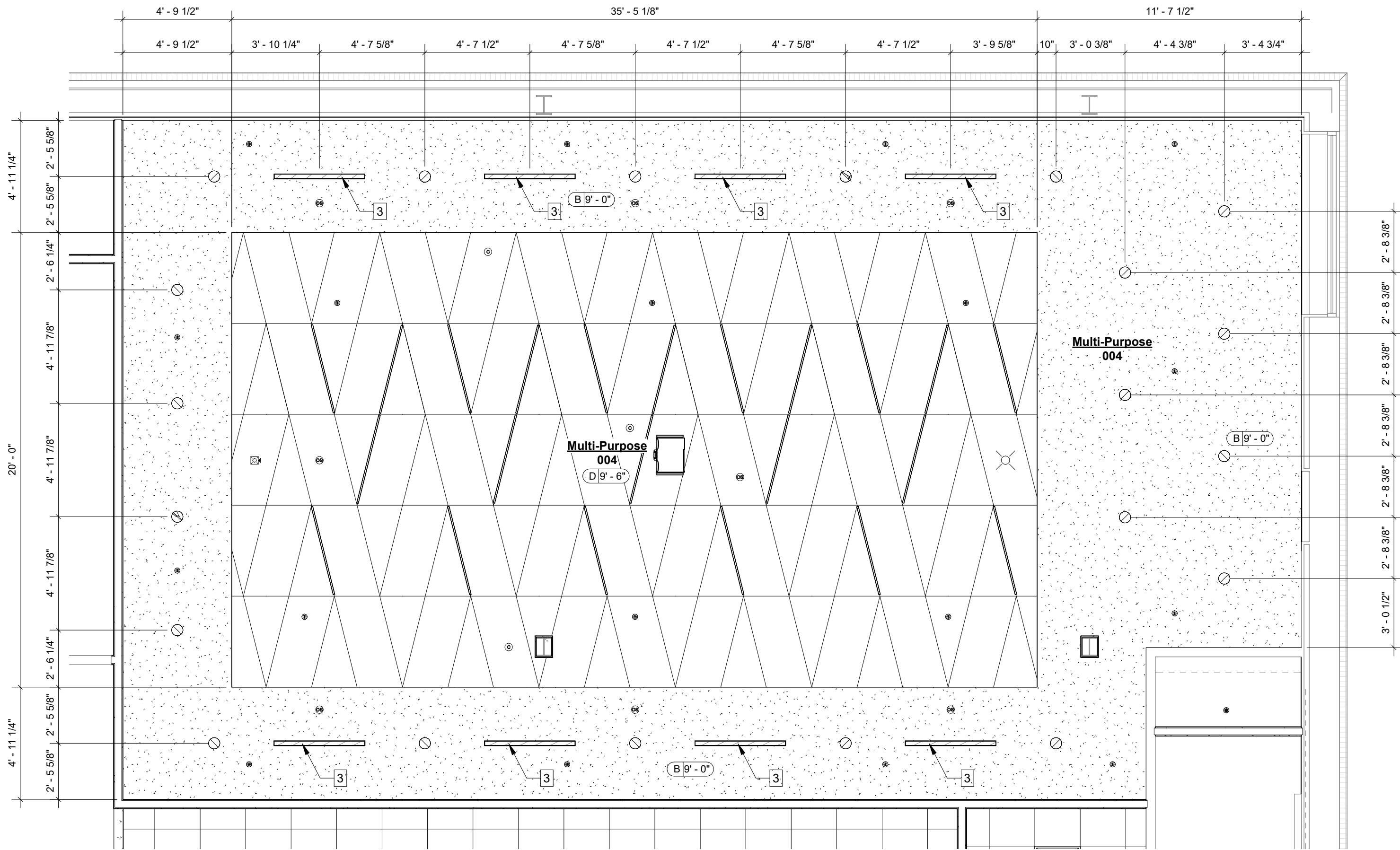
First Level
RCP

SHEET NO.:

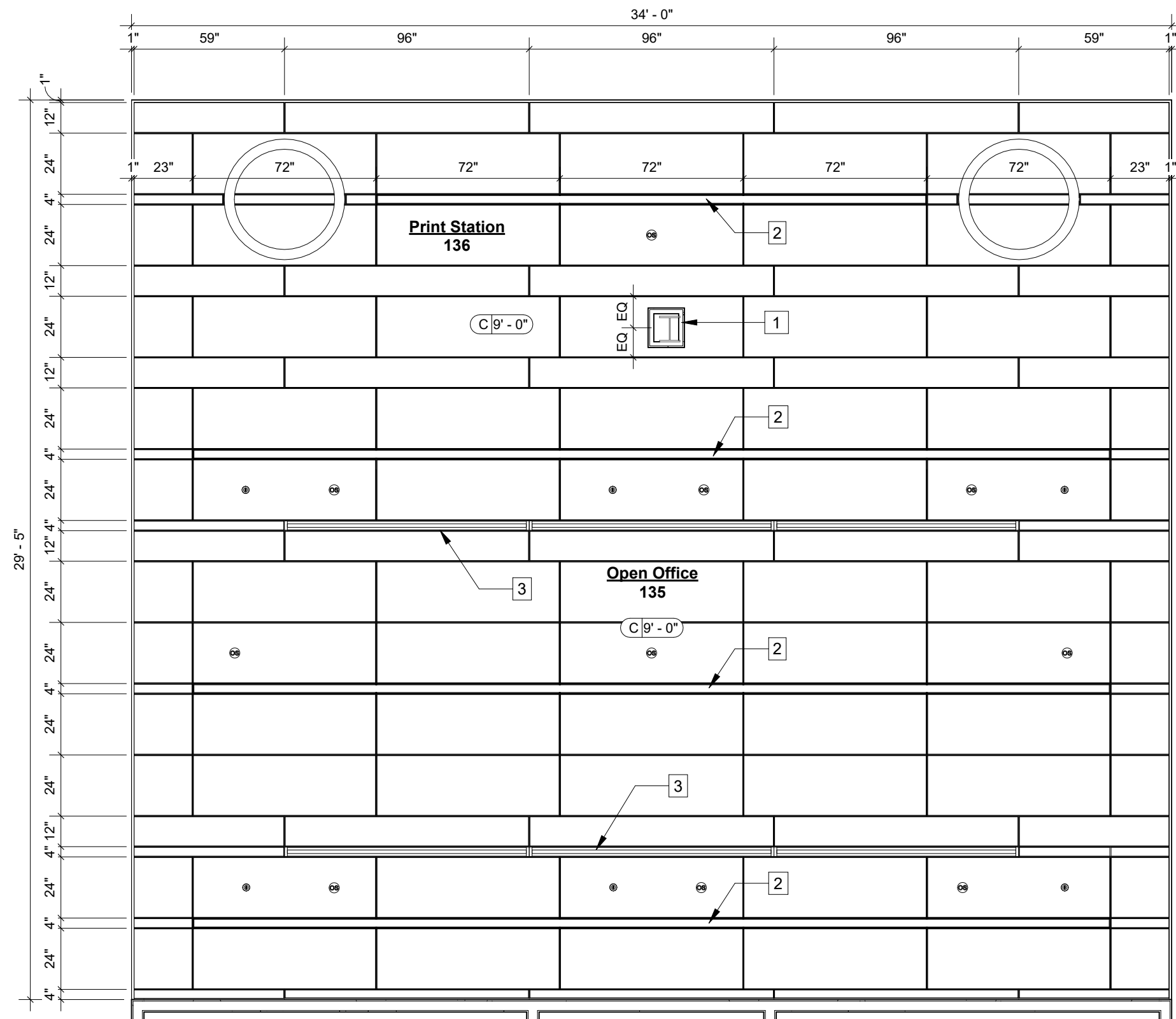
A1.3

DATE:

August 18, 2025



1 Enlarged Basement Level - Reflected Ceiling Plan - Ceiling Tile Pattern
1/4" = 1'-0"



2 Enlarged First Level - Reflected Ceiling Plan - Ceiling Tile Pattern
1/4" = 1'-0"

RCP General Notes:

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- ARMSTRONG: LYRA PB TEGULAR ACOUSTICAL PANELS (CUSTOM PATTERN)
- ARMSTRONG: DESIGNFLEX GEOMETRIC ACOUSTICAL CEILING TILE

Enlarged RCP Keynotes:

- 1 COLUMN WRAP TO BE CENTERED ON WALL BELOW AND CENTERED (NORTH-TO-SOUTH) ON 2'-0" WIDE CEILING TILE ABOVE. COORDINATE WITH AOR AFTER DEMOLITION. COLUMN LOCATION MAY REQUIRE CEILING PATTERN AND NORTH WALL OF OFFICE 20 (132), STORAGE (133), AND OFFICE 21 (134) TO SHIFT NORTH SLIGHTLY TO ACCOMMODATE.
- 2 LINEAR LED LIGHTS. COORDINATE WITH ELECTRICAL DWGS.
- 3 LINEAR SLOT DIFFUSERS. COORDINATE WITH MECHANICAL DWGS.

SEAL:

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OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

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REVISIONS:

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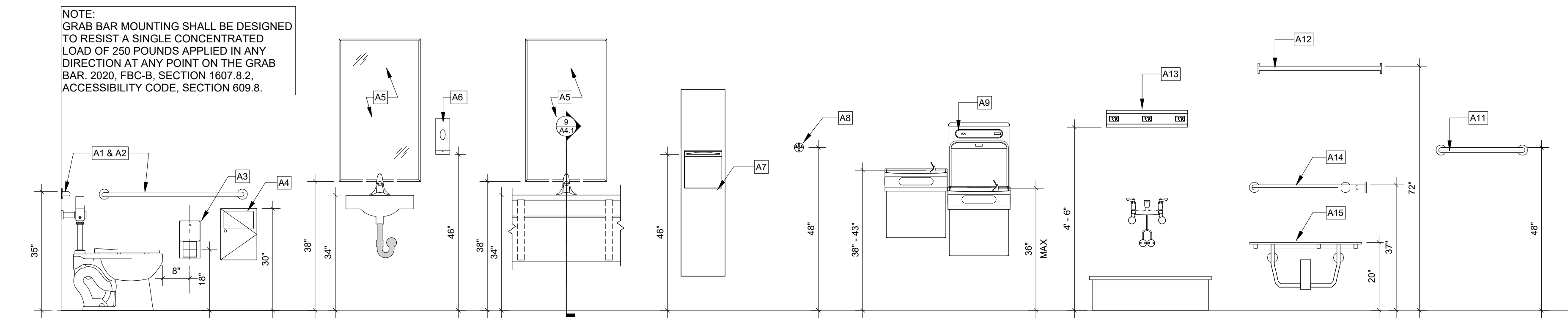
Enlarged RCP

SHEET NO.:

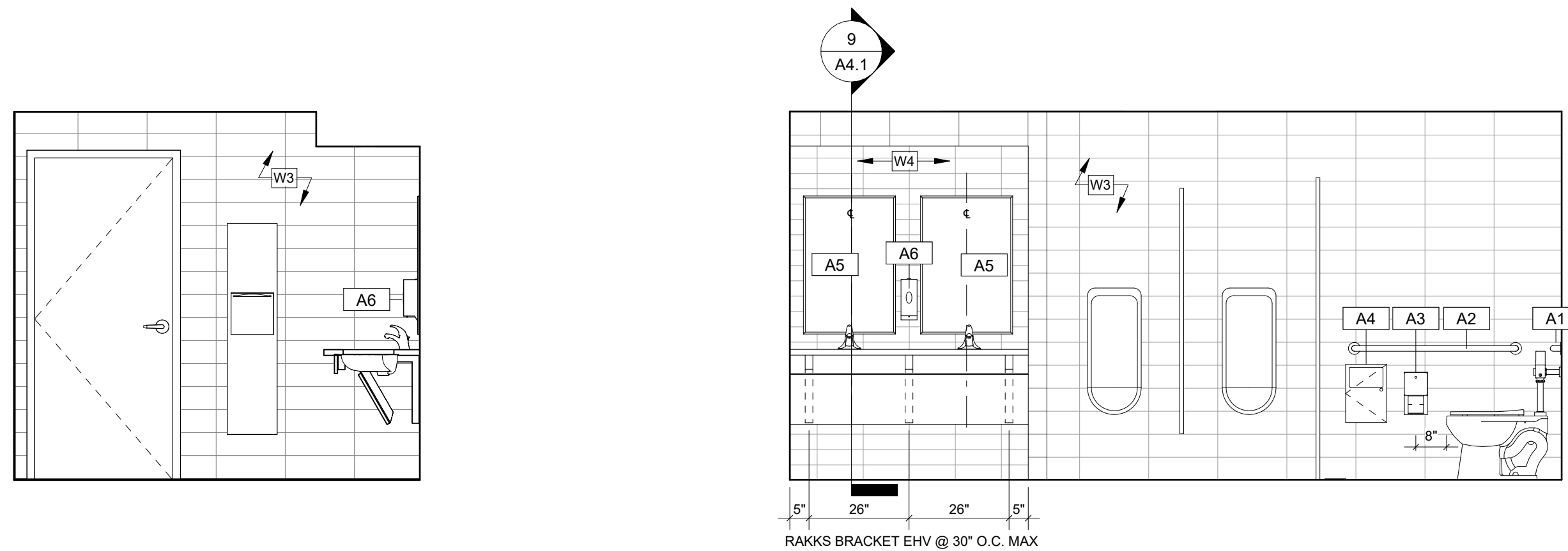
A1.4

DATE:

August 18, 2025



Accessory Mounting Height
1/2" = 1'-0"



NOTE:
PROVIDE OUTSIDE CORNER WALL TRIM AT ALL OUTSIDE CORNERS FINISHED WITH WALL TILE.

BASIS OF DESIGN:
SCHLUTER, QUADEC, SATIN ANODIZED ALUMINUM

Accessory Schedule:

- A1- 36" GRAB BAR - 1 1/4" DIA. - BOBRICK B-5806X36
- A2- 42" GRAB BAR - 1 1/4" DIA. - BOBRICK B-5806X42
- A3- TOILET TISSUE DISPENSER - BOBRICK B-2888
- A4- SANITARY NAPKIN RECEPTACLE - BOBRICK B-254
- A5- 24"x36" MIRROR - BOBRICK B-290 2436.MBLK
- A6- SOAP DISPENSER - BOBRICK B-2111
- A7- RECESSED PAPER TOWEL & WASTE RECEPTACLE - ASI PIATTO 6467-00
- A8- CLOTHES HOOK - BOBRICK B-211
- A9- ADA ENHANCED BOTTLE FILLER WATER COOLER - ELKAY / LZSTL8WSSP
- A10- SOLID PLASTIC TOILET COMPARTMENTS - ASI ACCURATE PARTITION (TP1)
- A11- 24" TOWEL BAR - BOBRICK, B-6747
- A12- SHOWER CURTAIN ROD - BOBRICK B-207
- A13- MOP AND BROOM HOLDER - BOBRICK B-233 x 24
- A14- TWO-WALL GRAB BAR, 1 1/2" DIA. - BOBRICK, B-6861
- A15- L-SHAPE SHOWER SEAT - ASI, #8208-L

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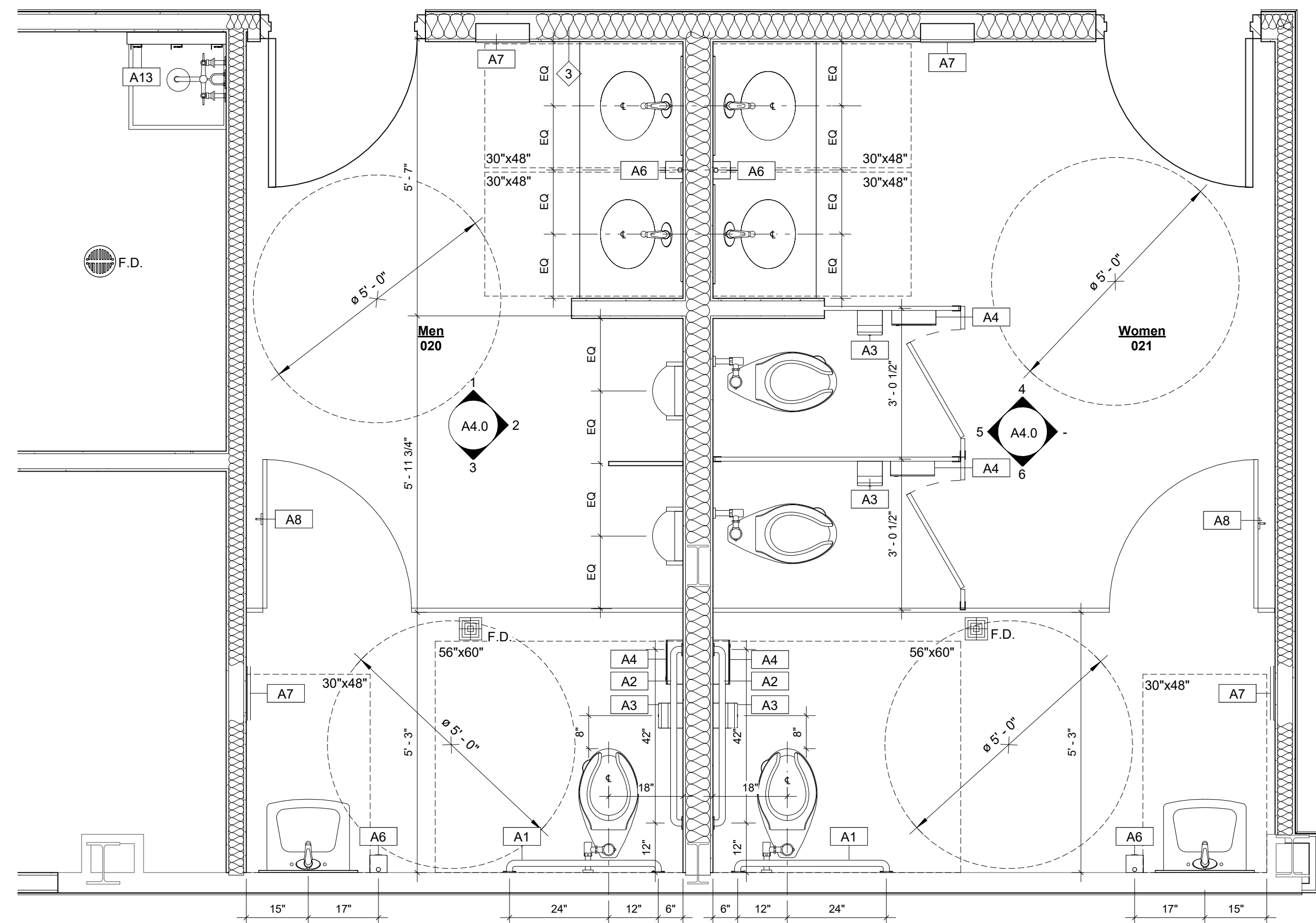
Enlarged Restroom Plans, Elevations & Accessories

SHEET NO.:

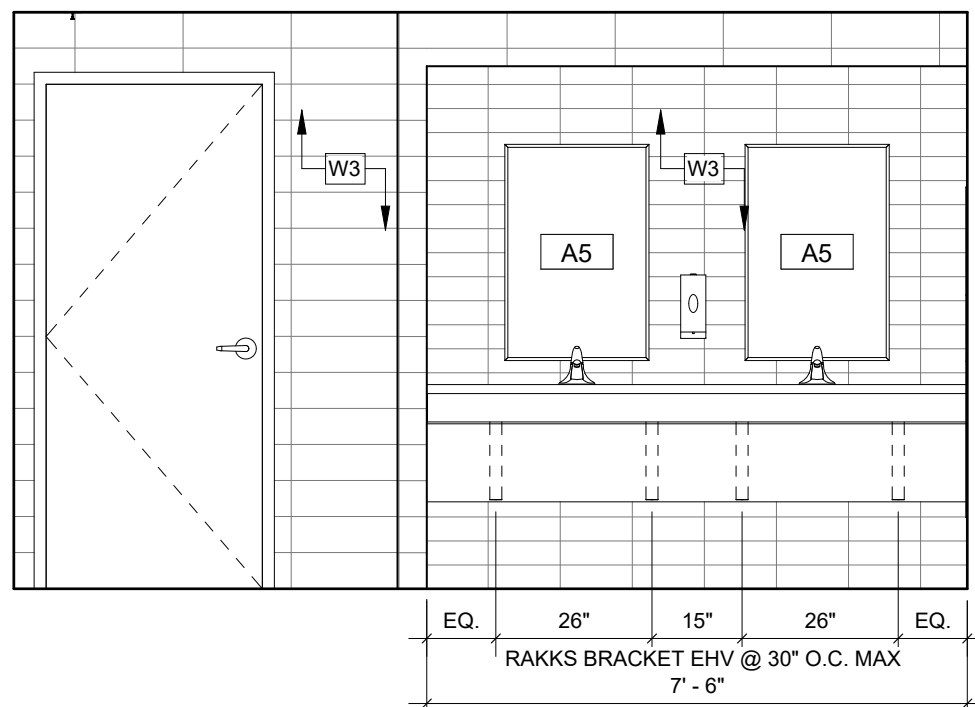
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DATE:

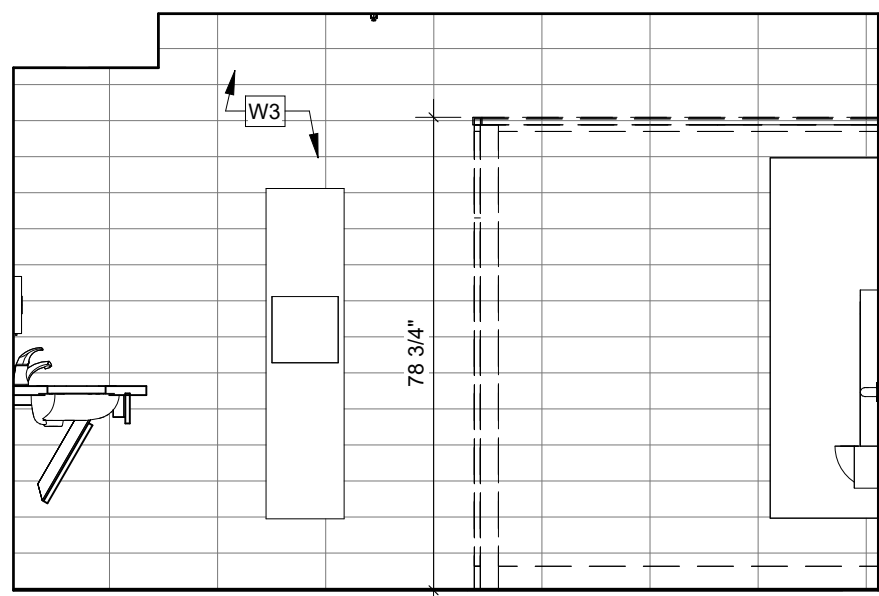
August 18, 2025



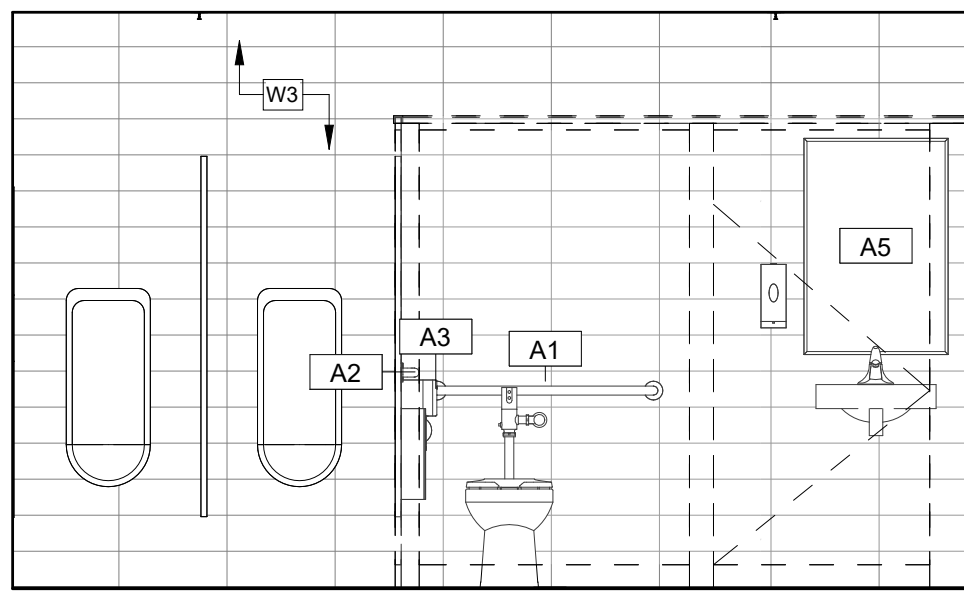
7 Enlarged RR Plan
1/2" = 1'-0"



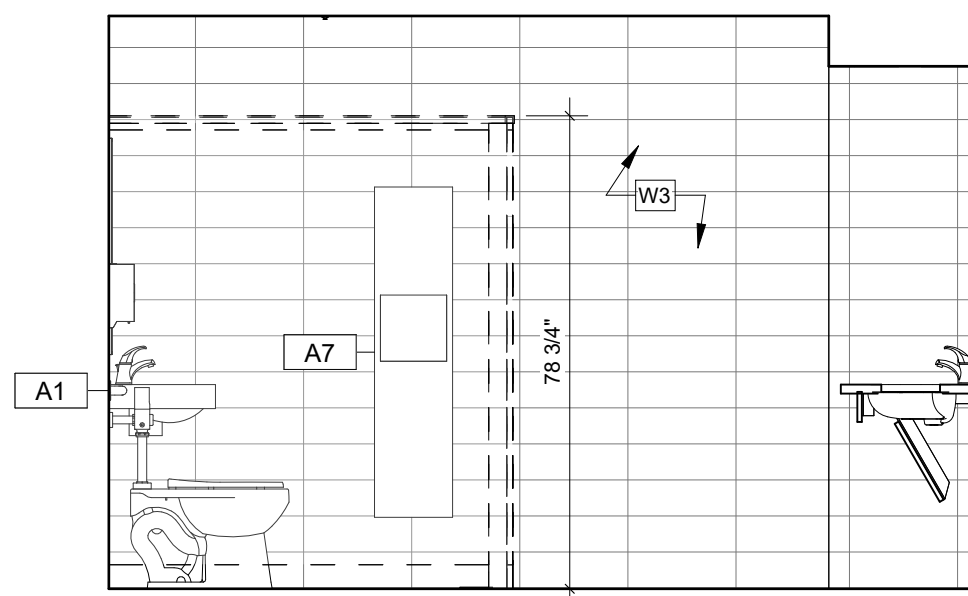
1 Men's Restroom North Elevation
3/8" = 1'-0"



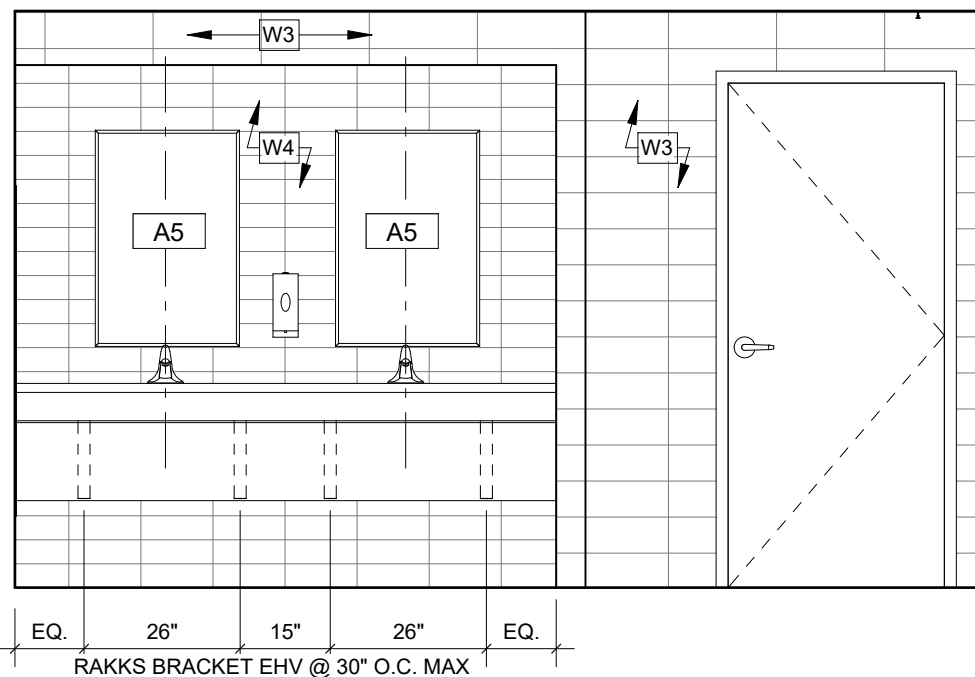
2 Men's Restroom East Elevation
3/8" = 1'-0"



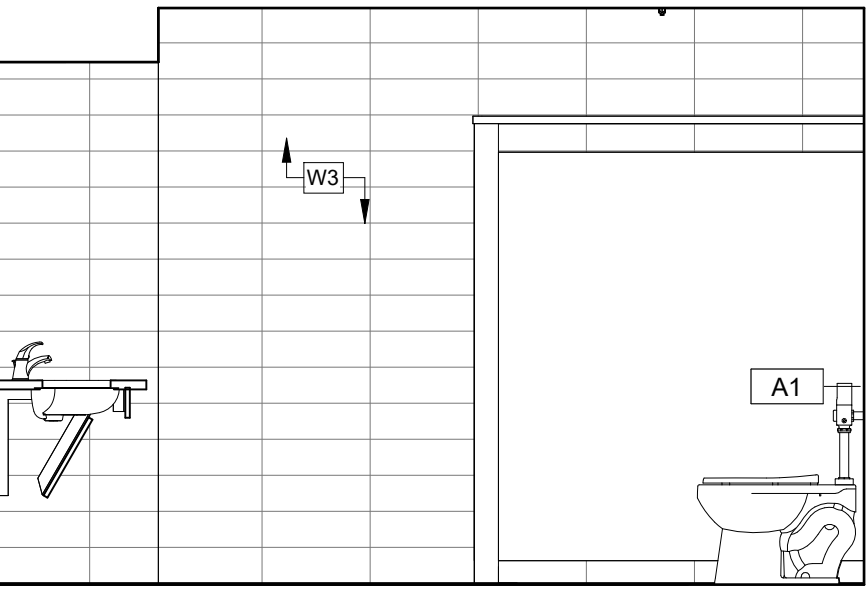
3 Men's Restroom South Elevation
3/8" = 1'-0"



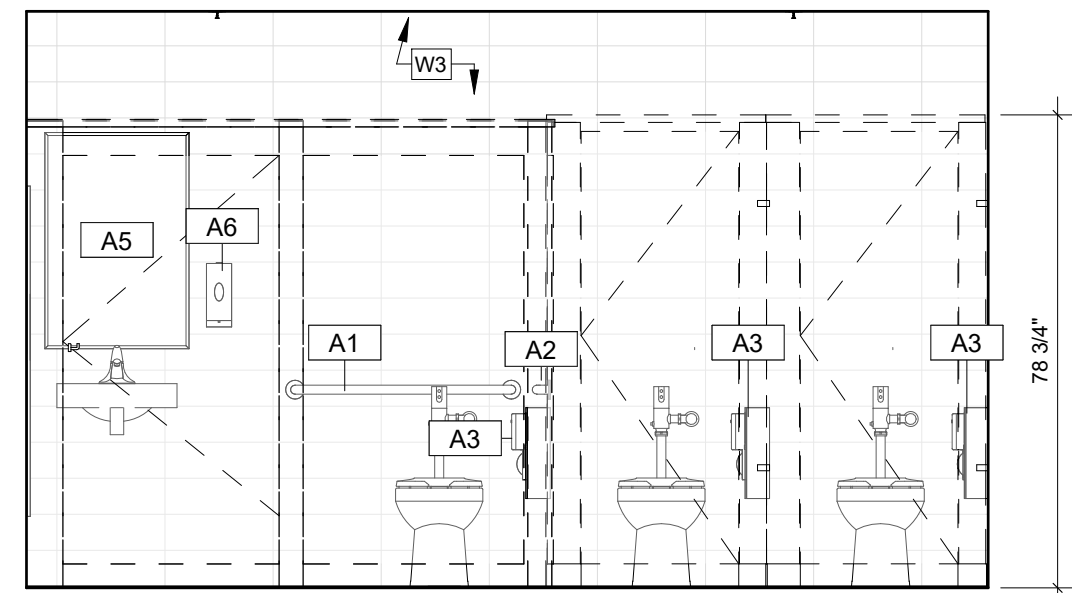
4 Men's Restroom West Elevation
3/8" = 1'-0"



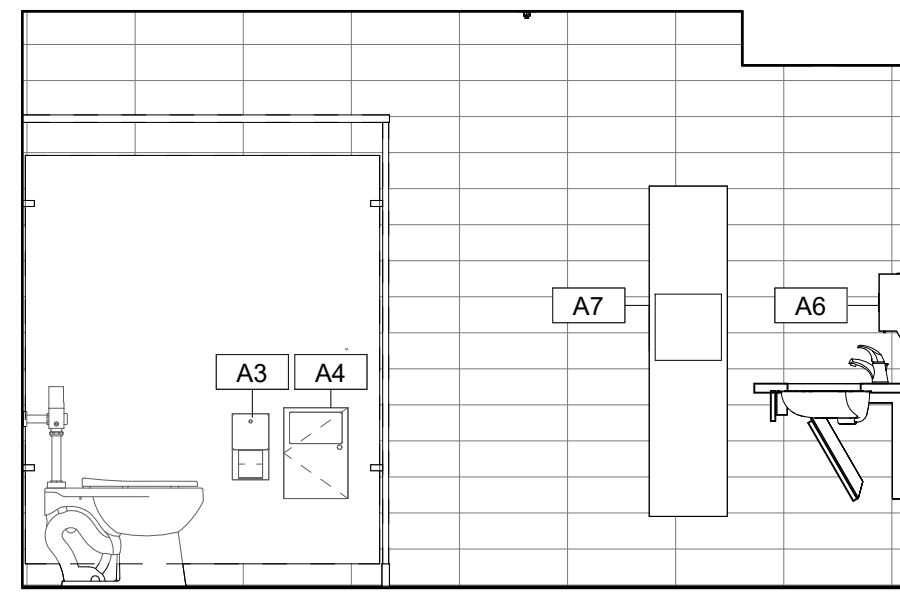
5 Women's Restroom North Elevation
3/8" = 1'-0"



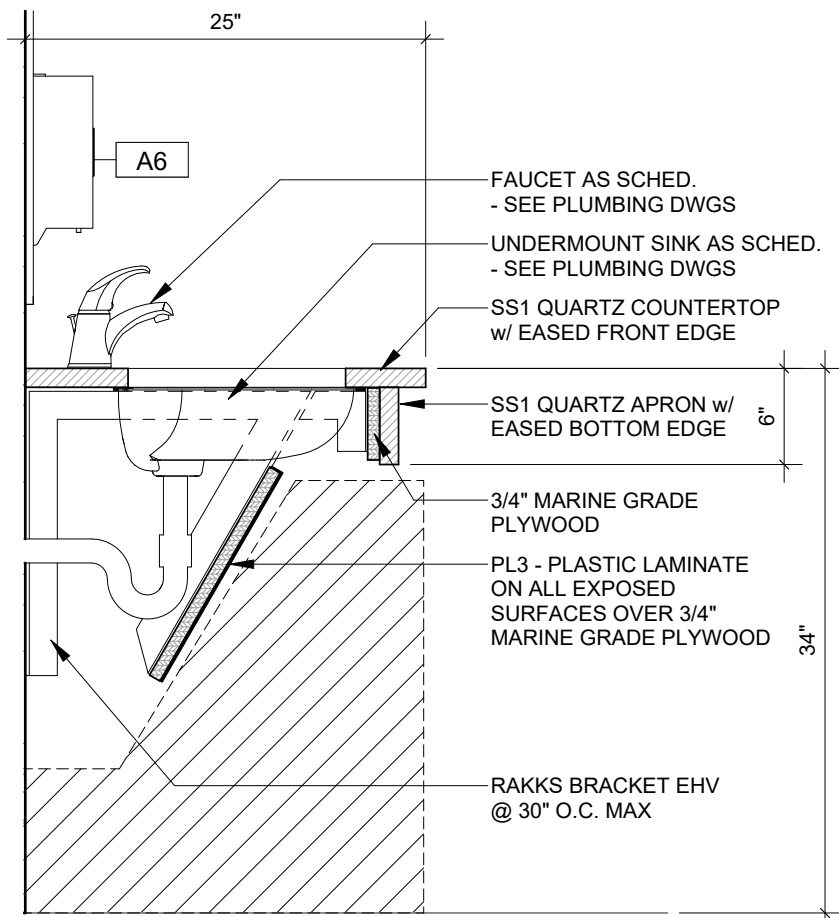
6 Women's Restroom East Elevation
3/8" = 1'-0"



7 Women's Restroom South Elevation
3/8" = 1'-0"



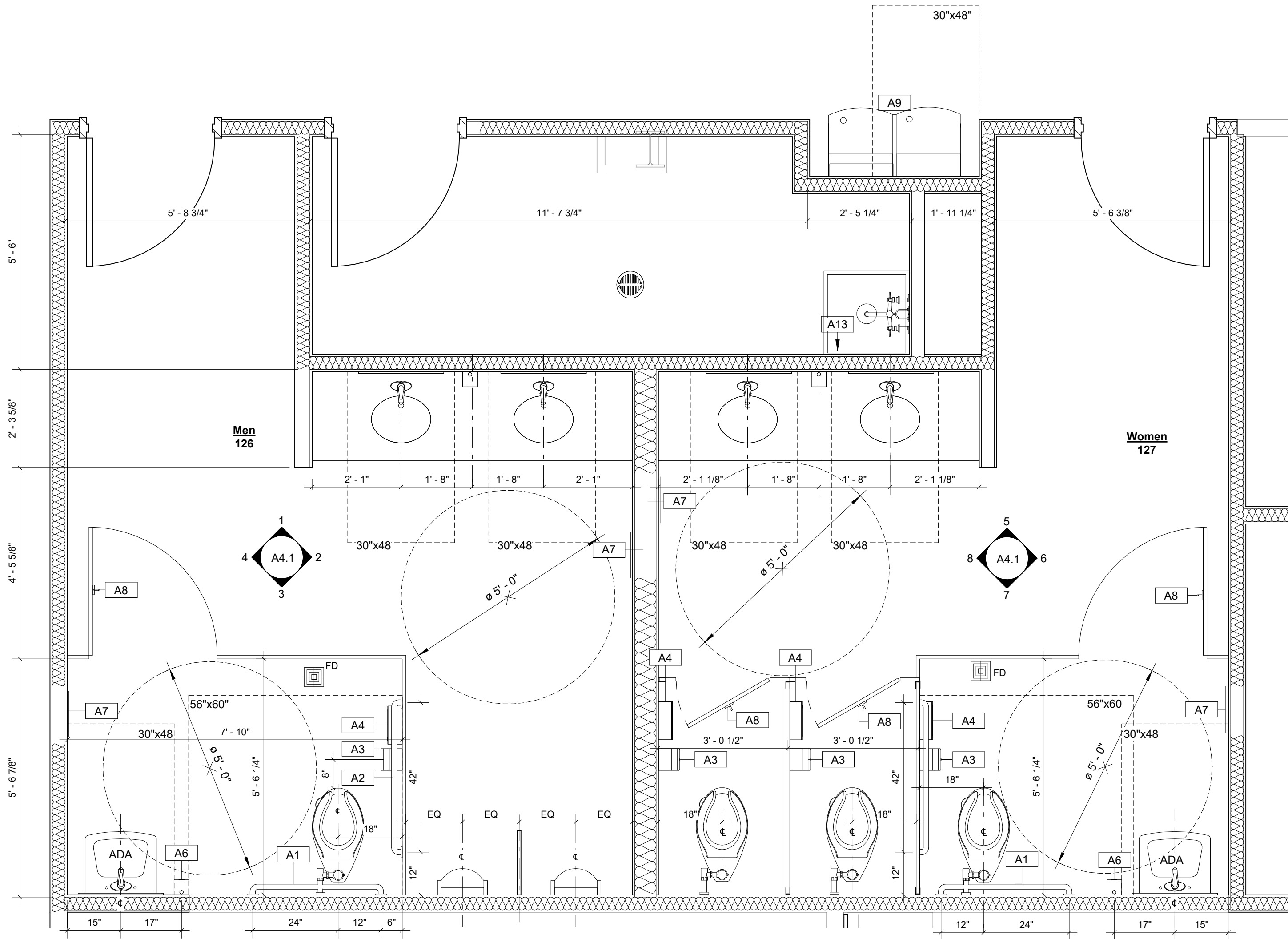
8 Women's Restroom West Elevation
3/8" = 1'-0"



9 Typical Countertop Detail
1" = 1'-0"

BASIS OF DESIGN:
EHV, ADA COMPLIANT VANITY
SUPPORT BRACKET,
STANDARD 18" x 21-1/2", MILL FINISH
MANUFACTURER: RAKKS BRACKET
WWW.RAKKS.COM
781-455-8700

NOTE:
PROVIDE OUTSIDE CORNER WALL TRIM AT ALL
OUTSIDE CORNERS FINISHED WITH WALL TILE.
BASIS OF DESIGN:
SCHLUTER, QUADEC, SATIN ANODIZED ALUMINUM



10 First Level - Enlarged RR Plan
1/2" = 1'-0"

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REVISIONS:

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DRAWING TITLE:

**Enlarged Restroom
Plans, Elevations &
Accessories**

SHEET NO.:

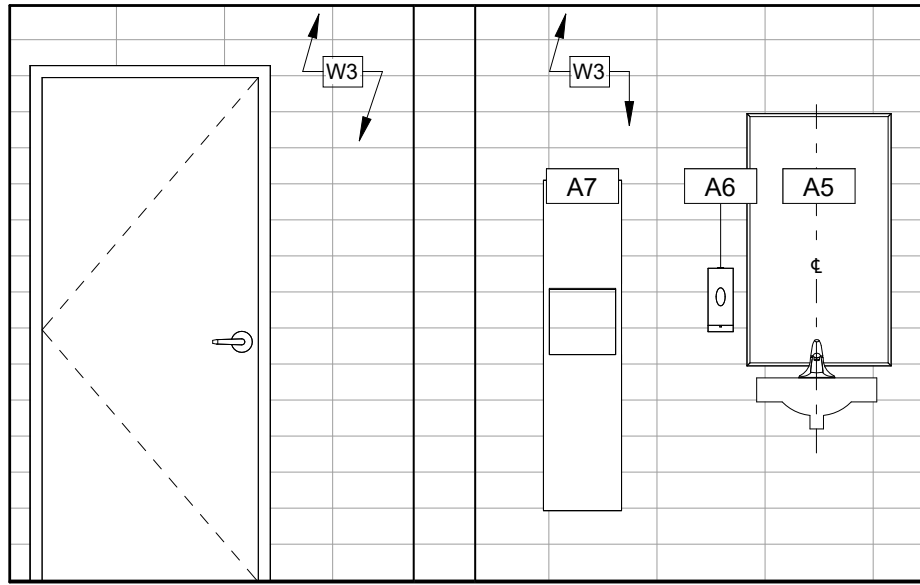
A4.1

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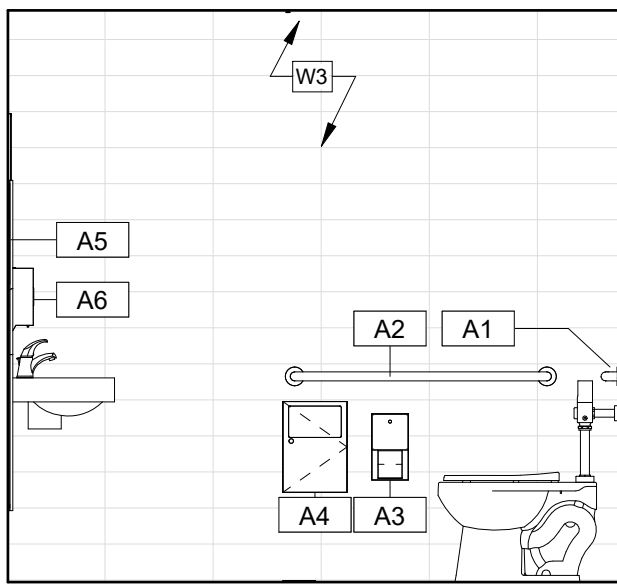
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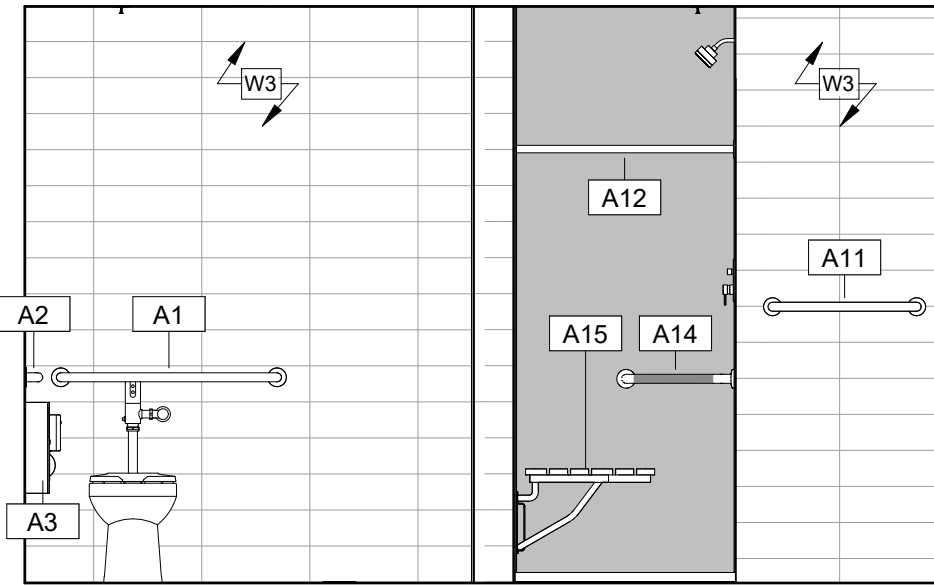
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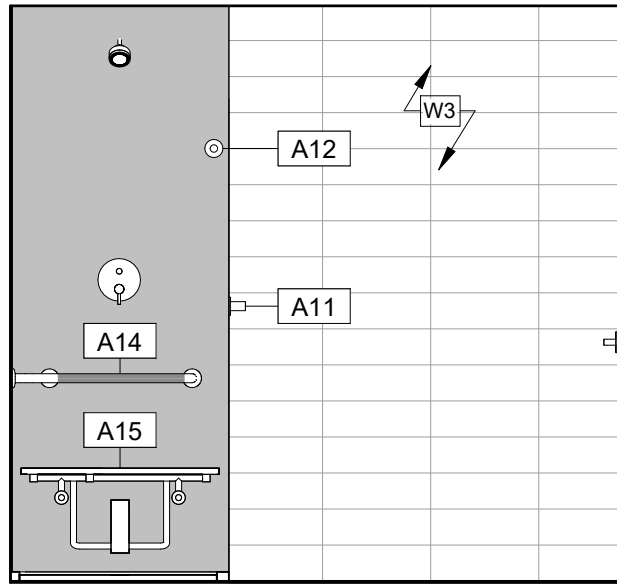
1 Shower South Elevation
3/8" = 1'-0"



2 Shower West Elevation
3/8" = 1'-0"



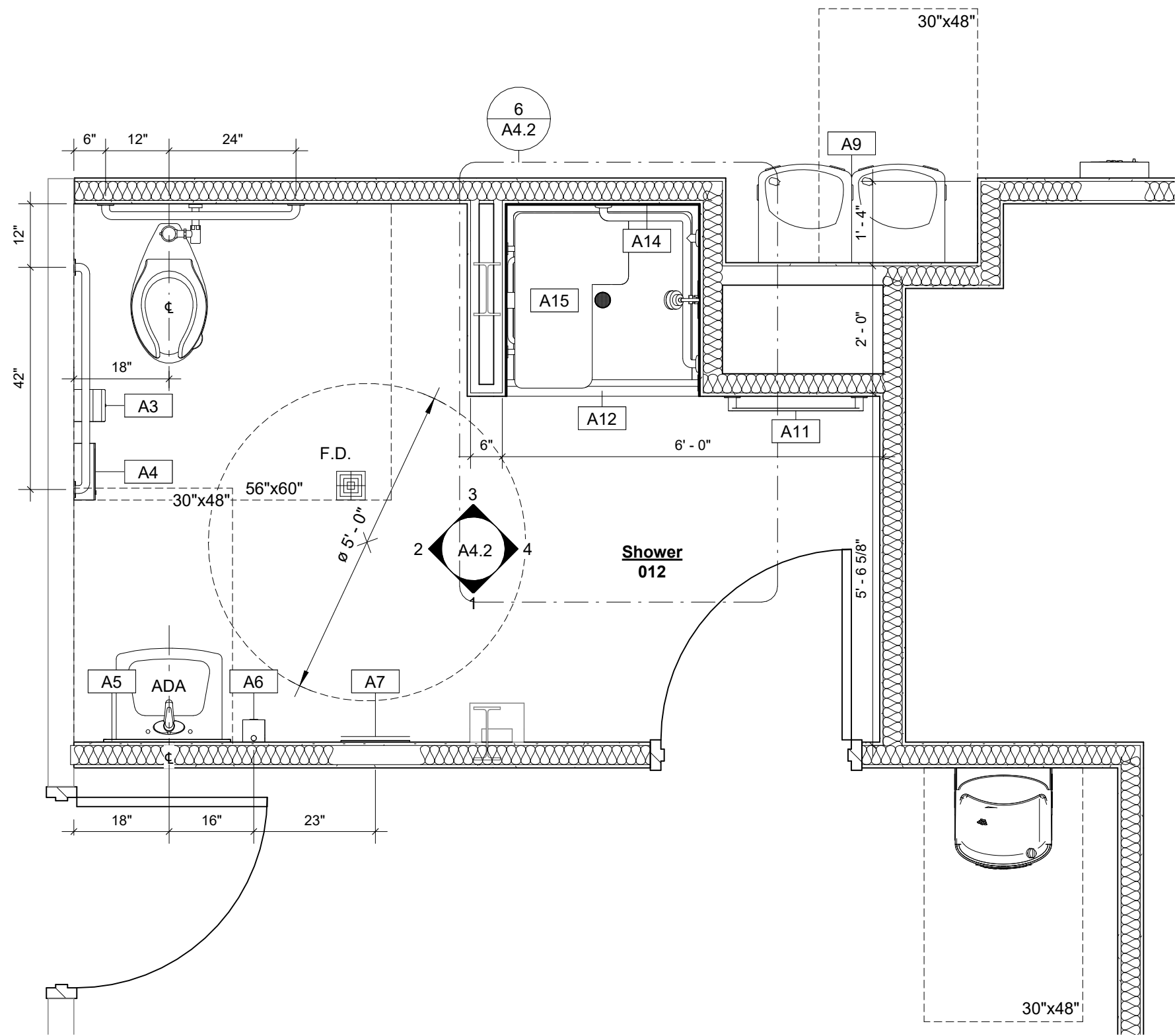
3 Shower North Elevation
3/8" = 1'-0"



4 Shower East Elevation
3/8" = 1'-0"

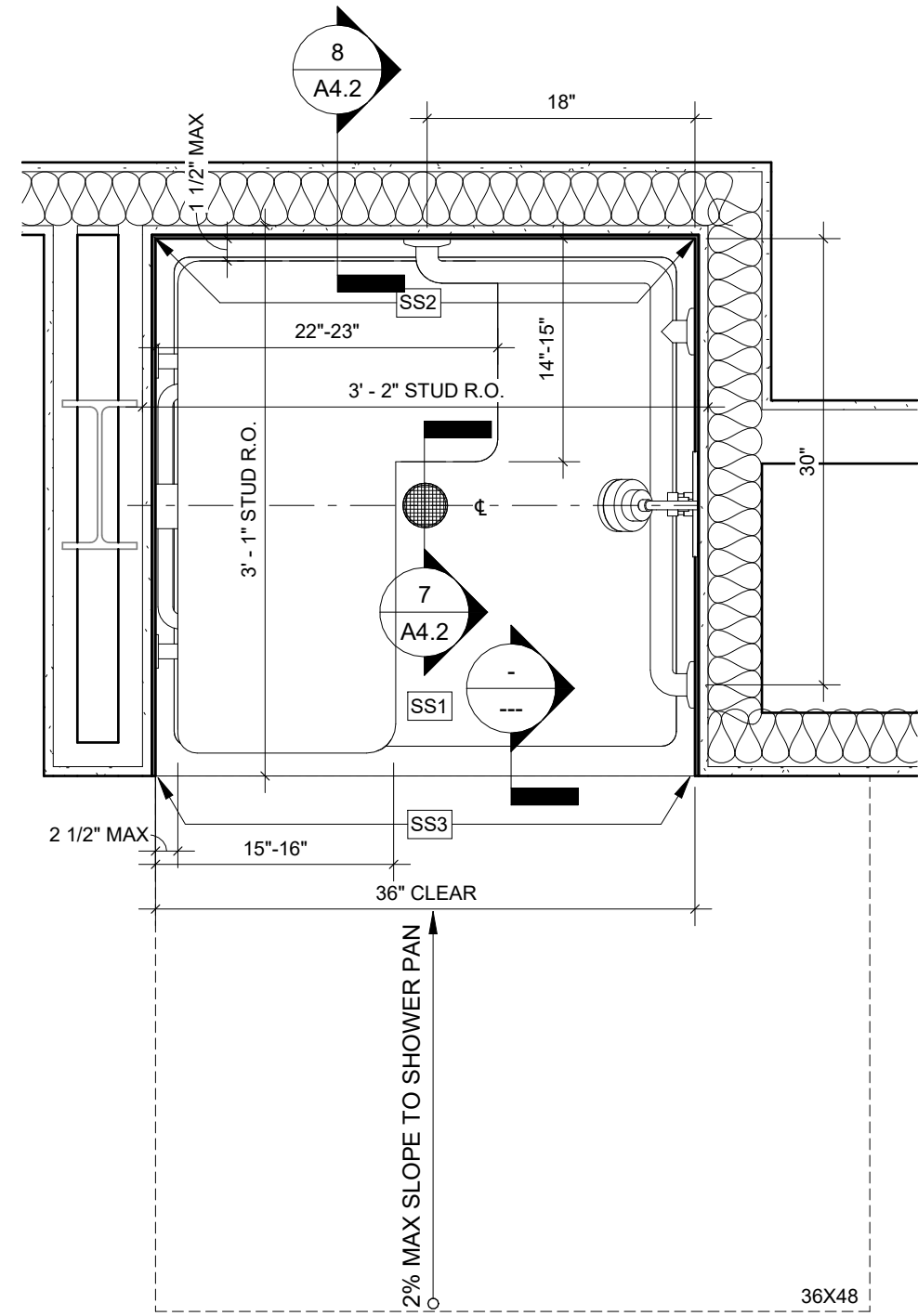
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A4- SANITARY NAPKIN RECEPTACLE - BOBRICK B-254
A5- 24"x36" MIRROR - BOBRICK B-290 2436.MBLK
A6- SOAP DISPENSER - BOBRICK B-2111
A7- RECESSED PAPER TOWEL & WASTE RECEPTACLE - ASI PIATTO 6467-00
A8- CLOTHES HOOK - BOBRICK B-211
A9- ADA ENHANCED BOTTLE FILLER WATER COOLER - ELKAY / LZSTL8WSSP
A10- SOLID PLASTIC TOILET COMPARTMENTS - ASI ACCURATE PARTITION (TP1)
A11- 24" TOWEL BAR - BOBRICK, B-6747
A12- SHOWER CURTAIN ROD - BOBRICK B-207
A13- MOP AND BROOM HOLDER - BOBRICK B-233 x 24
A14- TWO-WALL GRAB BAR, 1 1/2" DIA. - BOBRICK, B-6861
A15- L-SHAPE SHOWER SEAT - ASI, #8208-L



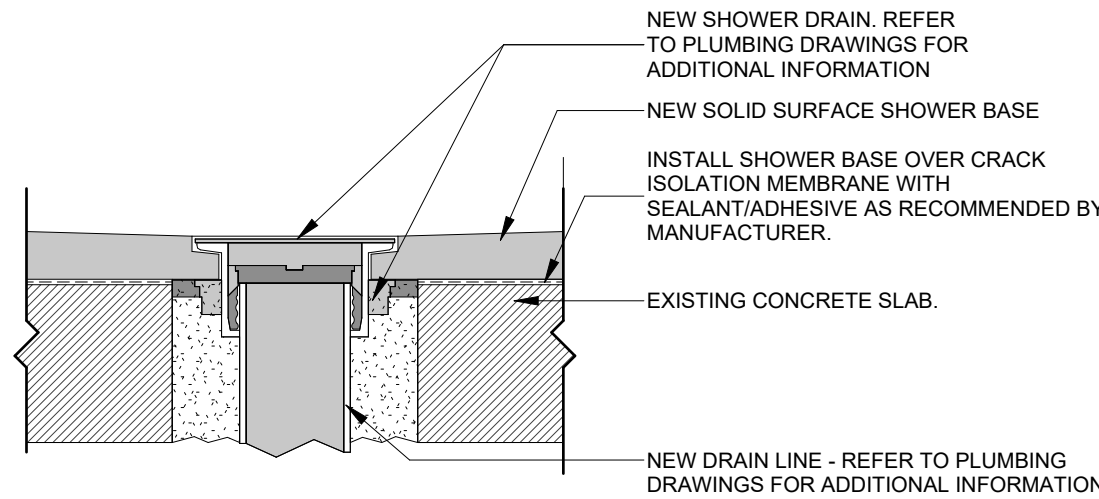
5 Basement Level - Enlarged Shower Plan
1/2" = 1'-0"

NOTE: -ROUGH-IN DIMENSIONS ARE PROVIDED FOR
REFERENCE ONLY. -MEASURE ROUGH OPENING
FROM FACE OF STUD TO VERIFY SHOWER PAN
DIMENSIONS AND DRAIN LOCATION.

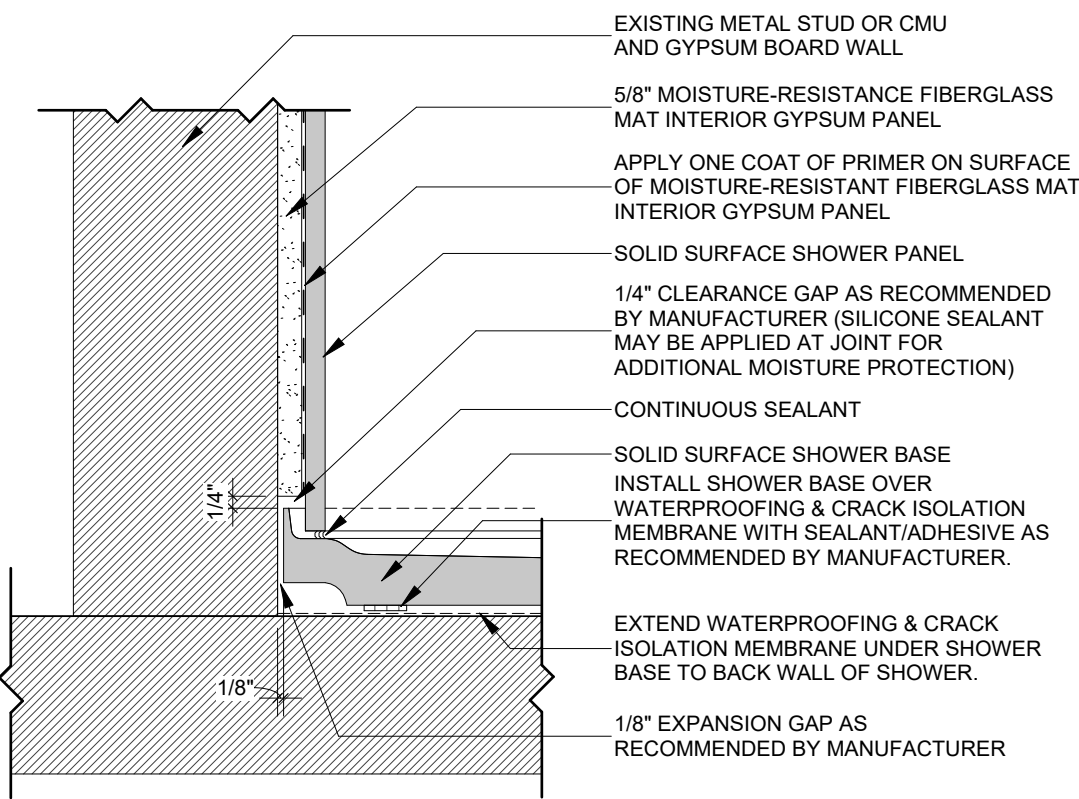


TYPICAL SHOWER PAN BASED ON ROUGH OPENING OF 38" X 37".
NOMINAL SIZE - 38" X 37"
ACTUAL SIZE - 37 3/4" X 36 7/8"
FIELD VERIFY ACTUAL ROUGH OPENING PRIOR TO FABRICATION.

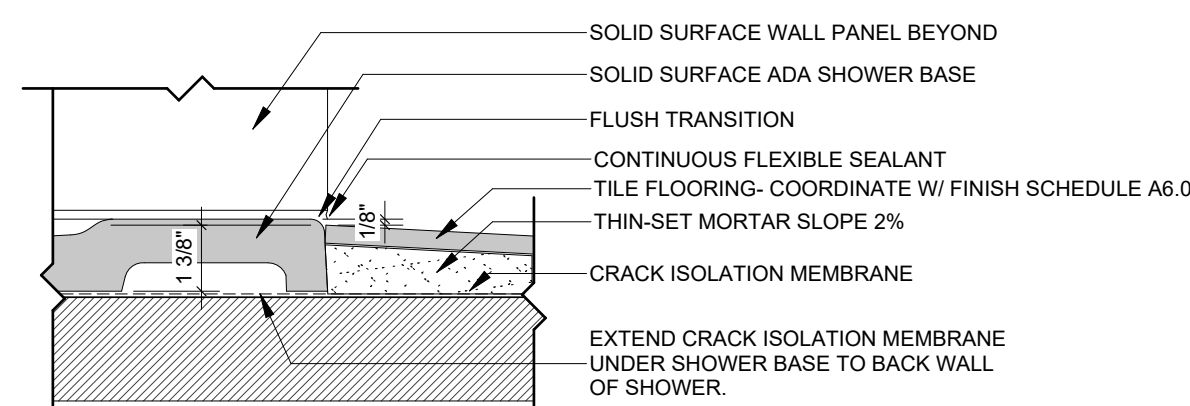
6 Basement Level - Enlarged ADA Shower Pan
1" = 1'-0"



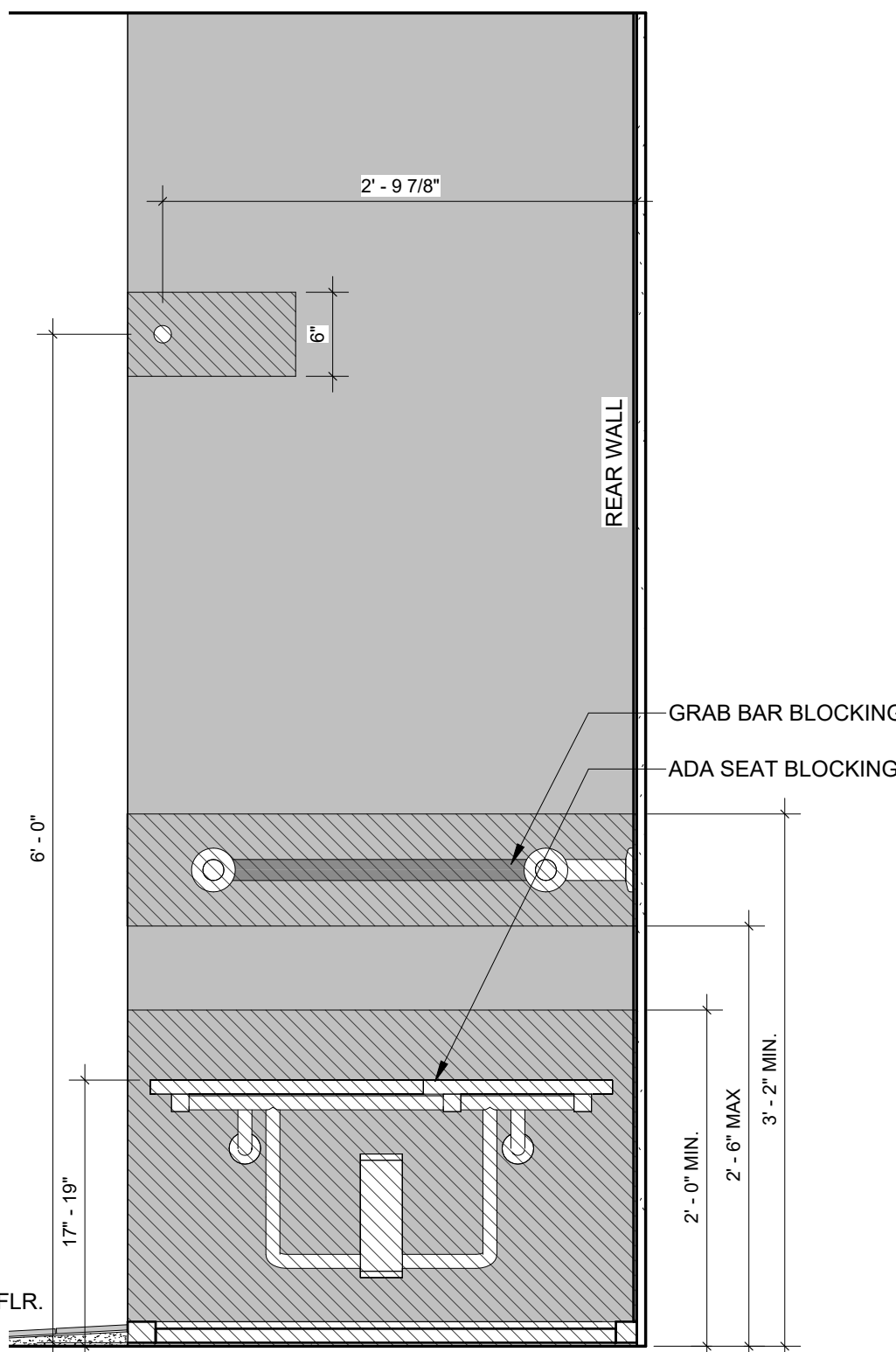
7 Shower Drain Detail
3" = 1'-0"



8 ADA Shower Detail at Stud Wall
3" = 1'-0"



9 Shower Pan Curb Detail - ADA SLOPE UP
3" = 1'-0"



10 Typical Blocking Diagram
1" = 1'-0"

Finish & Equipment Schedule					
Mark	Description	Size	Basis of Design	Color	Remarks
SS-1	Solid Surface Shower Bath Assembly	Field Verify	Onyx Collection	Juliana	Alternate: Swanstone, Color - TBD
SS-2	Solid Surface Corner Trim - Inside Corner	1" - inside	Onyx Collection	Juliana	Alternate: Swanstone, Color - TBD
SS-3	Solid Surface Corner Trim - Outside Corner	90° - outside	Onyx Collection	Juliana	Alternate: Swanstone, Color - TBD

SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

DRAWN: JH/MP

CHECKED: BD/ML

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DRAWING TITLE:

**Enlarged Restroom
Plans, Elevations &
Accessories**

SHEET NO.:

A4.2

DATE:

August 18, 2025

Finish Schedule - Basement Level										
Number	Name	Base Finish	Floor Finish	North Wall	East Wall	South Wall	West Wall	Ceiling Finish	Ceiling Height	Notes
000A	Corr.	RB1	CT1	W1	W5	W1	W1	ACT1	8'-0"	
000B	Corr.	RB1	CT1	W1	W1	W5	W1	ACT1	8'-0"	
000C	Corr.	RB1	CT1	W1	W1	W1	W5	ACT1	8'-0"	
000D	Corr.	RB1	CT1	W5	W1	W1	W1	ACT1	8'-0"	
000E	Corr.	RB1	CT1	W1	W1	W1	W1	ACT1	9'-0"	
000F	Corr.	RB1	CT1	W1	W1	W1	W1	ACT1	8'-0"	
000G	Stair	RB1	CT2	W1	W1	W1	W1	ACT1	8'-0" / Varies	
000H	Stair	RB1	CT2	W1	W1	W1	W1	ACT1	8'-0" / Varies	
001	Copy Room	RB1	LVT1	W1	W1	W1	W1	ACT1	8'-0"	
002A	Break	RB1	LVT1	W5	W1	W1	W1	ACT1	9'-6"	
002B	Break	RB1	LVT1	W5	W1	W1	W1	ACT1	9'-6"	
002C	Corr.	RB1	LVT1	W1	W1	W1	W1	ACT1	9'-6"	
003	Furniture Storage	RB1	SC	W1	W1	W1	W1	ACT2	9'-0"	
004	Multi-Purpose	RB1	CT1	W5	W1	W1	W1	ACT3 / GB1	9'-0"/9'-6"	
004A	Riser Room	RB1	SC	W1	W1	W1	W1	GB1	Varies	
005	Storage	RB1	SC	W1	W1	W1	W1	ACT1	9'-0"	
006	Elec.	EX	EX	EX	EX	EX	EX	EX	EX	
007	Work Room	RB1	CT1	W1	W1	W1	W1	ACT1	8'-0"	
008	Office	RB1	CT1	W1	W1	W5	W1	ACT1	8'-0"	
009	Office	RB1	CT1	W1	W1	W5	W1	ACT1	8'-0"	
010	Office	RB1	CT1	W1	W1	W5	W1	ACT1	8'-0"	
011	Gym	RB1	RF1	W1	W1	W5	W1	ACT1	8'-0"	
012	Shower	-	PFT1	W3	W3	W3	W3	GB1	8'-0"	
013	Mech.	RB1	SC	W1	W1	W1	W1	ACT1	8'-0"	
014	Viewing Room	RB1	CT1	W1	W1	W5	W1	ACT1	8'-0"	
015	Office	RB1	CT1	W1	W1	W1	W1	ACT1	8'-0"	
016A	Video/Webinar	RB1	CT1	W1	W1	W5	W1	ACT1	8'-0"	
017	Storage	RB1	SC	W1	W1	W1	W1	ACT1	8'-0"	
018	Storage	RB1	SC	W1	W1	W1	W1	ACT1	8'-0"	
019	Janitor	RB1	SC	W1	W1	W1	W1	ACT1	8'-0"	
020	Men	-	PFT1	W3	W3 / W4	W3	W3	ACT1	8'-0"	
021	Women	-	PFT1	W3	W3	W3	W3/W4	ACT1	8'-0"	

Finish Schedule - First Level										
Number	Name	Base Finish	Floor Finish	North Wall	East Wall	South Wall	West Wall	Ceiling Finish	Ceiling Height	Notes
100	Lobby	RB1	CT1 / PFT1	W1	W1	W1	W1	ACT1	9'-0"	
100A	Corr.	RB1	CT1	W1	W1	W1	W1	ACT1	8'-8"	
100B	Corr.	RB1	CT1	W1	W1	W1	W1	ACT1	9'-4"	
100C	Corr.	RB1	CT1	W1	W5	W1	W1	ACT1	9'-6"	
100D	Corr.	RB1	CT1	W1	W1	W1	W1	ACT1	9'-6"	
100E	Corr.	RB1	CT1	W1	W1	W1	W5	ACT1	9'-6"	
100F	Corr.	RB1	CT1	W1 / W5	W1	W1	W1	ACT1	9'-4"/9'-6"	
100G	Corr.	RB1	CT1	W1	W1	W5	W1	GB1	9'-1"	
100H	Stair	RB1	CT1	W1	W1	W1	W1	GB1	9'-1"	
100J	Stair	RB1	CT2	W1	W1	W1	W1	ACT1	9'-1"	
101	Office 1	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
102	Office 2	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
103	Executive	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
104	L Office 1	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
105	L Office 2	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
106	L Office 3	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
107	L Office 4	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
108	Office 5	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
109	Office 6	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
110	Office 7	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
111	Office 8	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
112	L Office 5	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
113	Office 9	RB1	CT1	W5	W1	W1	W1	ACT1	9'-0"	
114	Office 10	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
115	Office 11	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
116	Office 12	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
117	Office 13	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
118	Office 14	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
119	Office 15	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
120	Office 16	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
121	Office 17	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
122	Office 18	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
123	Office 19	RB1	CT1	W1	W1	W5	W1	ACT1	9'-0"	
124	Mechanical	EX	EX	EX	EX	EX	EX	EX	EX	
125	Electrical	EX	EX	EX	EX	EX	EX	EX	EX	
126	Men	-	PFT1	W3 / W4	W3	W3	W3	ACT1	8'-0"	
127	Women	-	PFT1	W3 / W4	W3	W3	W3	ACT1	8'-0"	
128	Janitor	RB1	SC	W1	W1	W1	W1	ACT1	8'-0"	
129	Office 4	RB1	CT1	W1	W1	W1	W1	ACT1	9'-0"	
130	Office 3	RB1	CT1	W1	W1	W1	W1	ACT1	9'-0"	
131	Conference	RB1	CT1	W1	W1	W1	PL1	ACT1	9'-0"	
132	Office 20	RB1	CT1	W1	W1	W1	W1	ACT1	9'-0"	
133	Storage	RB1	CT1	W1	W1	W1	W1	ACT1	9'-0"	
134	Office 21	RB1	CT1	W1	W1	W1	W1	ACT1	9'-0"	
135	Open Office	RB1	CT1	W1	-	W5	-	ACT2	9'-0"	
136	Print Station	RB1	PFT1	W1	W1	W1	W1	ACT2	9'-0"	
137	Coffee Bar	RB1	PFT1	W1	PL1	W1	-	GB1	8'-0"	

Equipment Schedule						
No.	Name	Manufacturer	Model	Finish	Owner Provided / Installed	Owner Provided / GC Installed
EQ-1	Under Counter Refrigerator	Summit Appliance	AL54CSS	Stainless Steel		•
EQ-2	Refrigerator	Bosch	B36CT80SNS	Stainless Steel		•
EQ-3	Microwave - Built-In	Bosch	HMB30155UC	Stainless Steel		•
EQ-4	Oven - Wall	Bosch	HL5455LUC	Stainless Steel		•
EQ-5	30" Hood	Accurex	XRRS	Stainless Steel		•
EQ-6	Cooktop	Bosch	NET8069UC	Stainless Steel		•
EQ-7	Dishwasher	Bosch	SGE53C55UC	Stainless Steel		•
EQ-8	Coffee Maker - Break Room	TBD	TBD	TBD		•
EQ-9	Coffee Maker - Coffee Bar	TBD	TBD	TBD		•
EQ-10	Copier - Copy Room	TBD	TBD	TBD		•
EQ-11	Copier - Printer Room	TBD	TBD	TBD		•
EQ-12	65" T.V. Monitor	TBD	TBD	TBD		•
EQ-13	42" T.V. Monitor	TBD	TBD	TBD		•

Interior Finish Schedule Legend:

Floors:
CT1 - CARPET TILE: SHAW CONTRACT, HAND DRAWN, LINEWEIGHT TILE 18X36 (5T114), GRAPHITE (13510)
CT2 – BROADLOOM CARPET: SHAW CONTRACT, HAND DRAWN, CONTE (5A213), GRAPHITE (13510)
PFT1 - PORCELAIN TILE: DALTILE, MARBLE ATTACHE LAVISH, DIAMOND CARRAR MA70, SATIN OR POLISHED FINISH, 24X24, GROUT: TBD
LVT1 – LVT: SHAW CONTRACT, EMERGE (0618V), TALC PLATINUM (18535), 24X24
RF1 - RUBBER FLOORING: THOR PERFORMANCE ROLLED RUBBER FLOORING, 9MM, COLOR: TPR 1 (ALPHA)
SC - SEALED CONCRETE

Wall Base:
RB1- RUBBER BASE: TARKETT JOHNSONITE MILLWORK REVEAL, 4.25" REVEAL MW-XX-F, COLOR: TB1 PEPPER CORN
RB1 (ALT) - RUBBER BASE: SHAW SCULPTED WALL BASE, 150VS, COLOR: FLINT 00790
TB1 – PORCELAIN TILE BASE: DALTILE, MARBLE ATTACHE LAVISH, DIAMOND CARRAR MA70, SATIN OR POLISHED FINISH, FLOOR BULLNOSE S43F9, 3X24

Walls:
W1 - GYPSUM BOARD: PAINTED PT1
W2 - ACCENT PANELS: PL1
W3 - PORCELAIN TILE: DALTILE, ANNAPOLIS REMIX, SAIL AP06, GLOSSY, 6X18, GROUT: TBD
W4 - PORCELAIN TILE: DALTILE, MYTHOLOGY, TITAN RECTANGLE UNDULATED, MY96, GLOSSY, 4X12, GROUT: TBD
W5 - GYPSUM BOARD: PAINTED PT2

Ceiling:
ACT1 – ACOUSTICAL CEILING TILE: ARMSTRONG, OPTIMA TEGULAR, 24X24, ITEM 3251M WHITE, W/ 9/16 GRID
ACT2 - ACOUSTICAL CEILING TILE: ARMSTRONG, LYRA PB TEGULAR ACOUSTICAL PANELS (CUSTOM PATTERN), 9/16 SUPRAFINE CEILING GRID, 6" AXIUM CLASSIC STRAIGHT PERIMETER TRIM, WHITE
ACT3 - ACOUSTICAL CEILING TILE: ARMSTRONG DESIGN FLEX GEOMETRIC ACOUSTICAL CEILING TILES, WHITE
GB1 - GYPSUM BOARD: PAINTED, PT3

Doors:
D1 - DOOR FRAMES: PAINT PT2
D2 - DOORS: SOLID CORE DOORS WITH PLASTIC LAMINATE (PL1) FACES

Toilet Partition:
TP1 – ASI ACCURATE PARTITIONS, ALPACO CLASSIC COLLECTION, BURNT STRAND (5107)

Paint:
PT1 – FIELD COLOR: SHERWIN WILLIAMS, EIDER WHITE SW7014
PT2 – ACCENT COLOR: SHERWIN WILLIAMS, GALE FORCE SW7605
PT3 – CEILING: SHERWIN WILLIAMS, CEILING BRIGHT WHITE SW 7007
PT4 – DOOR FRAMES & WINDOW SILLS: SHERWIN WILLIAMS, BLACK FOX SW7020

Solid Surface:
SS1 - WILSONART, QUARTZ, COLOR: MADEIRA BEACH Q4054

Storefront:
FA - FACTORY FINISH, DARK BRONZE

Plastic Laminate:
PL1 - CABINETS/WALLS/DOORS: WILSONART, MONTANA WALNUT 7110K-78
PL2 – COUNTERTOP: WILSONART, MUSHROOM 5013K-19, LENO WEAVE FINISH
PL3 - SINK SHROUD: WILSONART, BATTLESHIP 5014K-19, LENO WEAVE FINISH

Flooring Transition Strip:
FTS1 - TARKETT METAL EDGE TRIOS, MET02

Specialty Light Fixtures:
LF1 – LUMOS, ZEBRAWOOD/WG-04

Roller Shade:
RS1 - DRAPER FLEX SHADE, 3% PHIFFER SHEARWEAVE, POV WHITE PLATINUM, W/ FASCIA COVER SURFACE

General:
EX - EXISTING TO REMAIN

Interior Finish Schedule Notes:

- 1. EPOXY PAINT
- 2. SEE REFLECTED CEILING PLAN
- 3. TILE BACKER BOARD SHALL BE USED AT WALL LOCATIONS TO RECEIVE TILE FINISH.



SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

DRAWN: JH/MP

CHECKED: BD

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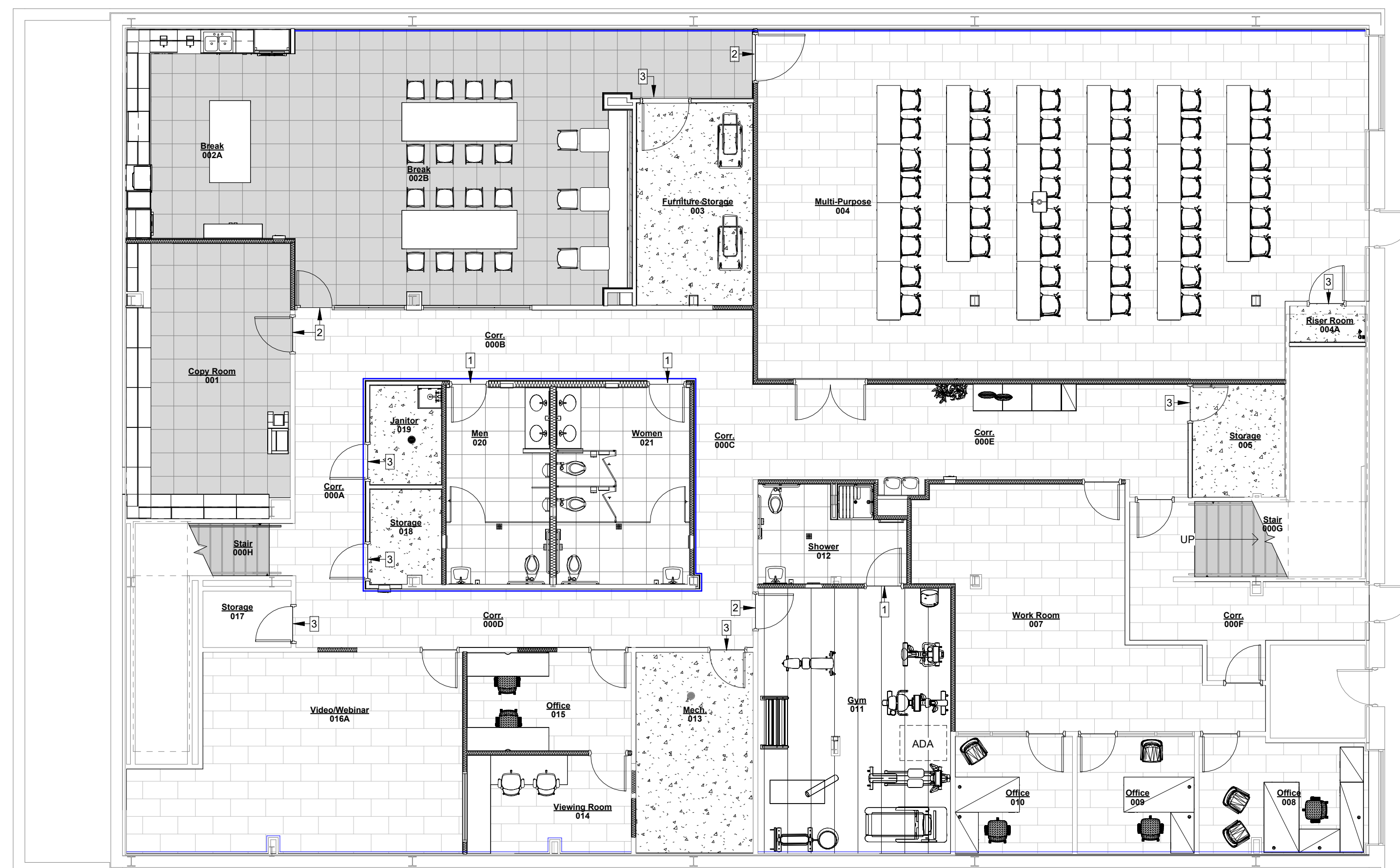
Finish Schedules

SHEET NO.:

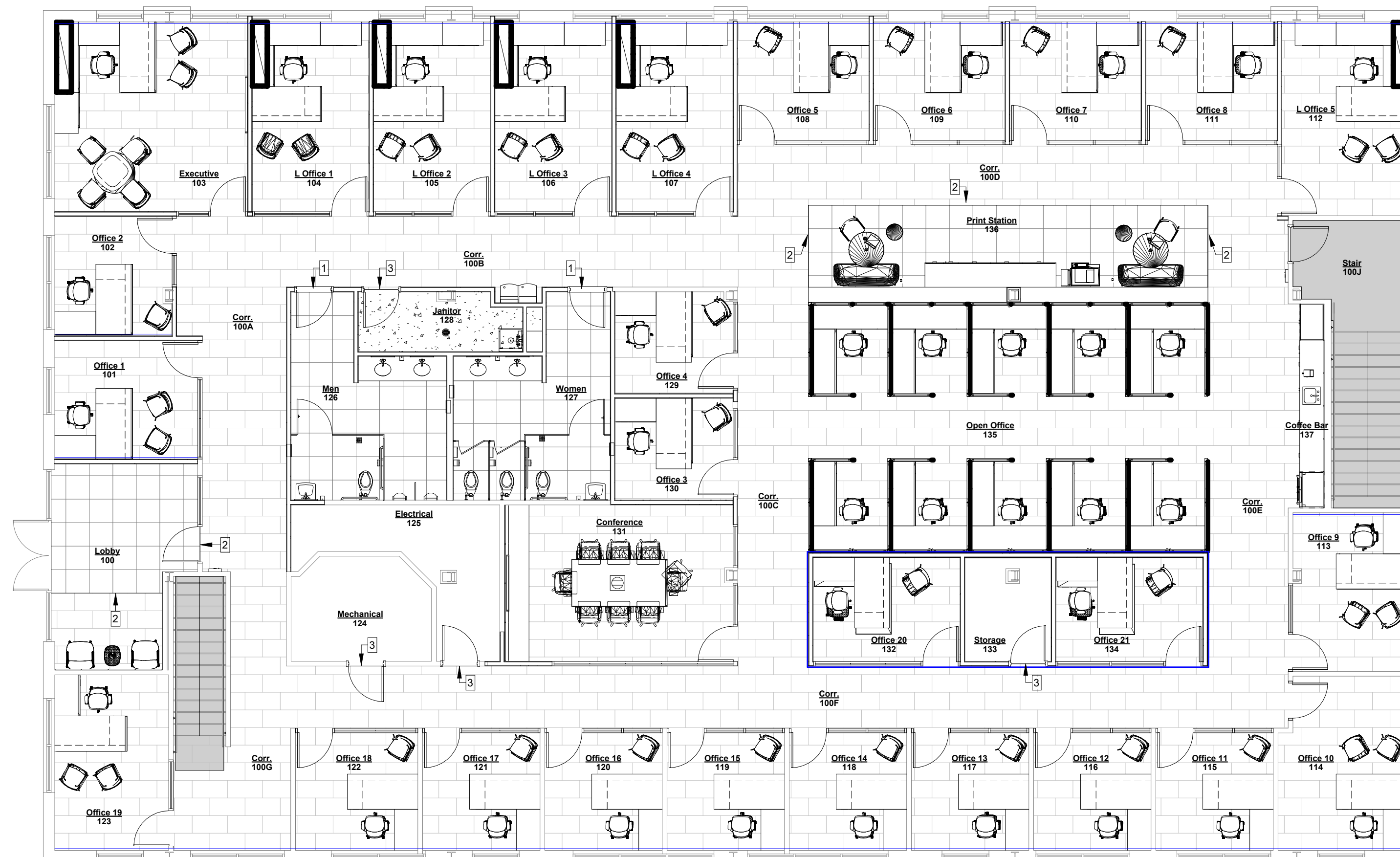
A6.0

DATE:

August 18, 2025



1 Basement Level - Finished Floor Plan
1/8" = 1'-0"



2 First Level - Finish Floor Plan
1/8" = 1'-0"

Finish Plan Legend:

CT1 - 18" x 36" CARPET

PFT1 - 24" x 24" PORCELAIN TILE

RF1 - 4" x 50" RUBBER FLOORING

LVT1 - 24" x 24" LUXURY VINYL FLOORING

SC - SEALED CONCRETE

EX - EXISTING FLOORING TO REMAIN

CT2 - BROADLOOM CARPET

ACCENT WALL PAINT - PT2

Finish Plan Keynotes:

- 1 MARBLE THRESHOLD
- 2 RUBBER THRESHOLD / TRANSITION (FTS1)
- 3 FLOORING REDUCER

OWNER TO PROVIDE FINAL APPROVAL OF THE LOCATION OF ALL ACCENT WALLS.

Door Schedule - Basement Level														
Number	Elevation	Width	Height	Thickness	Material	Finish	Frame Elevation	Head	Jamb	Thr.	Frame Material	Frame Finish	Hardware Set	Notes
000G	B	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	24/A6.2	HM	PT	HW-4	2
001	B	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	25/A6.2	HM	PT	HW-1	2
002	B	3' - 0"	7' - 0"	1 3/4"	WD	PL	SF14	5/A6.2	9,10/A6.2	21/A6.2	AL	FA	HW-1	
003	A	4' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	23/A6.2	HM	PT	HW-3	
004A	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	23/A6.2	HM	PT	HW-3	
004B	B	6' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	21/A6.2	HM	PT	HW-6	
004C	A	4' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	21/A6.2	HM	PT	HW-6	
005	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	23/A6.2	HM	PT	HW-3	
007A	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	24/A6.2	HM	PT	HW-1	
007B	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	24/A6.2	HM	PT	HW-1	2
008	B	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	24/A6.2	HM	PT	HW-1	2
009	B	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	24/A6.2	HM	PT	HW-1	2
010	B	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	24/A6.2	HM	PT	HW-1	2
011	B	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	3/A6.2	HM	PT	HW-1	
012	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	4/A6.2	HM	PT	HW-5	
013	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	23/A6.2	HM	PT	HW-3	2
015A	B	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	24/A6.2	HM	PT	HW-1	
015B	B	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	24/A6.2	HM	PT	HW-1	
016A	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	24/A6.2	HM	PT	HW-1	
017	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	23/A6.2	HM	PT	HW-3	2
018	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	23/A6.2	HM	PT	HW-3	
019	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	23/A6.2	HM	PT	HW-3	
020	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	4/A6.2	HM	PT	HW-4	
021	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	4/A6.2	HM	PT	HW-4	

Door Schedule - First Level														
Number	Elevation	Width	Height	Thickness	Material	Finish	Frame Elevation	Head	Jamb	Thr.	Frame Material	Frame Finish	Hardware Set	Notes
100	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF1	5/A6.2	9,10/A6.2	25/A6.2	AL	FA	HW-2	1
100J	A	3' - 0"	8' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	24/A6.2	HM	PT	HW-4	
101	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF2	5/A6.2	9,10/A6.2	21/A6.2	AL	FA	HW-1	
102	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF3	5/A6.2	10,13/A6.2	21/A6.2	AL	FA	HW-1	
103	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF3	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
104	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF4	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
105	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF4	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
106	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF4	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
107	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF4	5/A6.2	10,15/A6.2	21/A6.2	AL	FA	HW-1	
108	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF5	5/A6.2	10,16/A6.2	21/A6.2	AL	FA	HW-1	
109	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF5	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
110	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF5	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
111	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF5	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
112	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF3	5/A6.2	10,15/A6.2	21/A6.2	AL	FA	HW-1	
113	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF6	5/A6.2	10,11/A6.2	21/A6.2	AL	FA	HW-1	
114	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF12	5/A6.2	9/A6.2	21/A6.2	AL	FA	HW-1	
115	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF7	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
116	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF7	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
117	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF7	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
118	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF7	5/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
119	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF7	6/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
120	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF7	6/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
121	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF7	6/A6.2	10,12/A6.2	21/A6.2	AL	FA	HW-1	
122	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF7	6/A6.2	10,15/A6.2	21/A6.2	AL	FA	HW-1	
123	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF1	5/A6.2	9,10/A6.2	21/A6.2	AL	FA	HW-1	
124	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	23/A6.2	HM	PT	HW-3	2
125	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	EX	EX	EX	23/A6.2	HM	PT	HW-3	2
126	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	4/A6.2	HM	PT	HW-4	
127	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	4/A6.2	HM	PT	HW-4	
128	A	3' - 0"	7' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	23/A6.2	HM	PT	HW-3	
129	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF1	5/A6.2	9,10/A6.2	21/A6.2	AL	FA	HW-1	
130	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF1	5/A6.2	9,10/A6.2	21/A6.2	AL	FA	HW-1	
131	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF10	5/A6.2	10,18/A6.2	21/A6.2	AL	PT	HW-4	
132	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF6	5/A6.2	9,10/A6.2	21/A6.2	AL	FA	HW-1	
133	A	3' - 0"	8' - 0"	1 3/4"	WD	PL	HM1	1/A6.2	2/A6.2	23/A6.2	HM	PT	HW-3	
134	B	3' - 0"	8' - 0"	1 3/4"	WD	PL	SF6	5/A6.2	10,15/A6.2	21/A6.2	AL	FA	HW-1	

Door Hardware Sets:

* Refer to written specifications for door hardware.

HW-1	OFFICE
HW-2	ENTRY
HW-3	STOREROOM
HW-4	PASSAGE
HW-5	PRIVACY
HW-6	CLASSROOM

Door Schedule Keynotes:

- CARD READER ACCESS
- EXISTING DOOR FRAME TO REMAIN. PAINT PT-4

Door Legend:

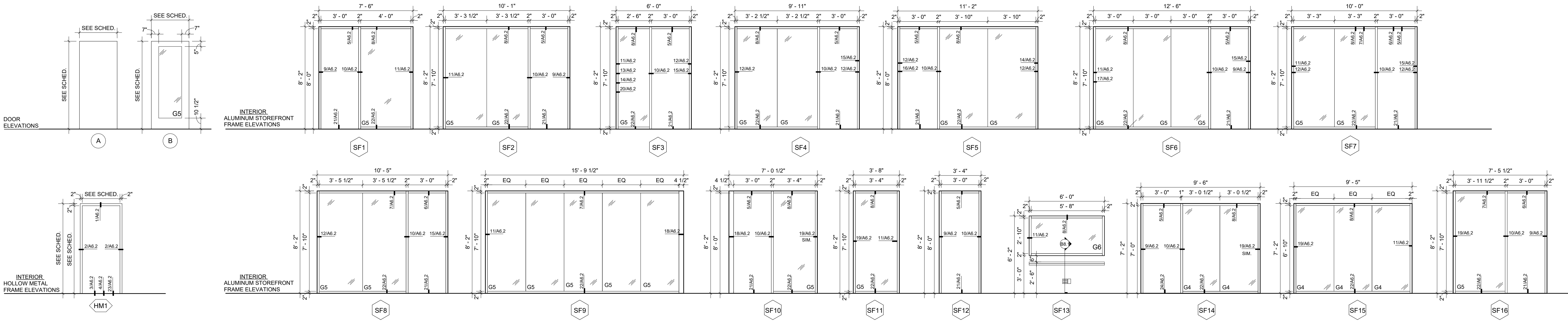
AL	ALUMINUM
FA	FACTORY
HM	HOLLOW METAL
PL	PLASTIC LAMINATE
PT	PAINT
ST	STAIN
S	SIMILAR
WD	WOOD
EX	EXISTING

Glazing Legend:

G1	NOT USED
G2	NOT USED
G3	NOT USED
G4	1/2" CLEAR TEMPERED GLASS
G5	3/8" CLEAR TEMPERED GLASS
G6	1/4" CLEAR TEMPERED GLASS

NOTES:

1. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.



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Tallahassee, Florida

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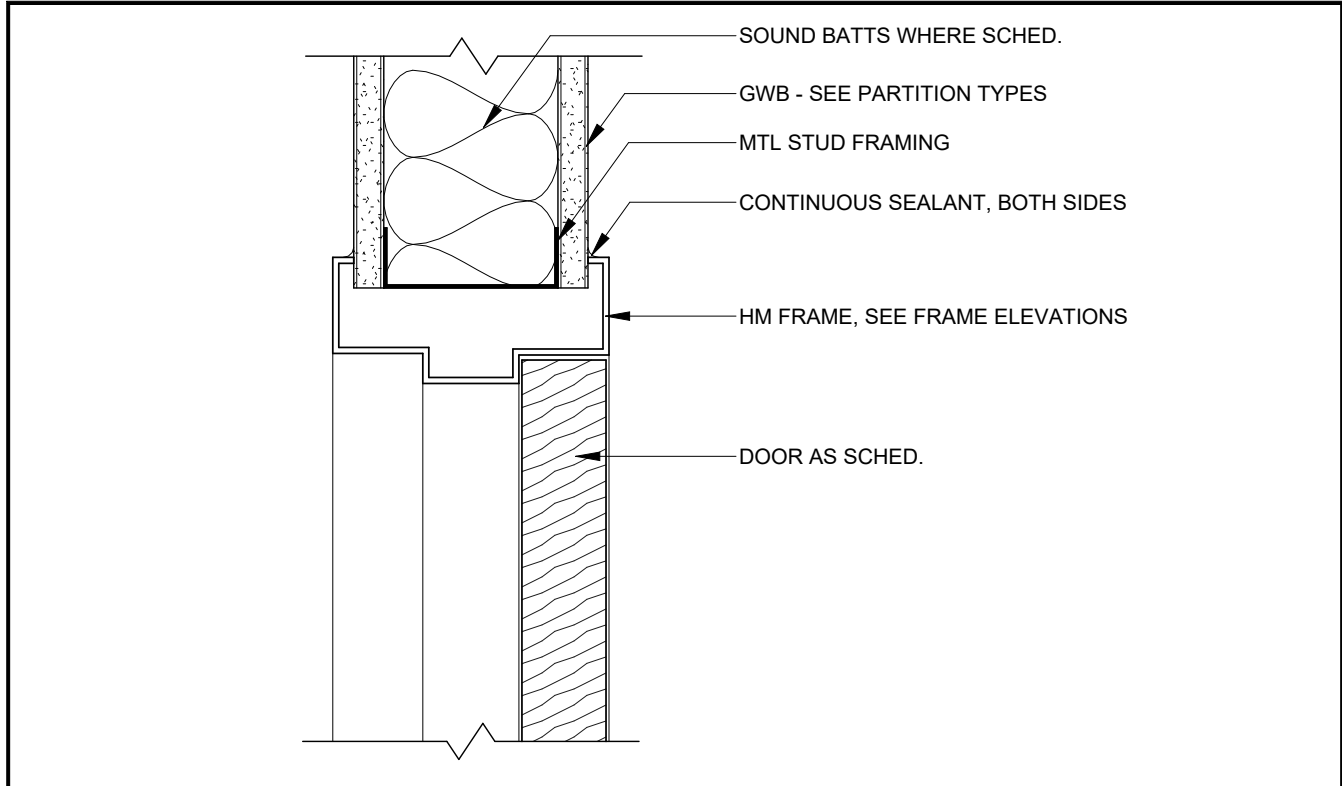
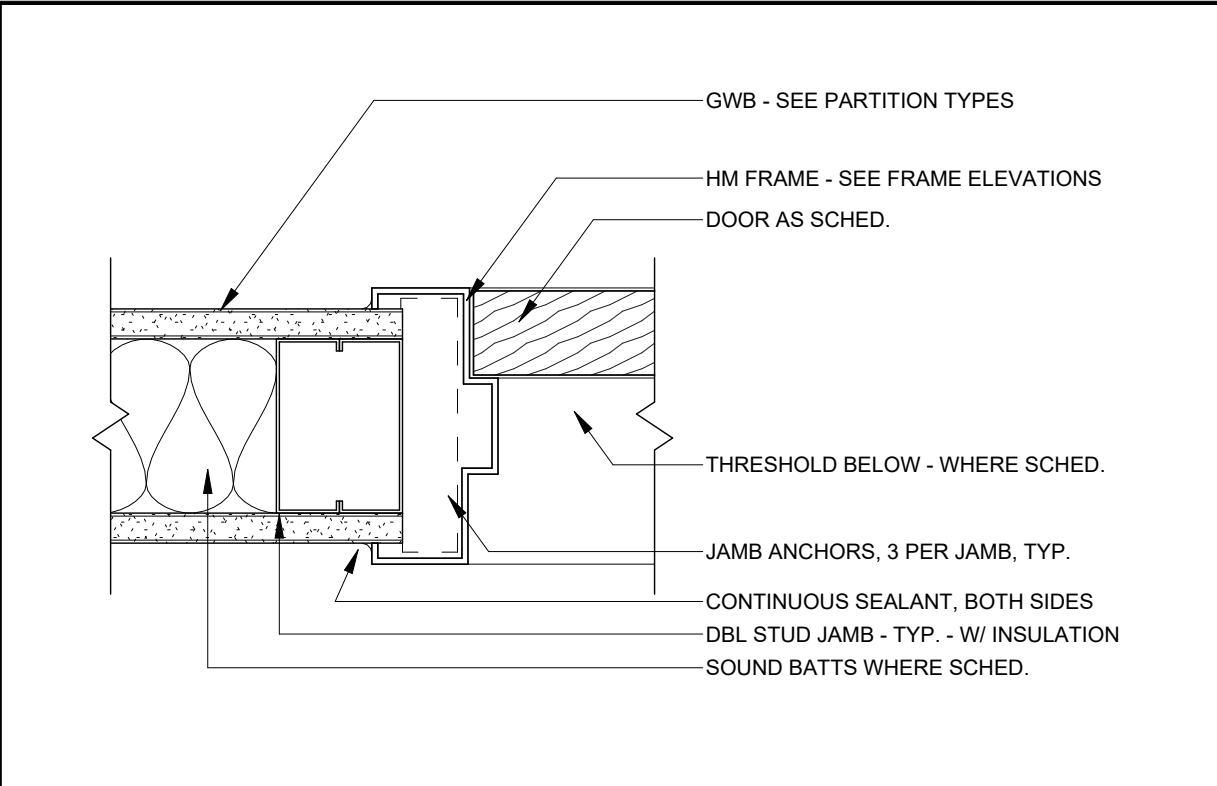
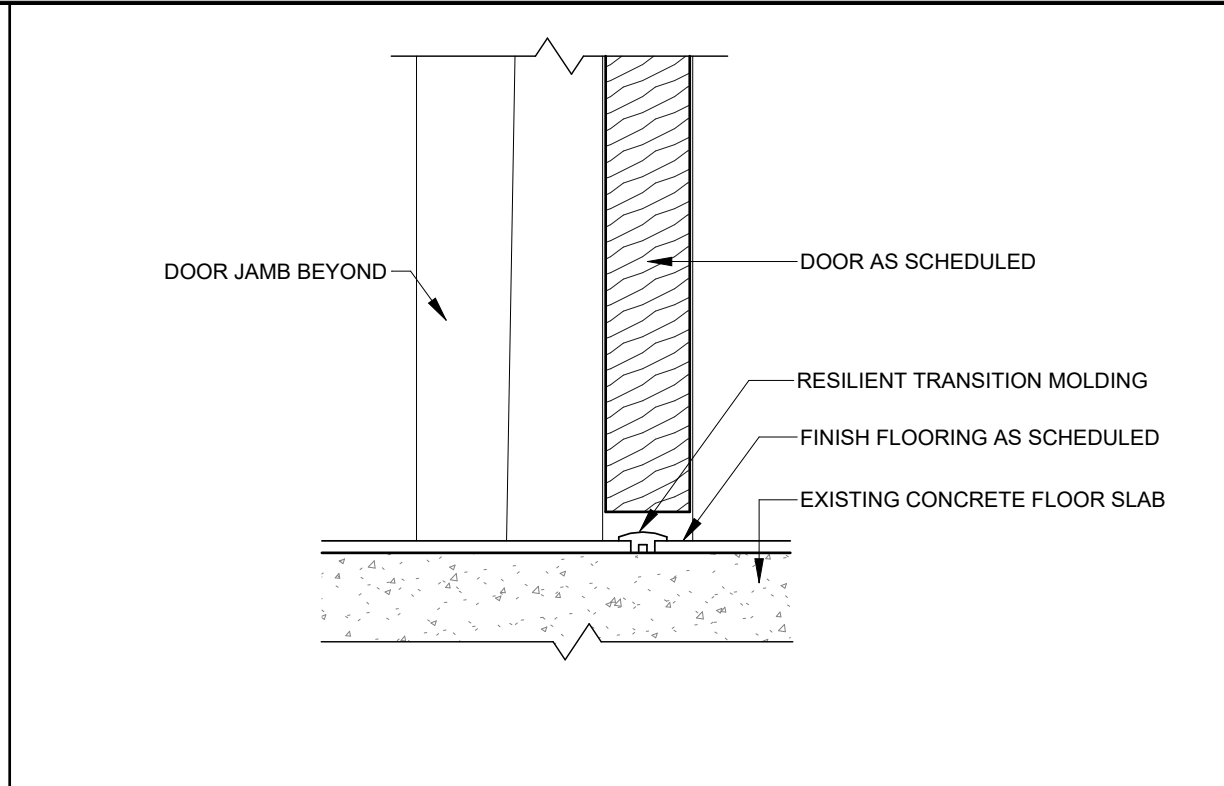
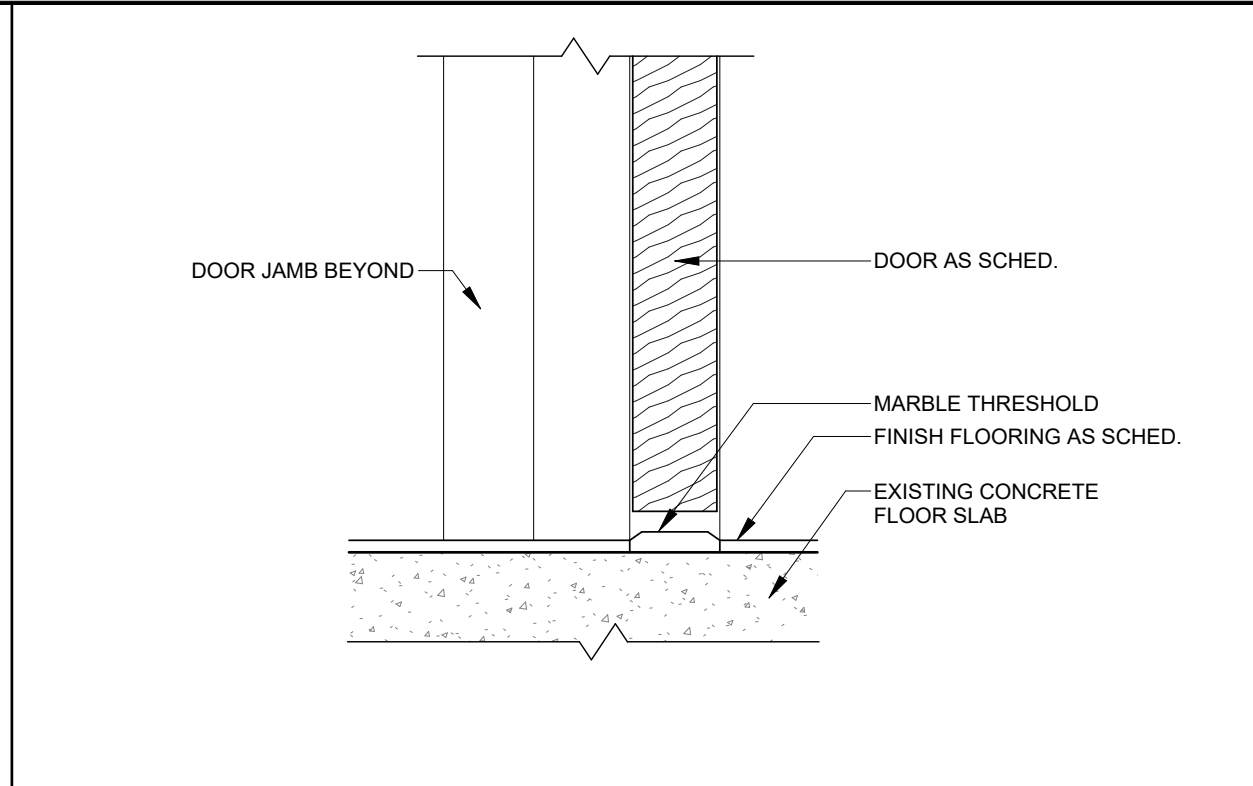
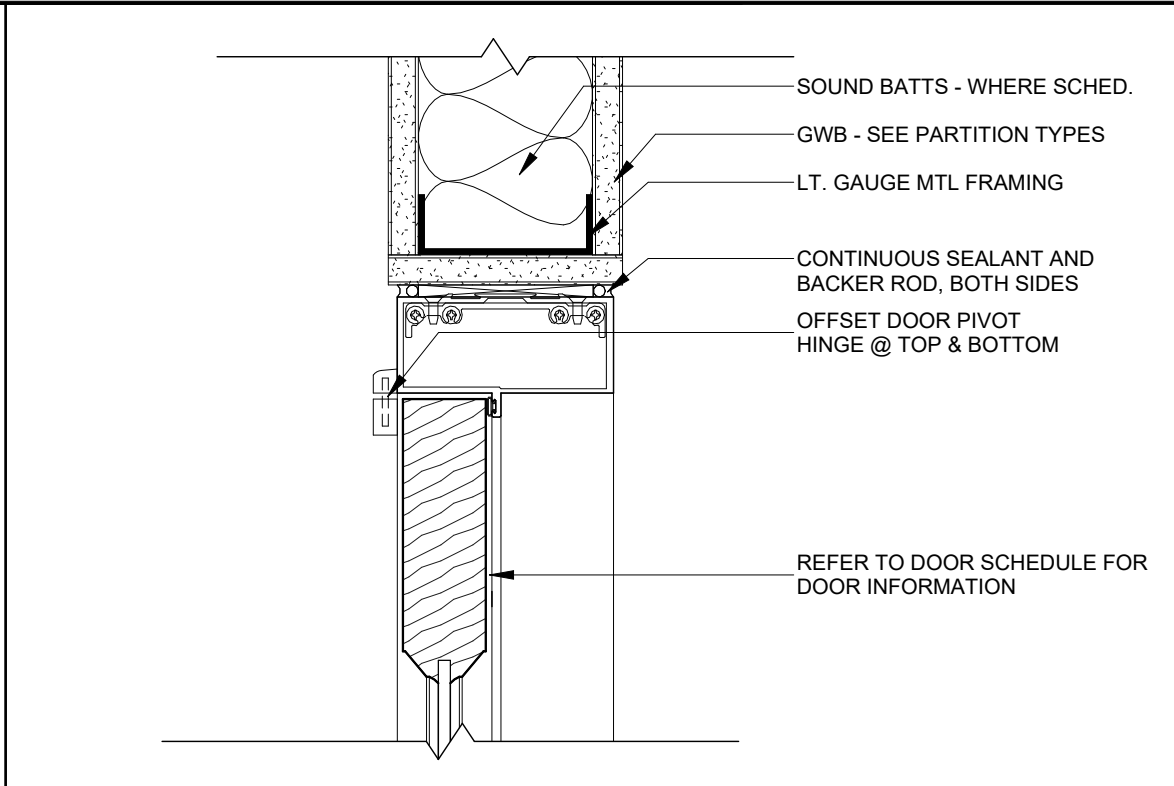
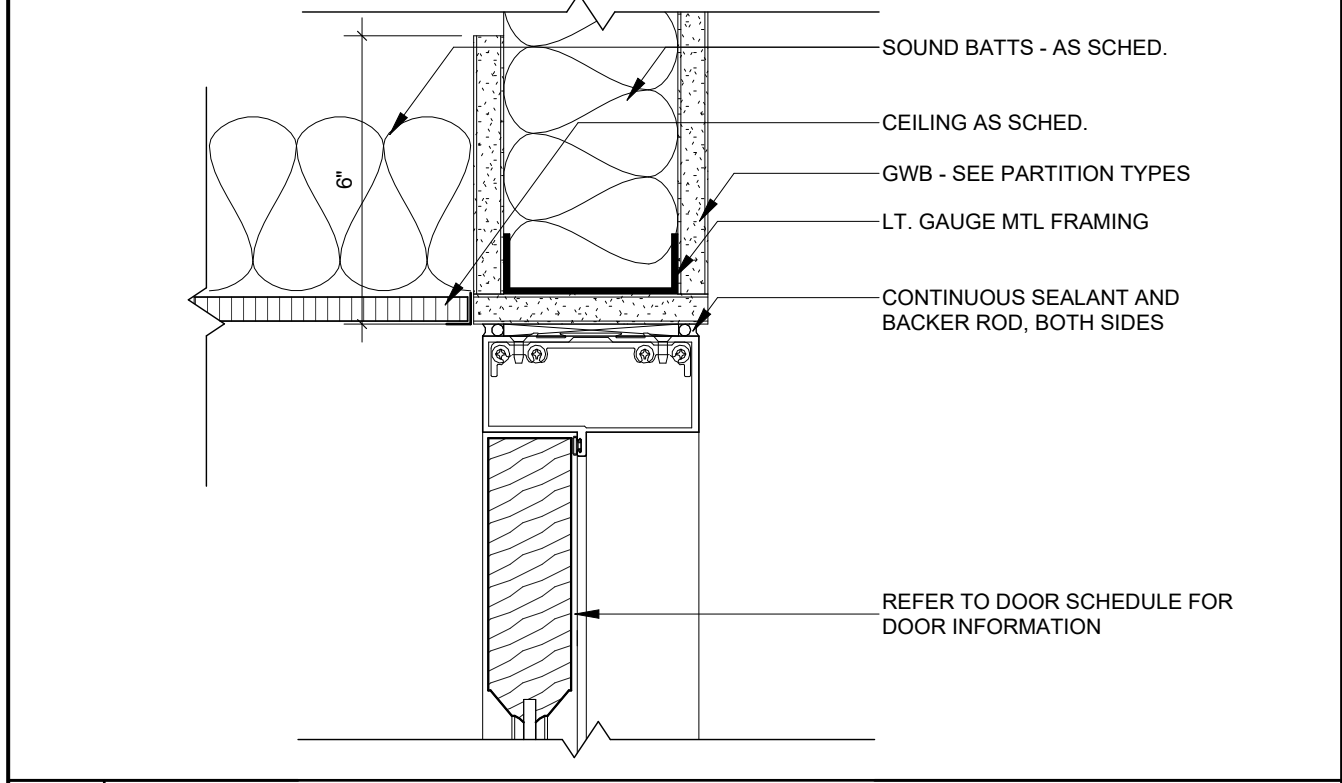
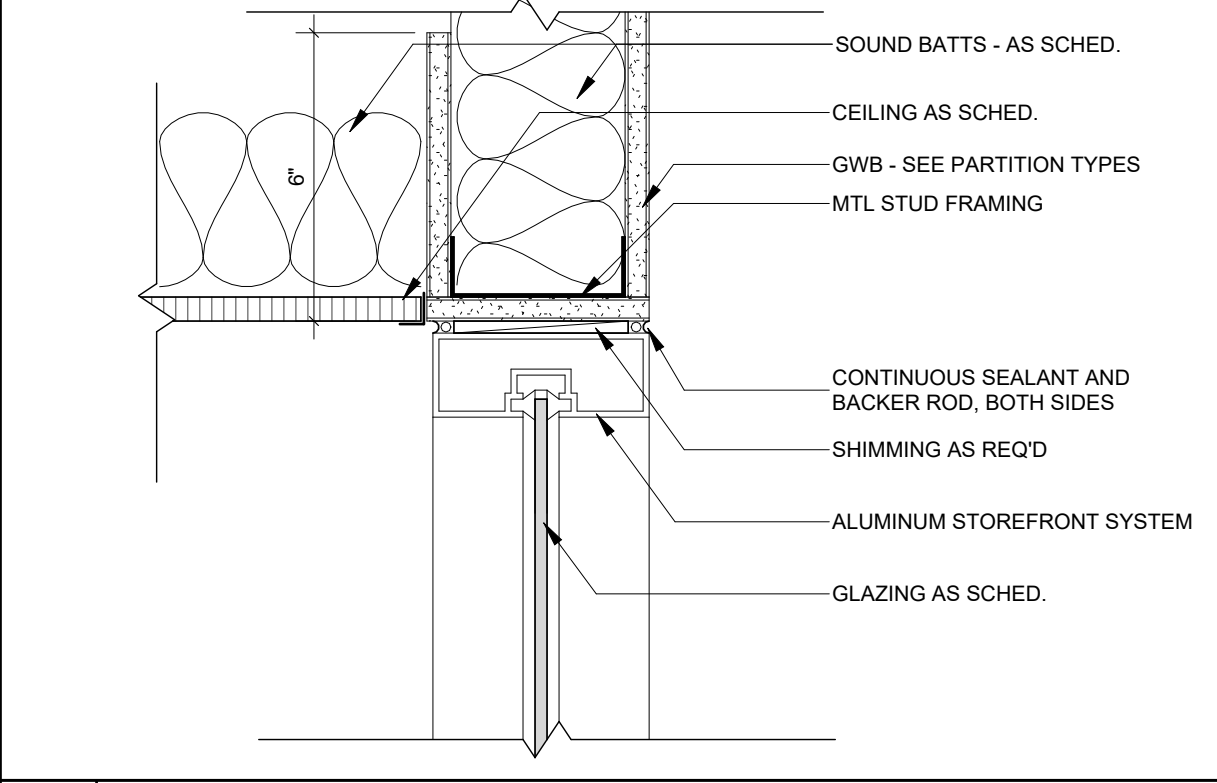
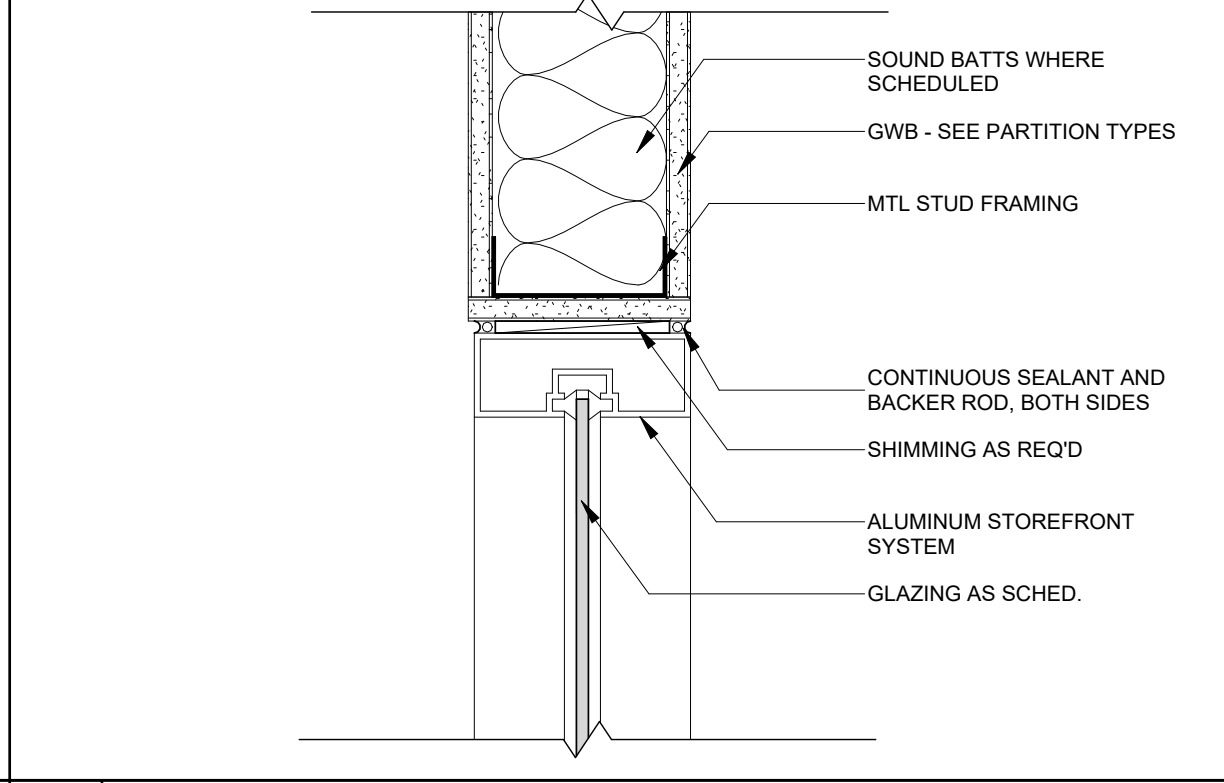
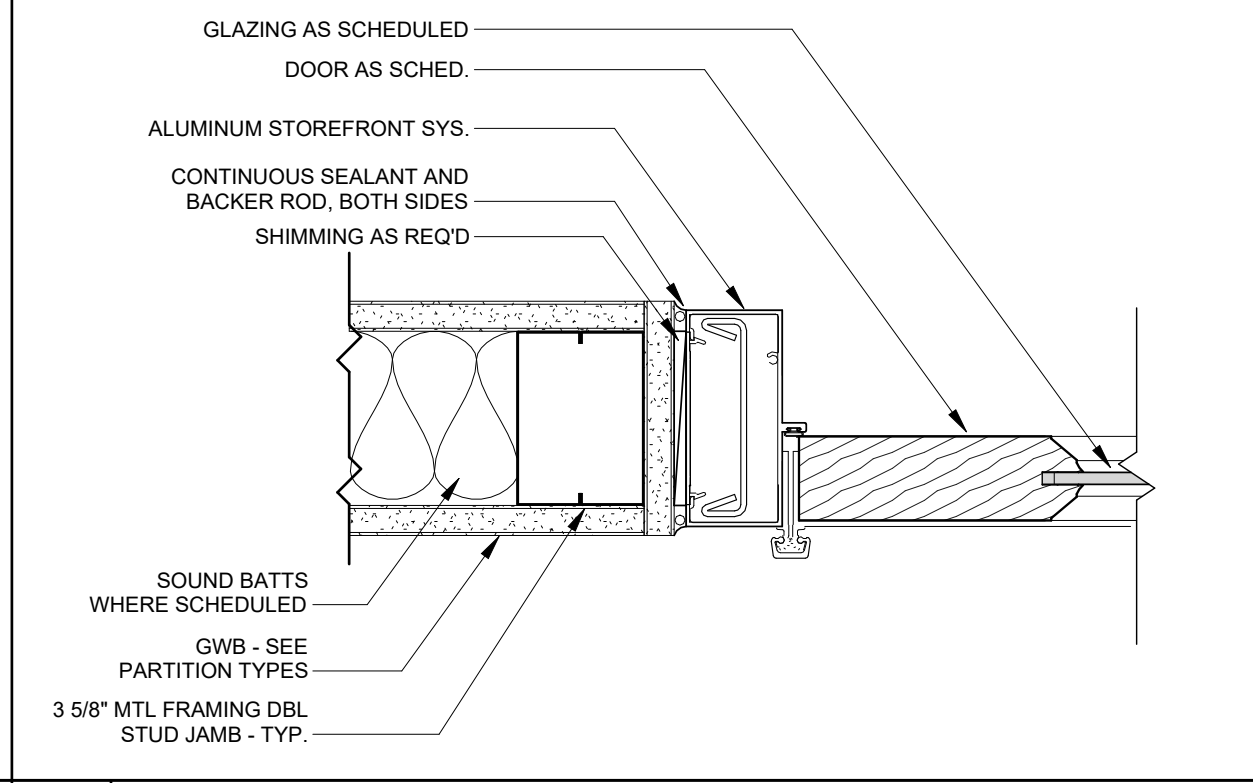
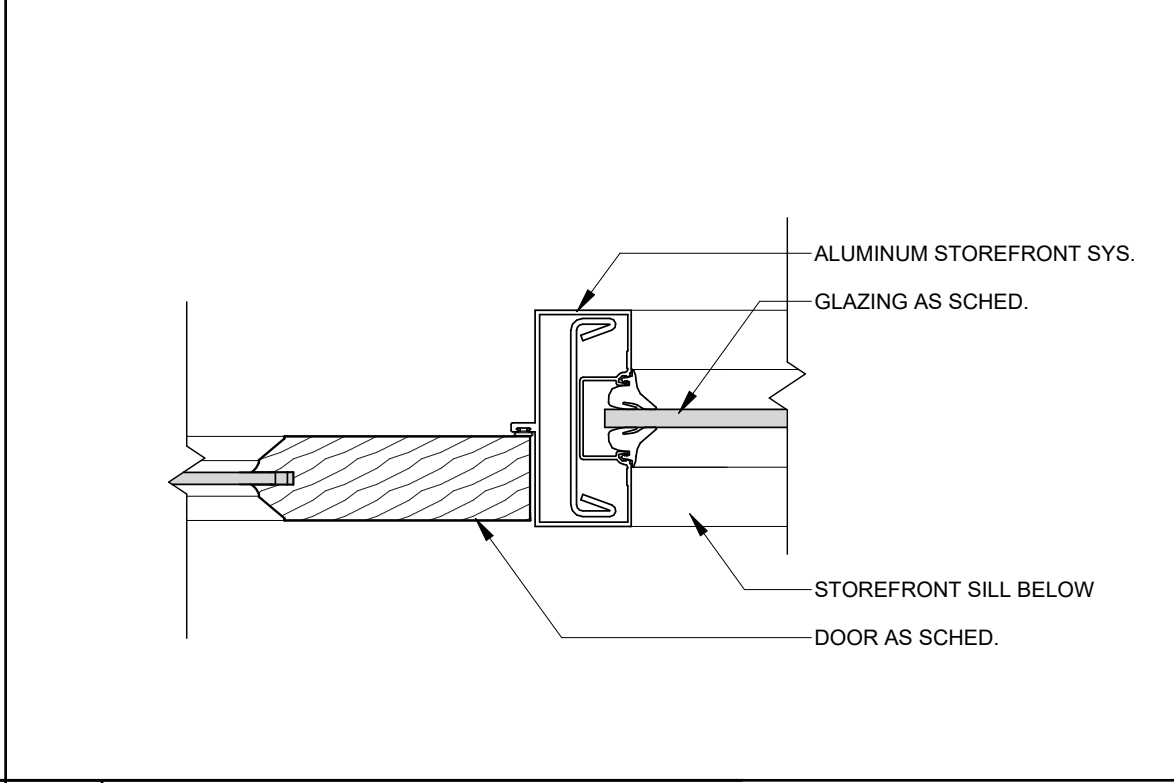
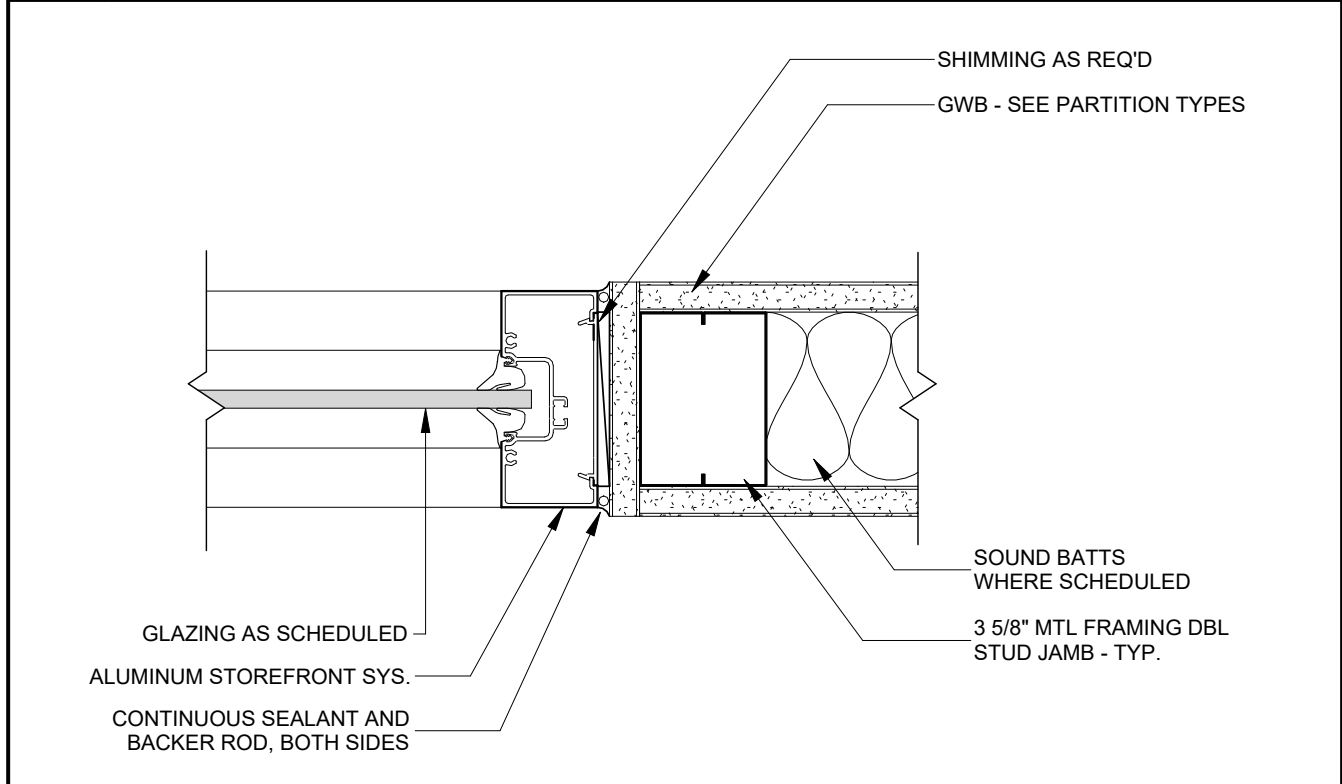
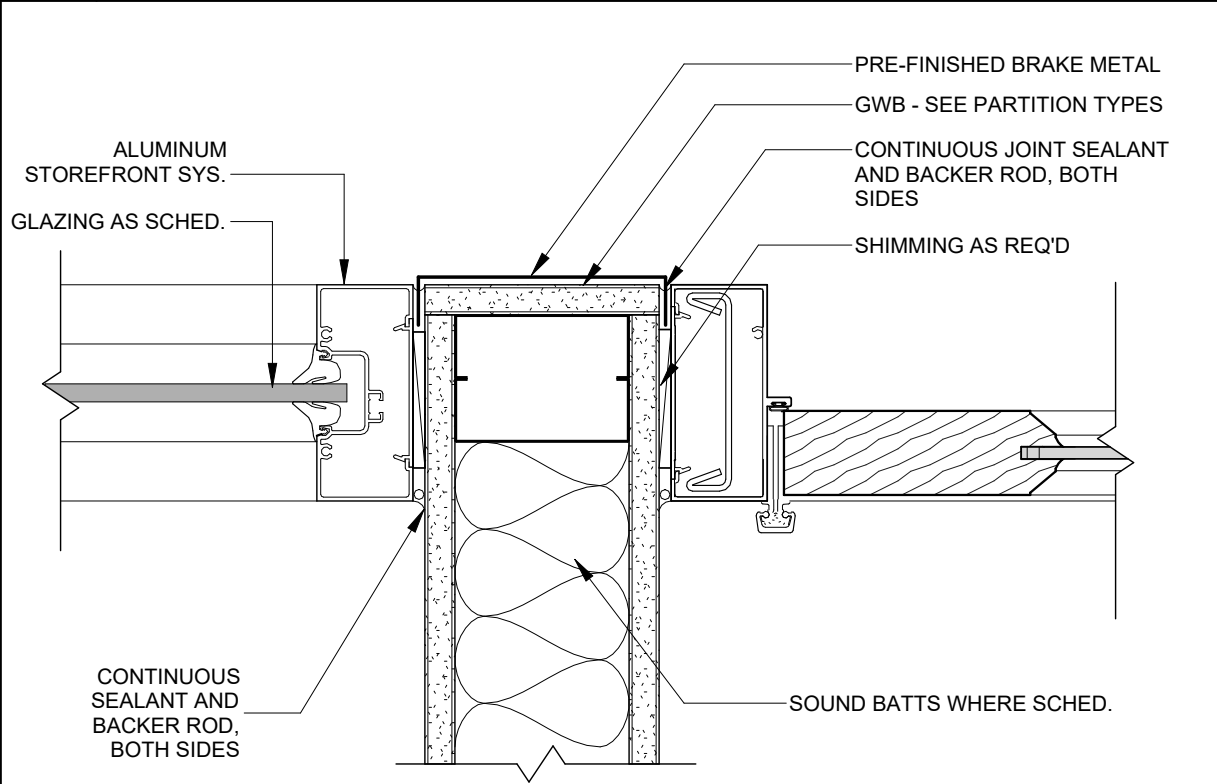
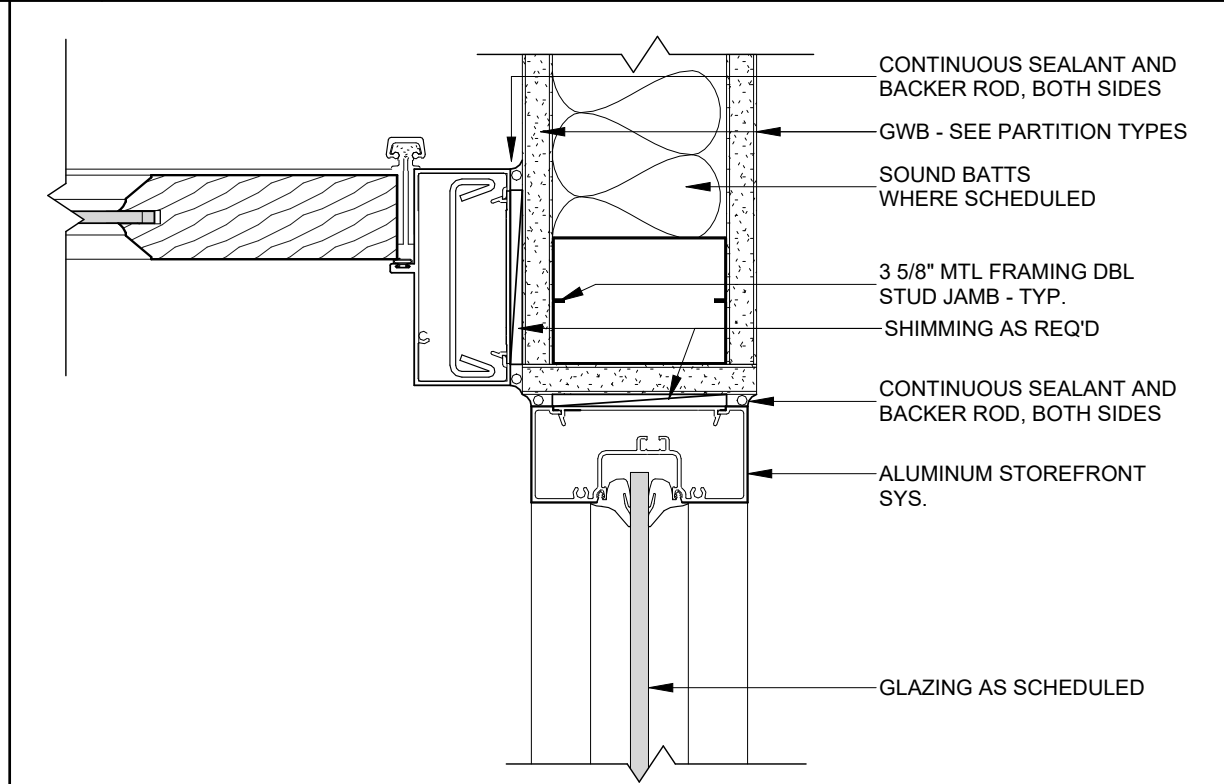
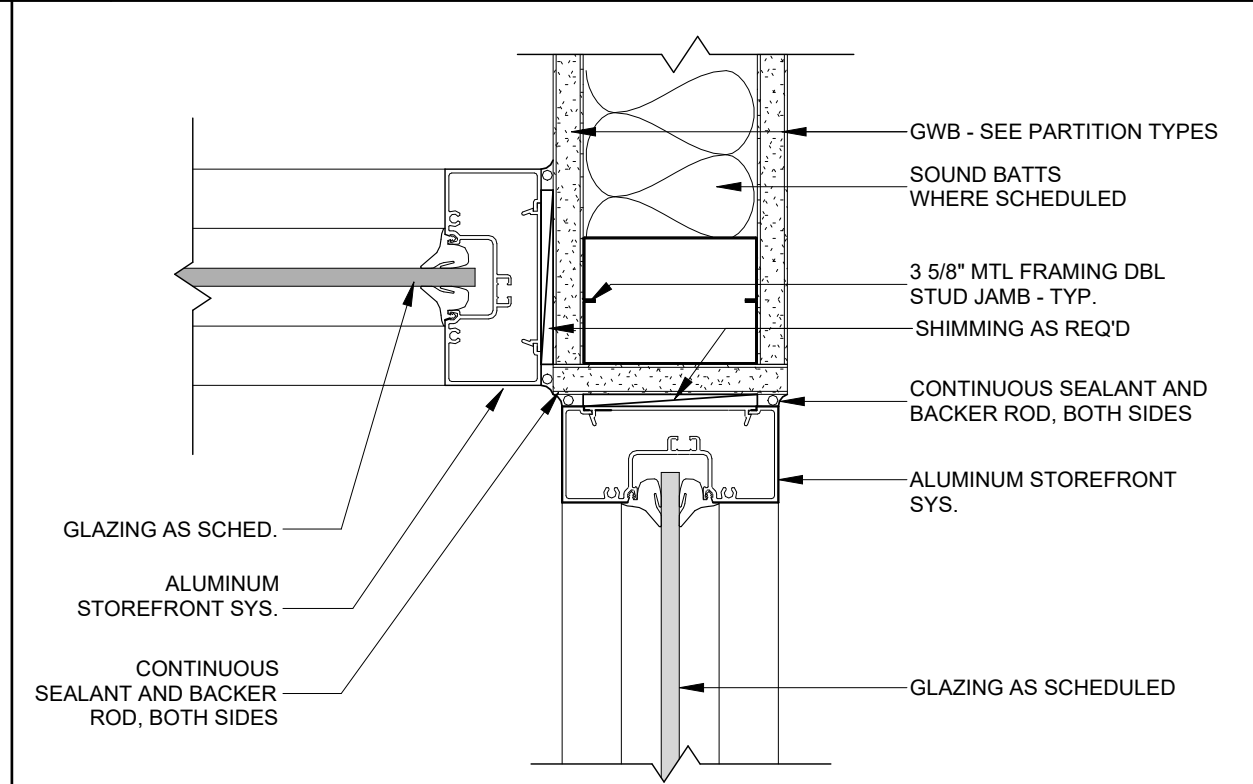
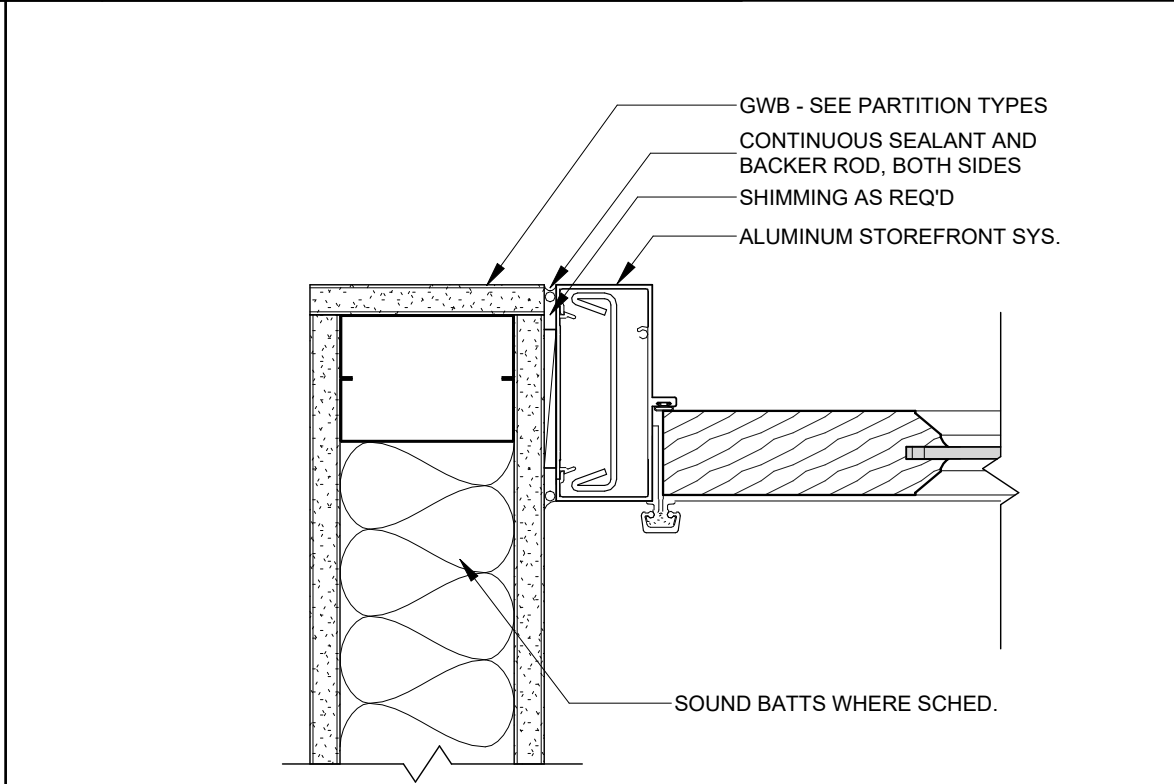
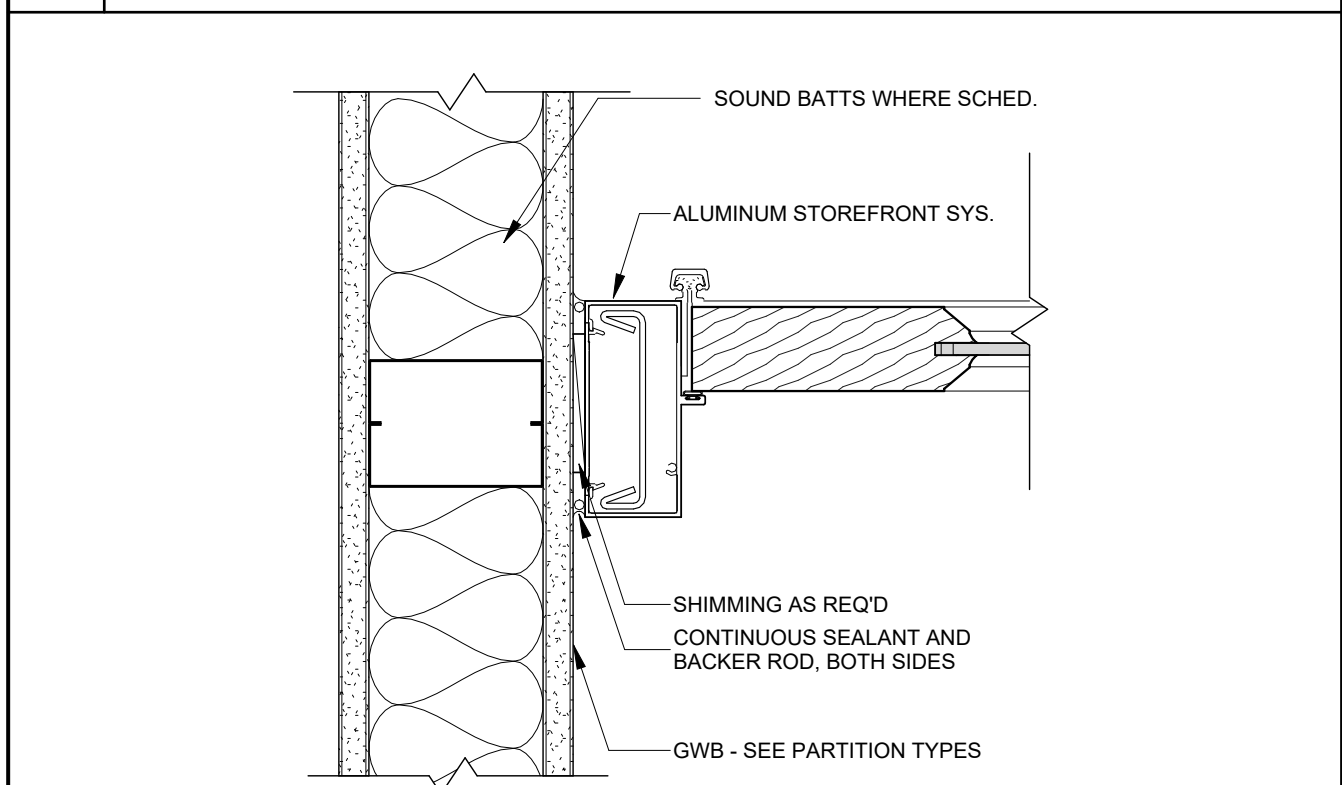
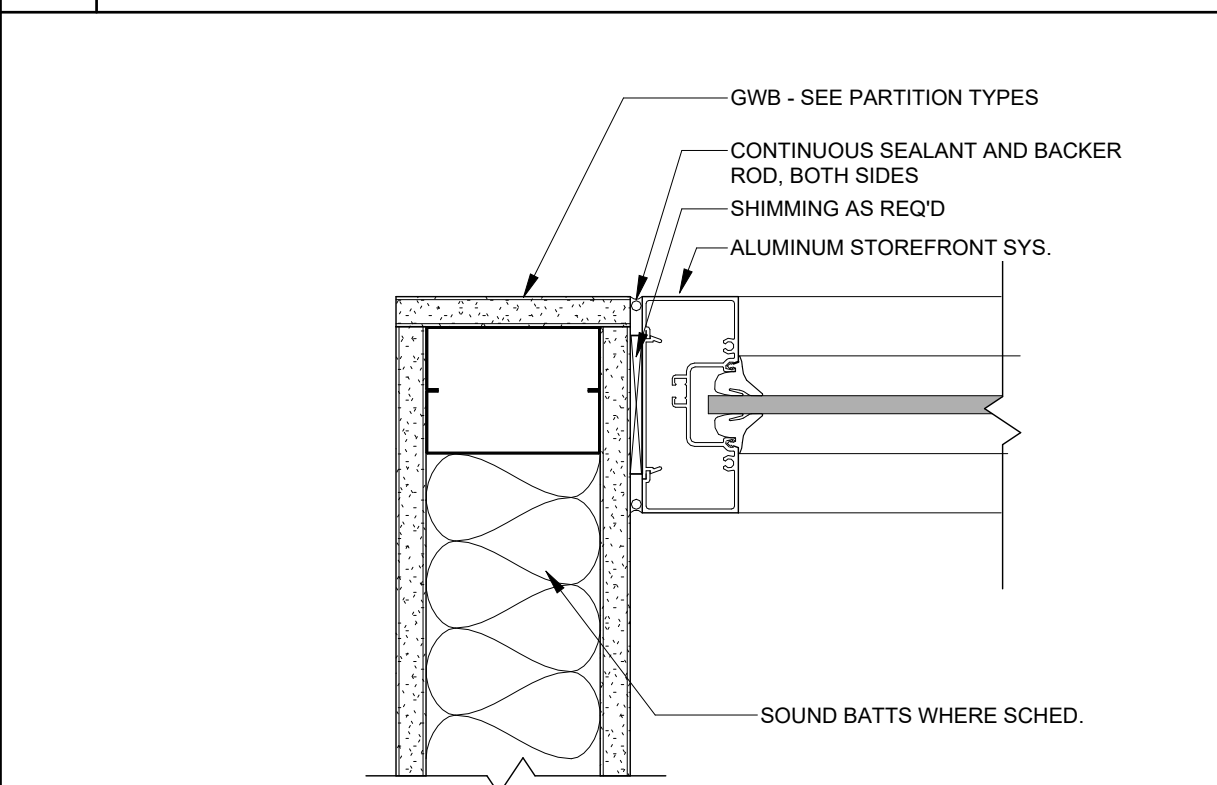
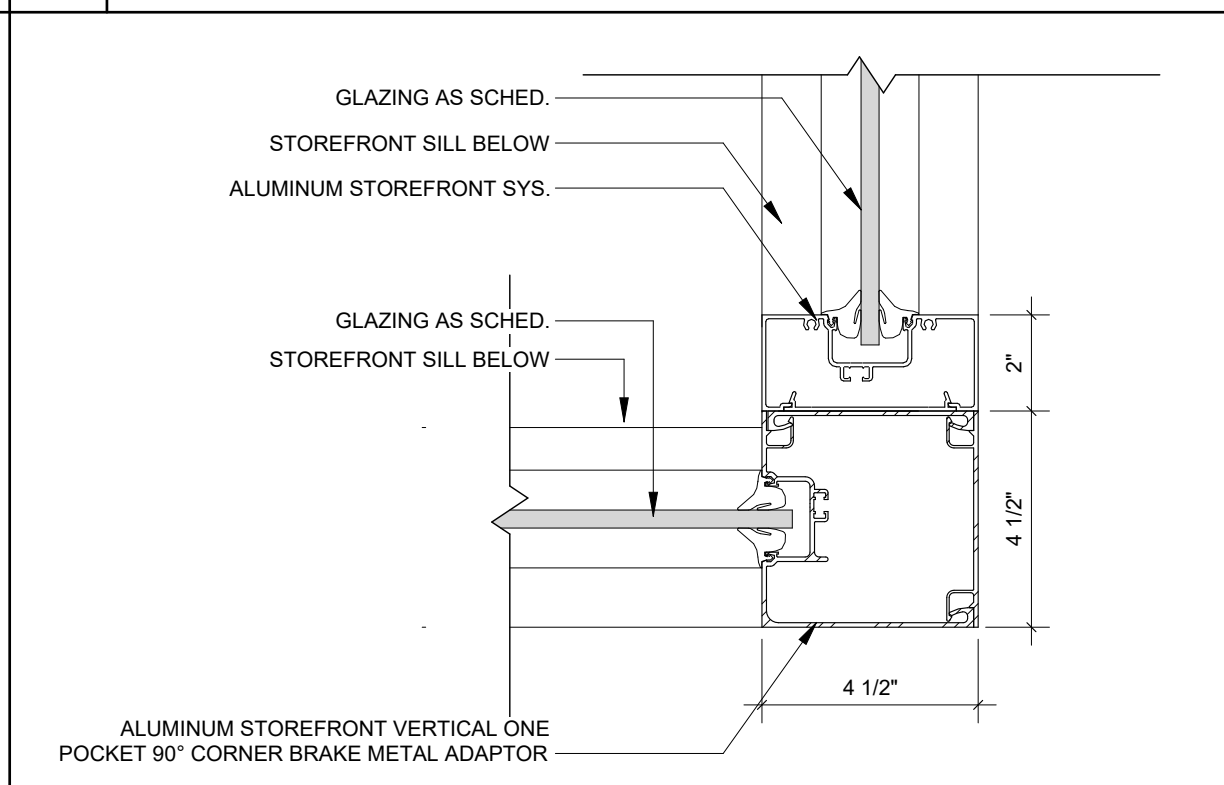
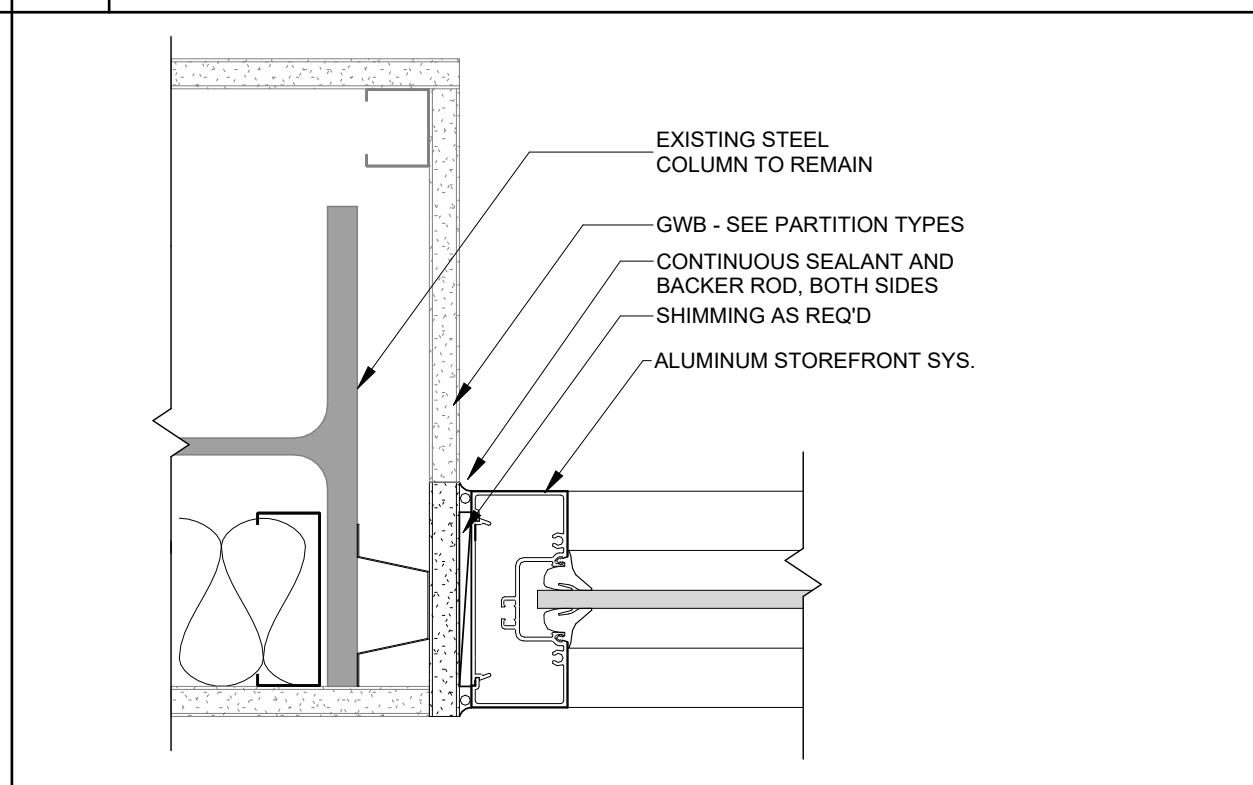
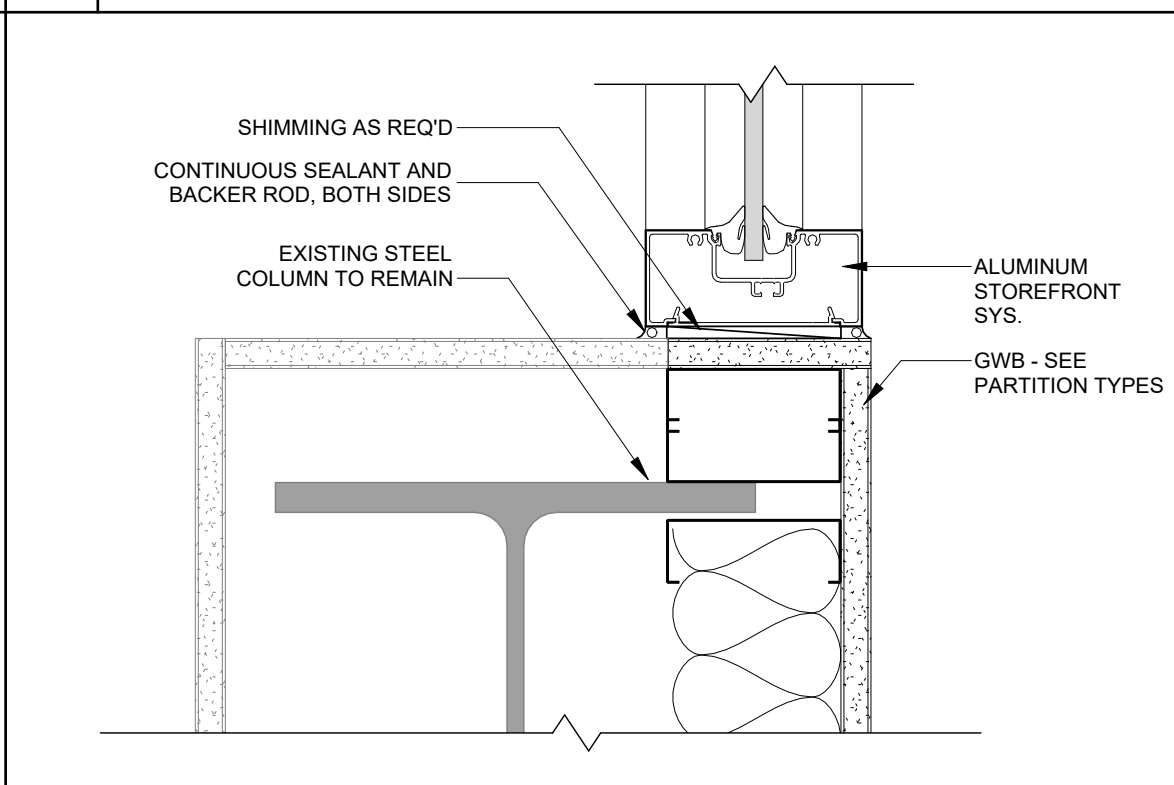
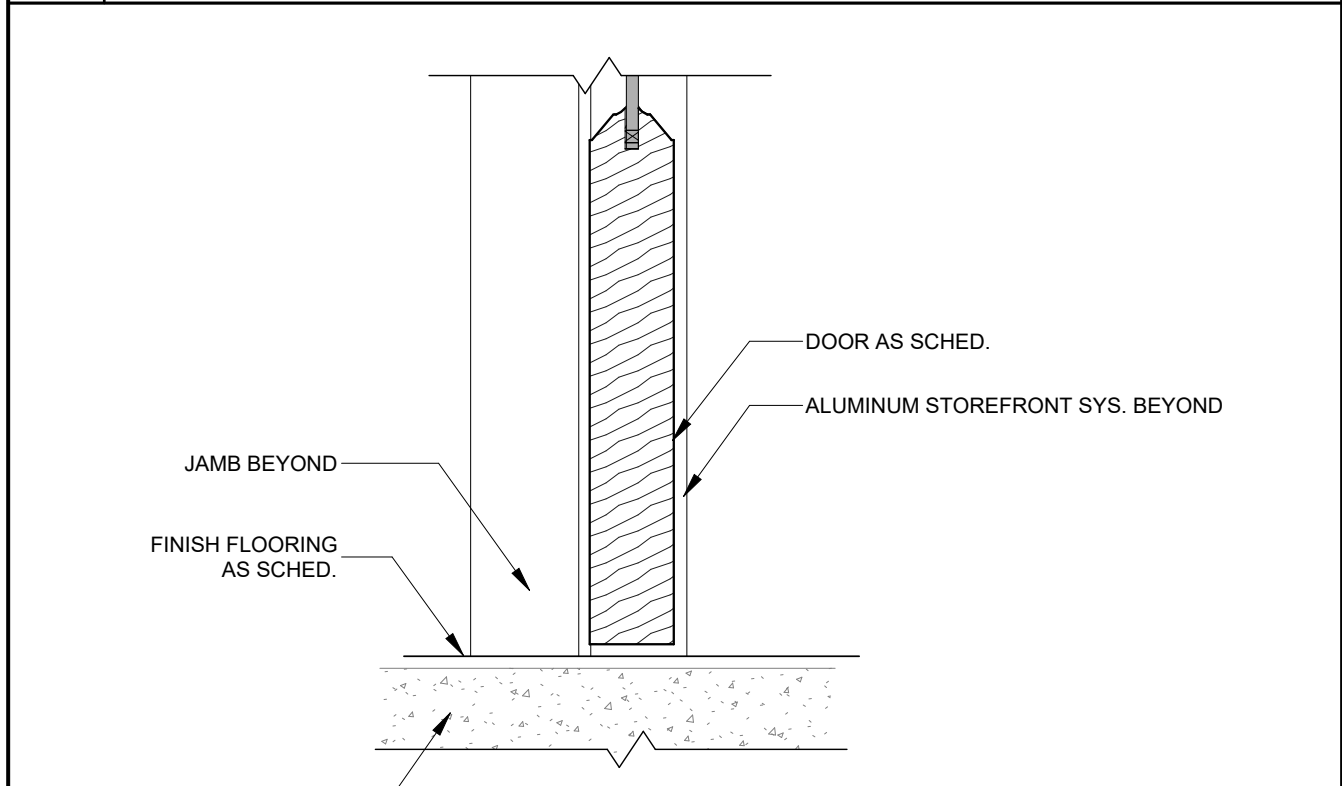
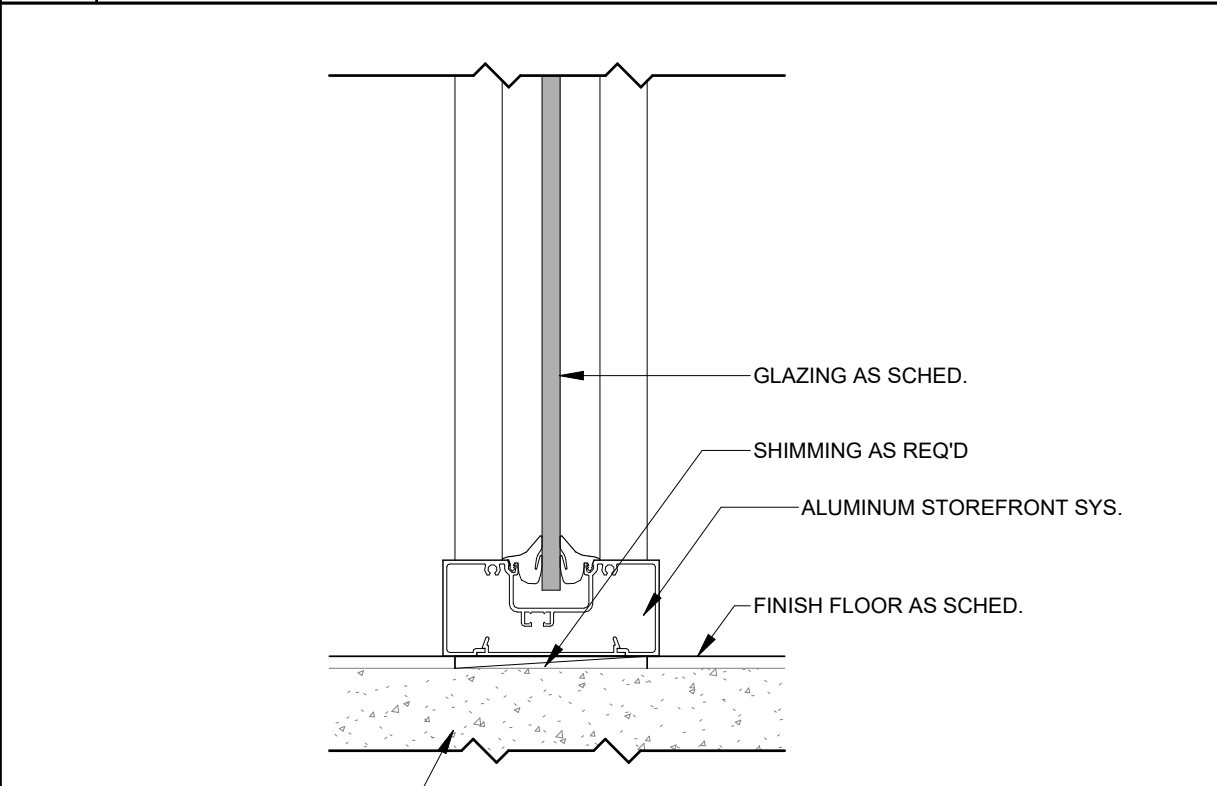
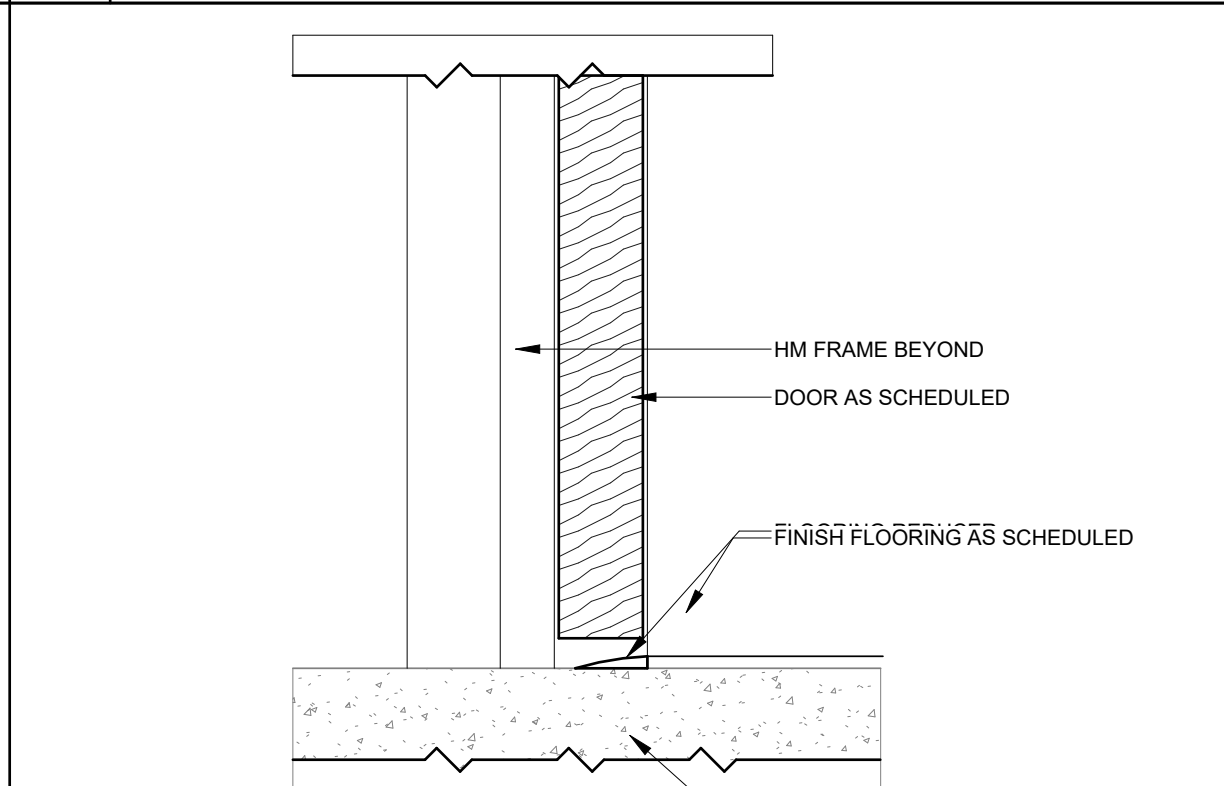
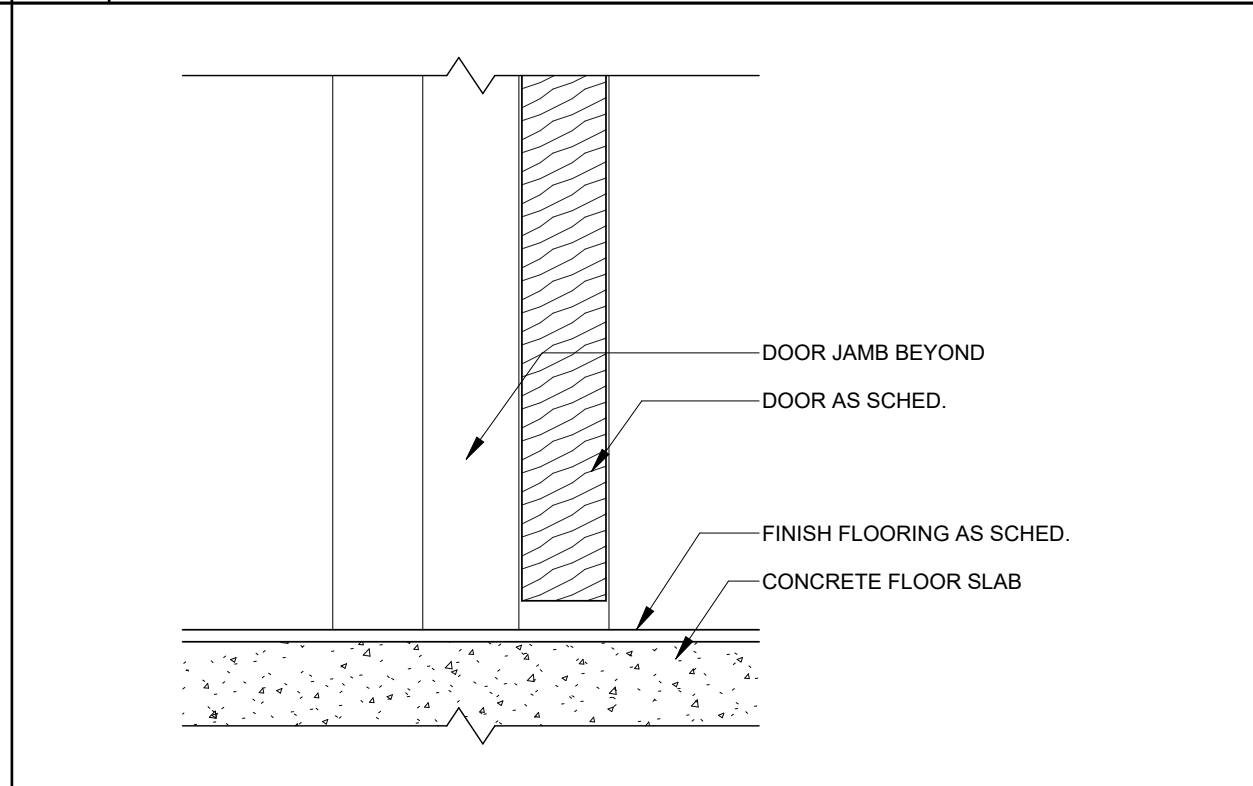
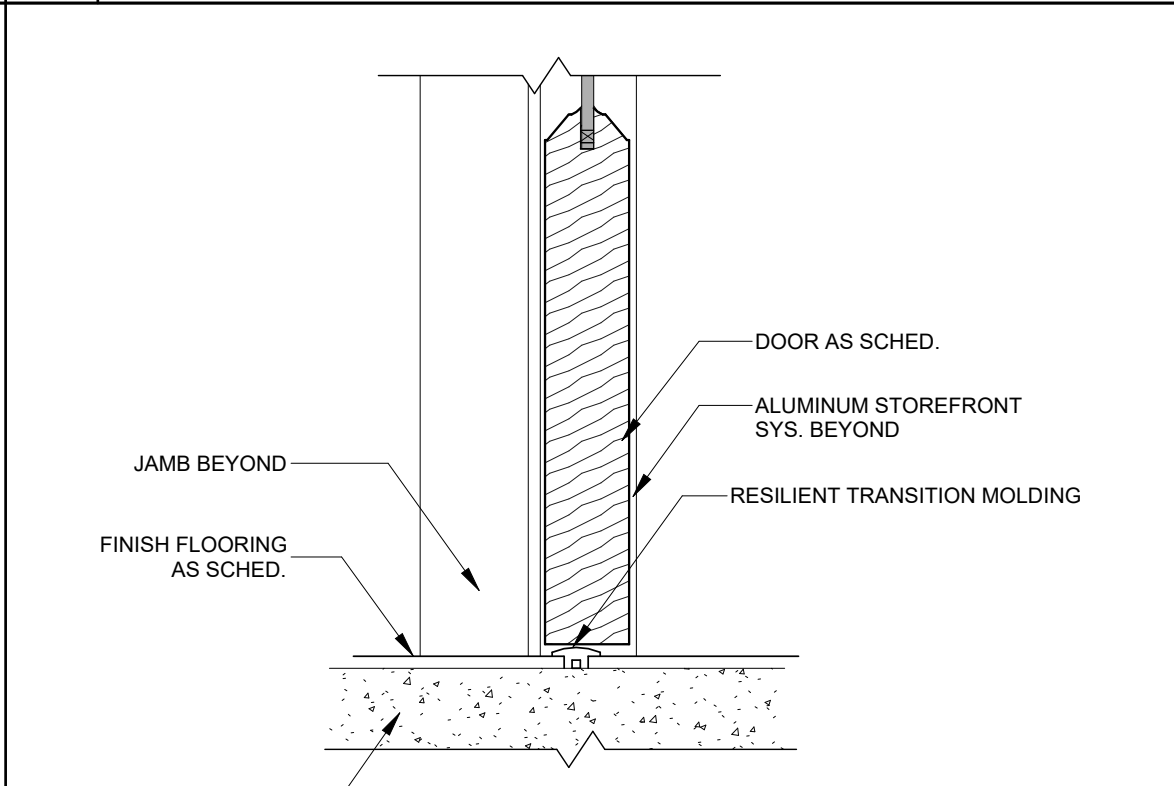
DRAWING PHASE:
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DRAWING TITLE:
Door Schedule & Door / Frame Elevations, Details

SHEET NO.:

A6.2

DATE:
August 18, 2025

				
1Interior HM Door Head3" = 1' - 0"	2Interior HM Door Jamb3" = 1' - 0"	3Interior HM Door - Resilient Transition3" = 1' - 0"	4Interior HM Door Threshold w/ Marble Transition3" = 1' - 0"	5Interior SF Door Head3" = 1' - 0"
				
6Interior SF Door Head3" = 1' - 0"	7Interior SF Head3" = 1' - 0"	8Interior SF Head3" = 1' - 0"	9Interior SF Door Jamb - Partition3" = 1' - 0"	10Interior SF Door / Window Jamb3" = 1' - 0"
				
11Interior SF Window Jamb - Partition3" = 1' - 0"	12Interior SF Window / Door Jamb - Partition3" = 1' - 0"	13Interior SF Window / Door Jamb - Partition3" = 1' - 0"	14Interior SF Window / Door Jamb - Partition3" = 1' - 0"	15Interior SF Door Jamb - Partition3" = 1' - 0"
				
16Interior SF Door Jamb - Partition3" = 1' - 0"	17Interior SF Window Jamb - Partition3" = 1' - 0"	18Interior SF Door / Window Jamb @ Corner3" = 1' - 0"	19Interior SF Window Jamb - Partition3" = 1' - 0"	20Interior SF Window Jamb - Partition3" = 1' - 0"
				
21SF Door Threshold3" = 1' - 0"	22Interior SF Threshold3" = 1' - 0"	23Interior HM Door Threshold w/ Flooring Reducer3" = 1' - 0"	24Interior HM Door - No Transition3" = 1' - 0"	25SF Door Resilient Threshold3" = 1' - 0"

bki

ARCHITECTURE

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Tallahassee, Florida 32308
(P) 850.778.8007 | (F) 850.546.6150
www.bkjarchitecture.com
FL Architecture Corporation AA-0002280

SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

DRAWN: MP

CHECKED: BD/ML

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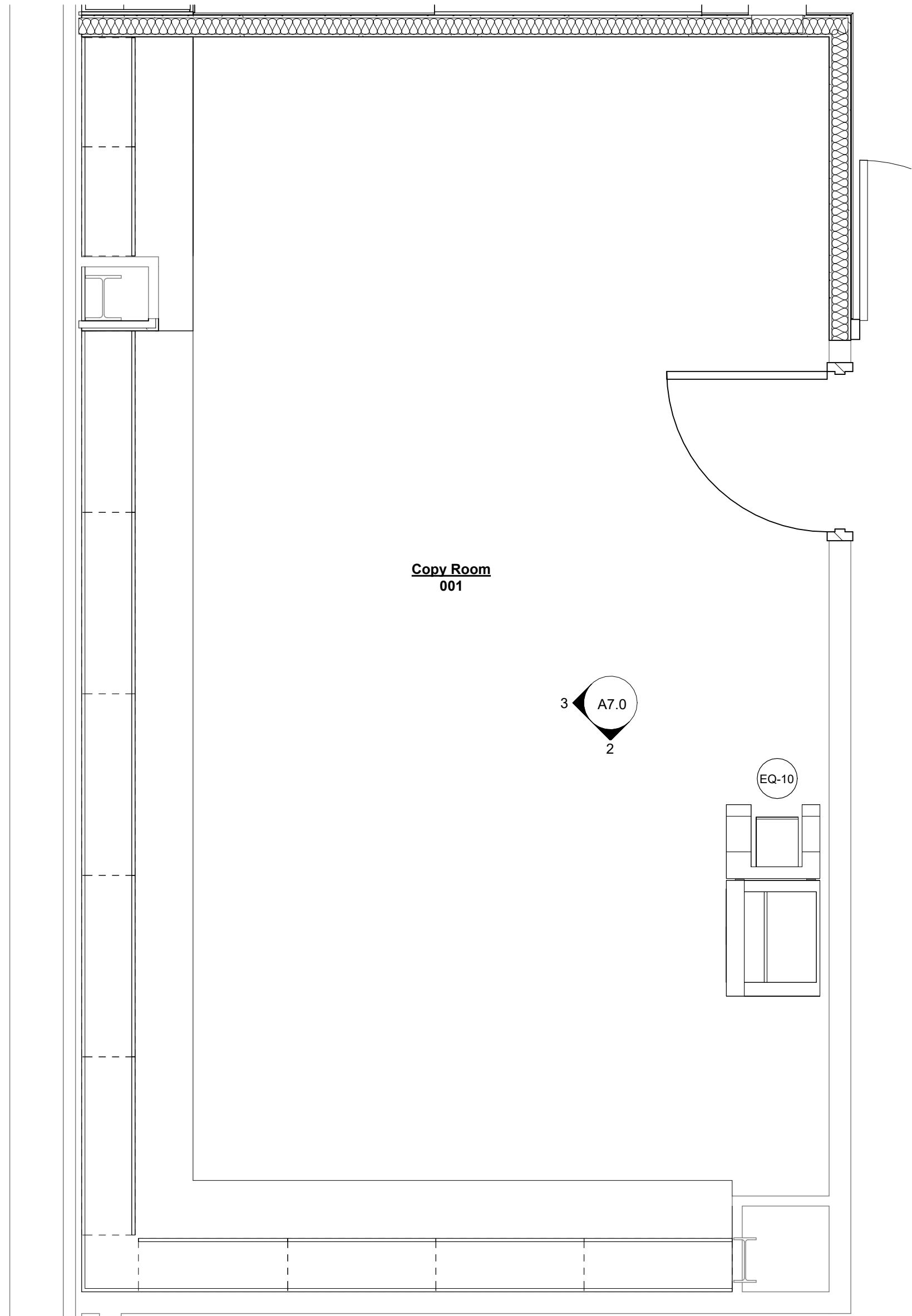
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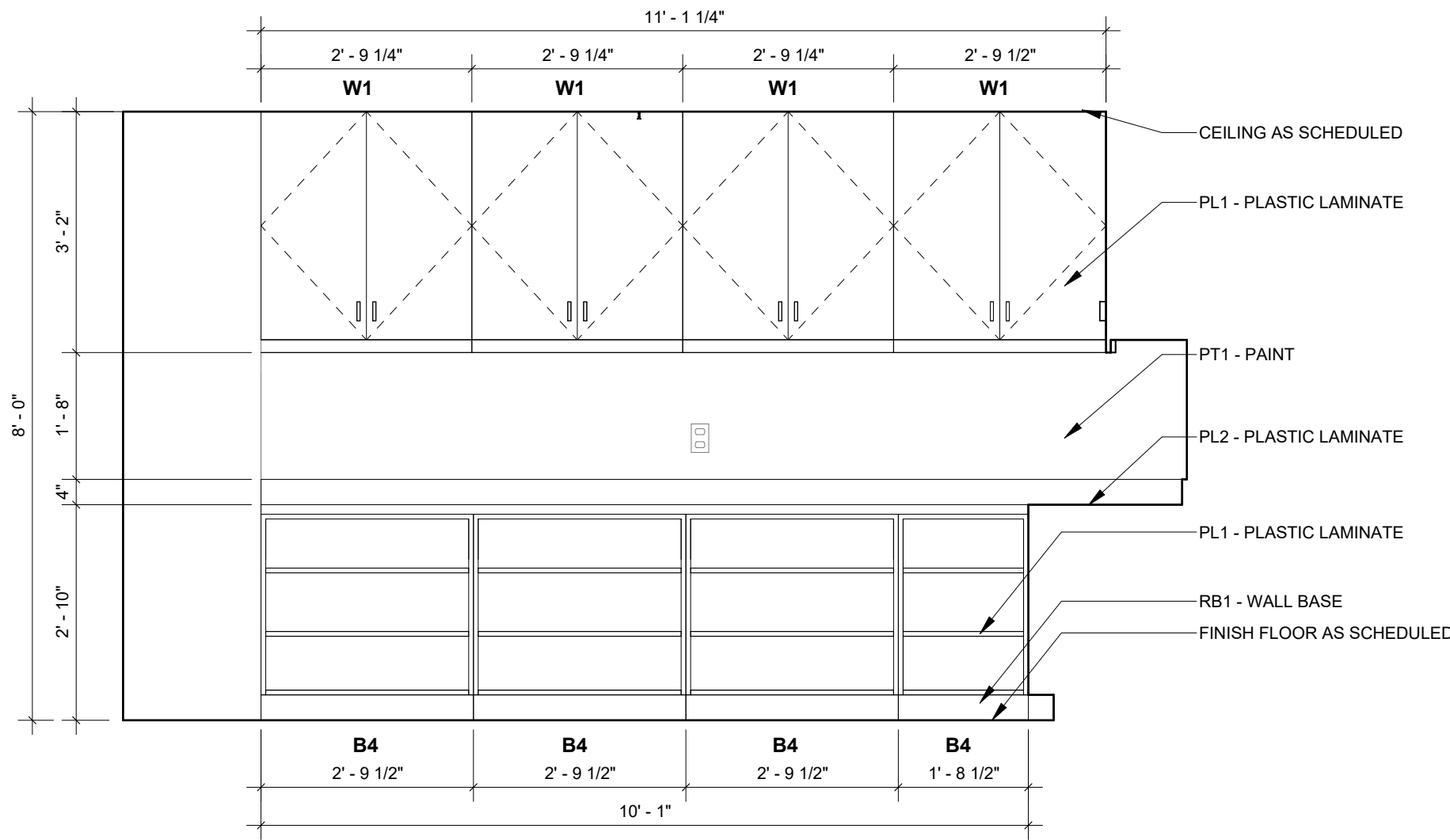
DRAWING TITLE:
Door & Window Details

SHEET NO.:
A6.3

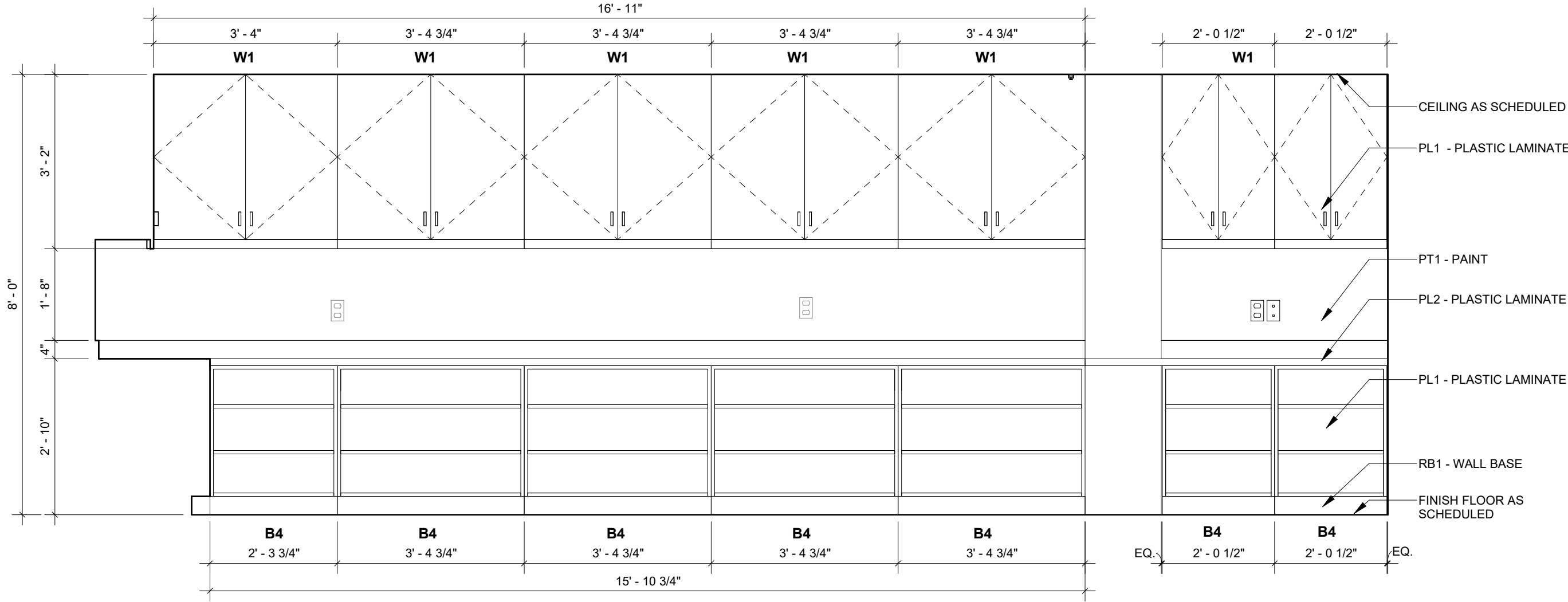
DATE:
August 18, 2025



1 Basement Level - Enlarged Copy Room Floor Plan
1/2" = 1'-0"



2 Copy Rm. - South Elevation
1/2" = 1'-0"



3 Copy Rm. - West Elevation
1/2" = 1'-0"

Millwork General Notes:

- MILLWORK TO BE USED AS BASIS OF DESIGN.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL MILLWORK TO TENANT FOR COORDINATION AND FINAL APPROVAL.
- MILLWORK DIMENSIONS ARE MEASURED FROM FACE OF FINISH SURFACE
- PROVIDE BLOCKING IN WALLS FOR MILLWORK AS NEEDED
- PROVIDE HAFELE PULL CUBE (H1935), ALUMINUM, 5" DOOR PULLS.
- P.L. SKIRT BELOW UPPER CABINETS ON ALL EXPOSED SIDES OF CABINETS (I.E.- BREAK ROOM SINK).

NOTE: COORDINATE EQUIPMENT DIMENSIONS AND ROUGH-IN REQUIREMENTS WITH OWNER.

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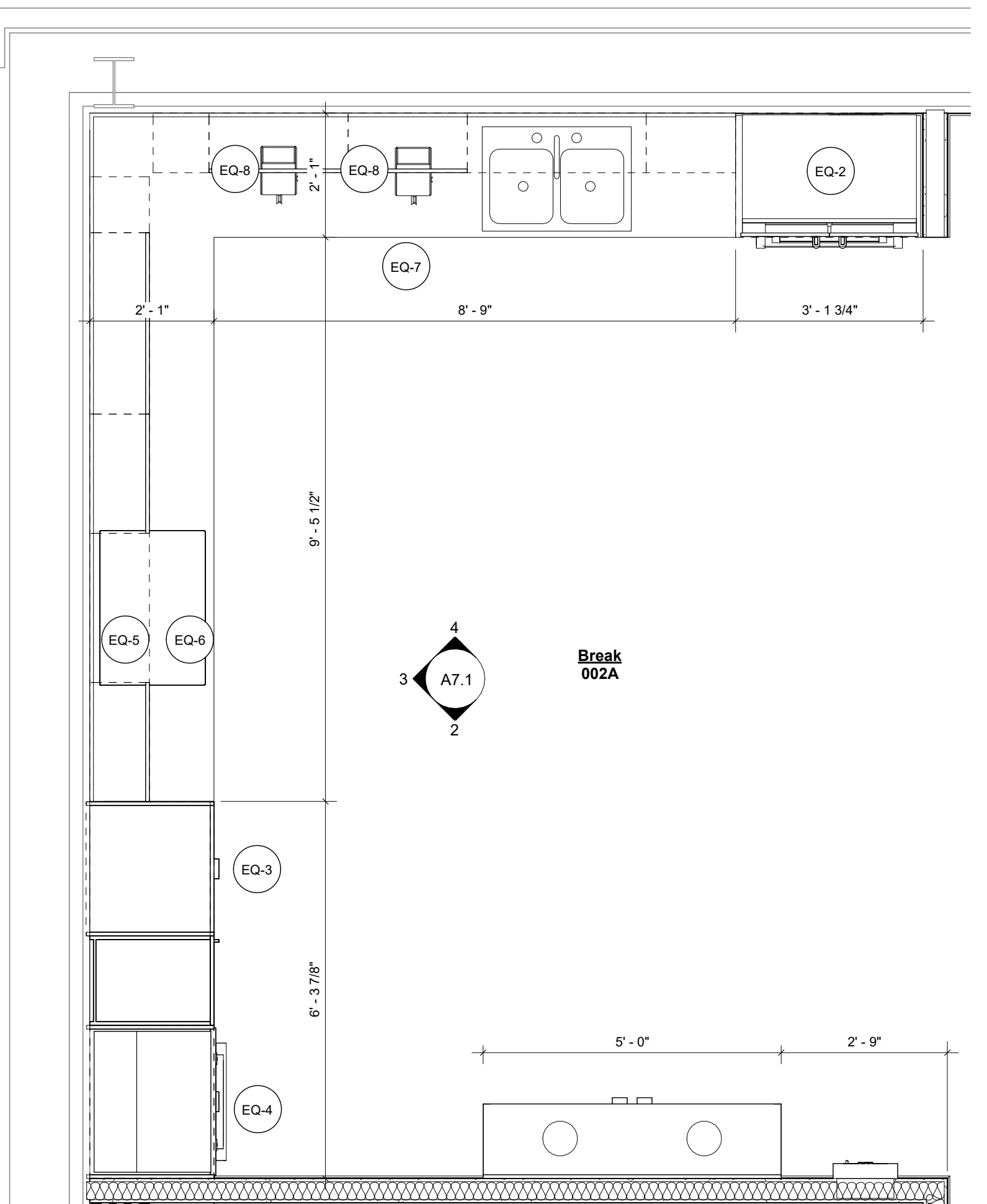
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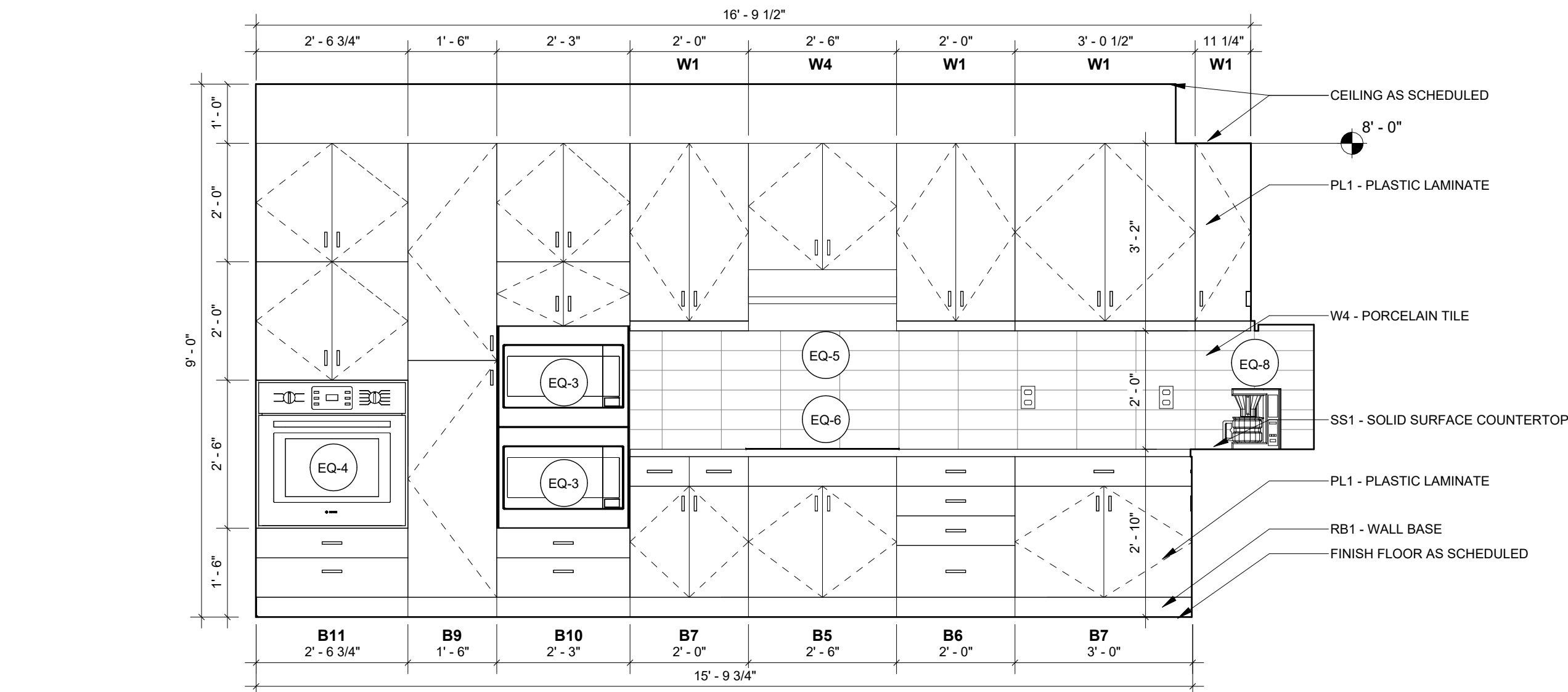
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Millwork Enlarged Plans & Elevations - Copy Room

SHEET NO.:
A7.0

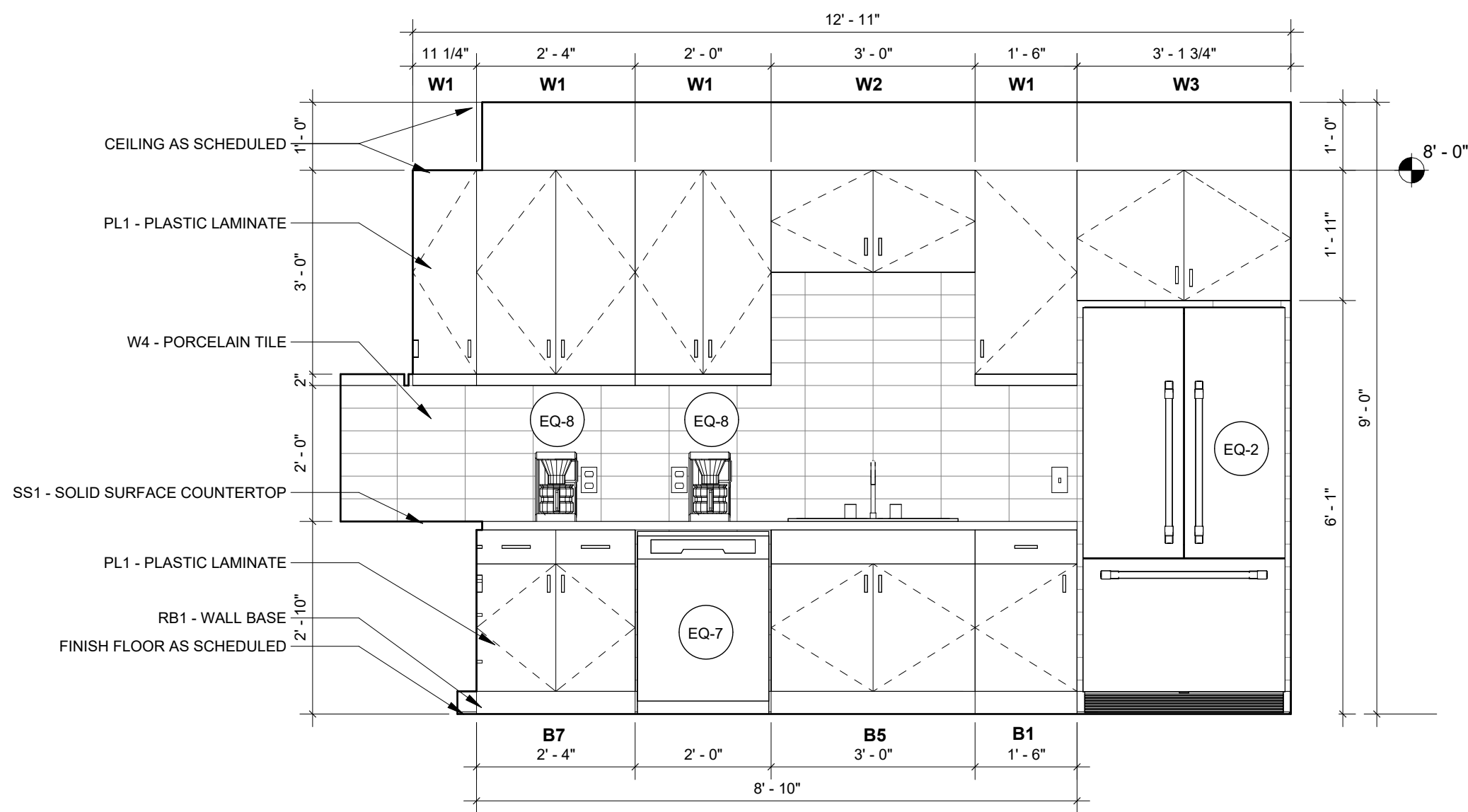
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August 18, 2025



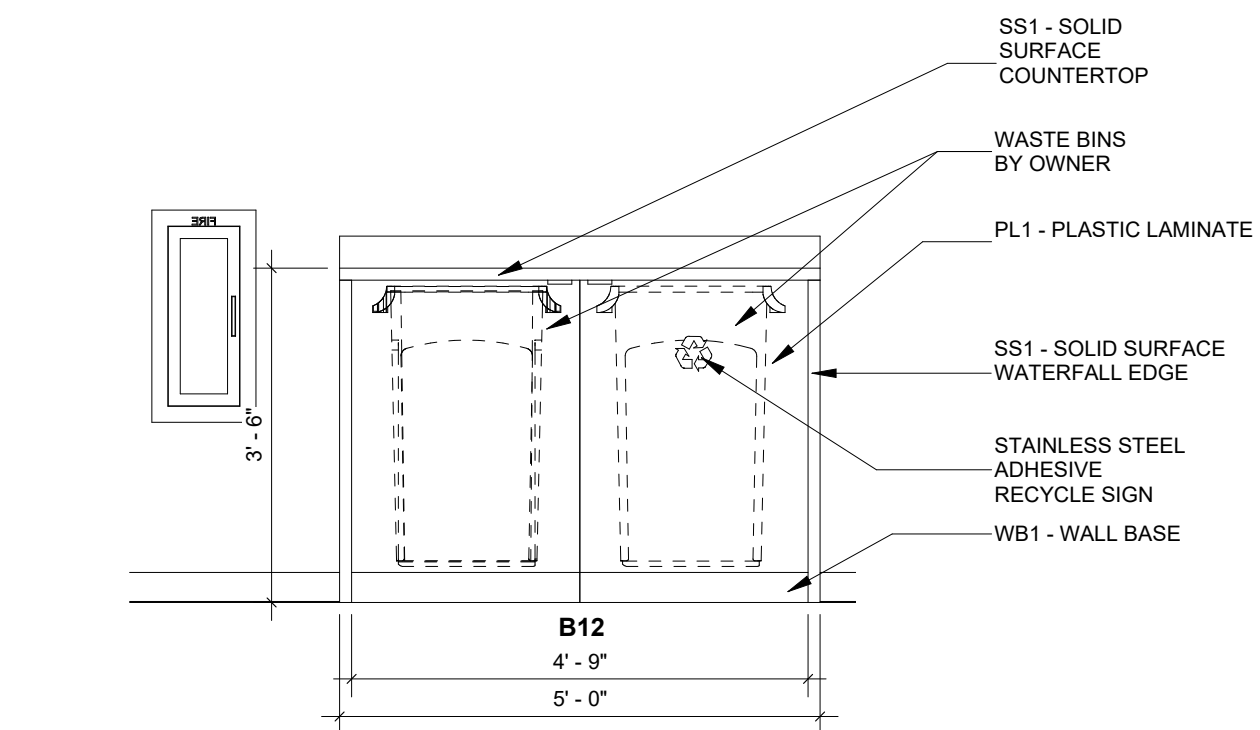
1 Basement Level - Enlarged Break Floor Plan
1/2" = 1'-0"



3 Break - West Elevation
1/2" = 1'-0"



4 Break - North Elevation
1/2" = 1'-0"



2 Break - South Elevation
1/2" = 1'-0"

Millwork General Notes:

1. MILLWORK TO BE USED AS BASIS OF DESIGN.
2. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL MILLWORK TO TENANT FOR COORDINATION AND FINAL APPROVAL.
3. MILLWORK DIMENSIONS ARE MEASURED FROM FACE OF FINISH SURFACE
4. PROVIDE BLOCKING IN WALLS FOR MILLWORK AS NEEDED
5. PROVIDE HAFELE PULL CUBE (H1935), ALUMINUM, 5" DOOR PULLS.
6. P.L. SKIRT BELOW UPPER CABINETS ON ALL EXPOSED SIDES OF CABINETS (I.E. - BREAK ROOM SINK).

NOTE: COORDINATE EQUIPMENT DIMENSIONS AND ROUGH-IN REQUIREMENTS WITH OWNER.

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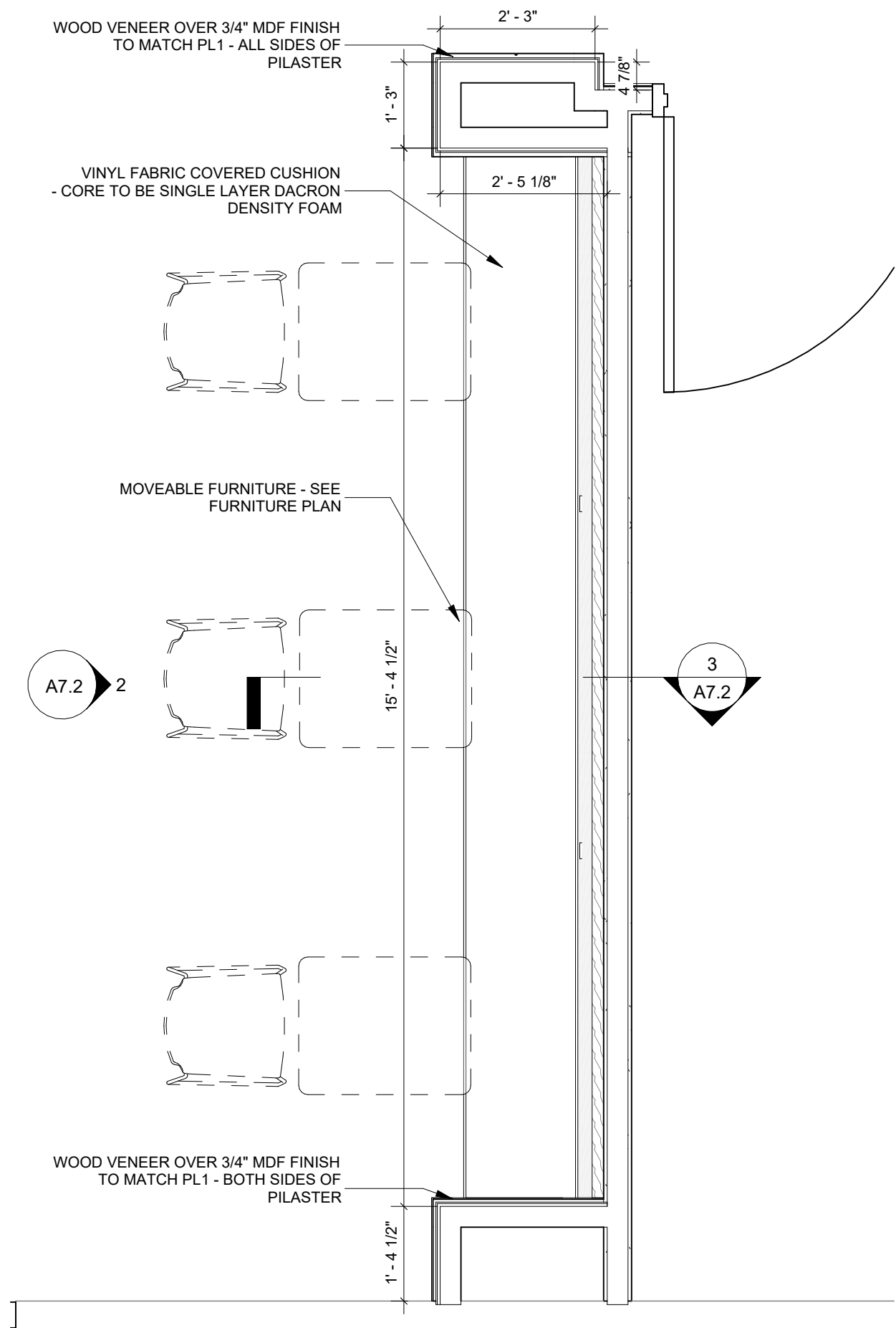
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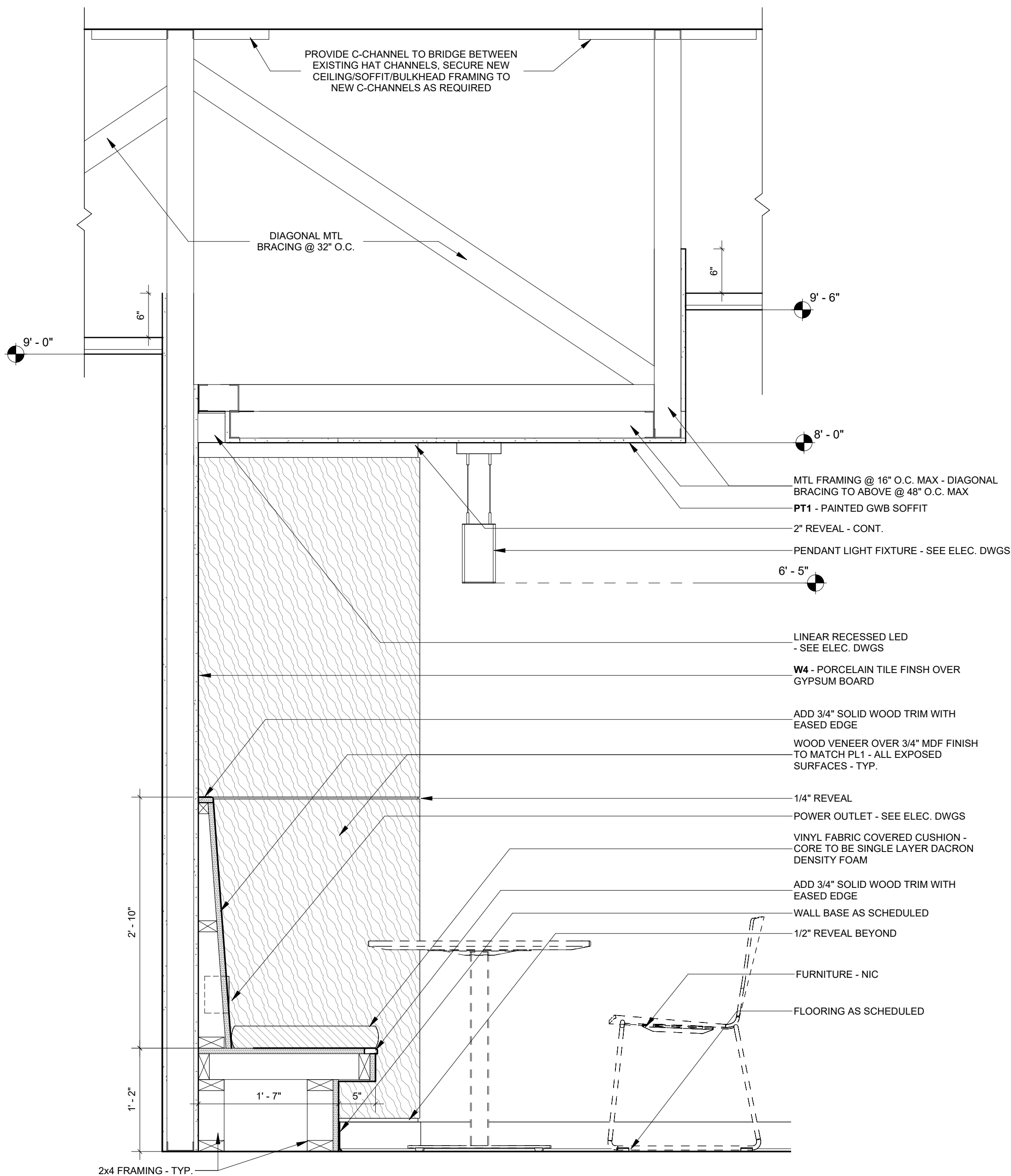
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Millwork Enlarged Plans & Elevations - Break Room

SHEET NO.:
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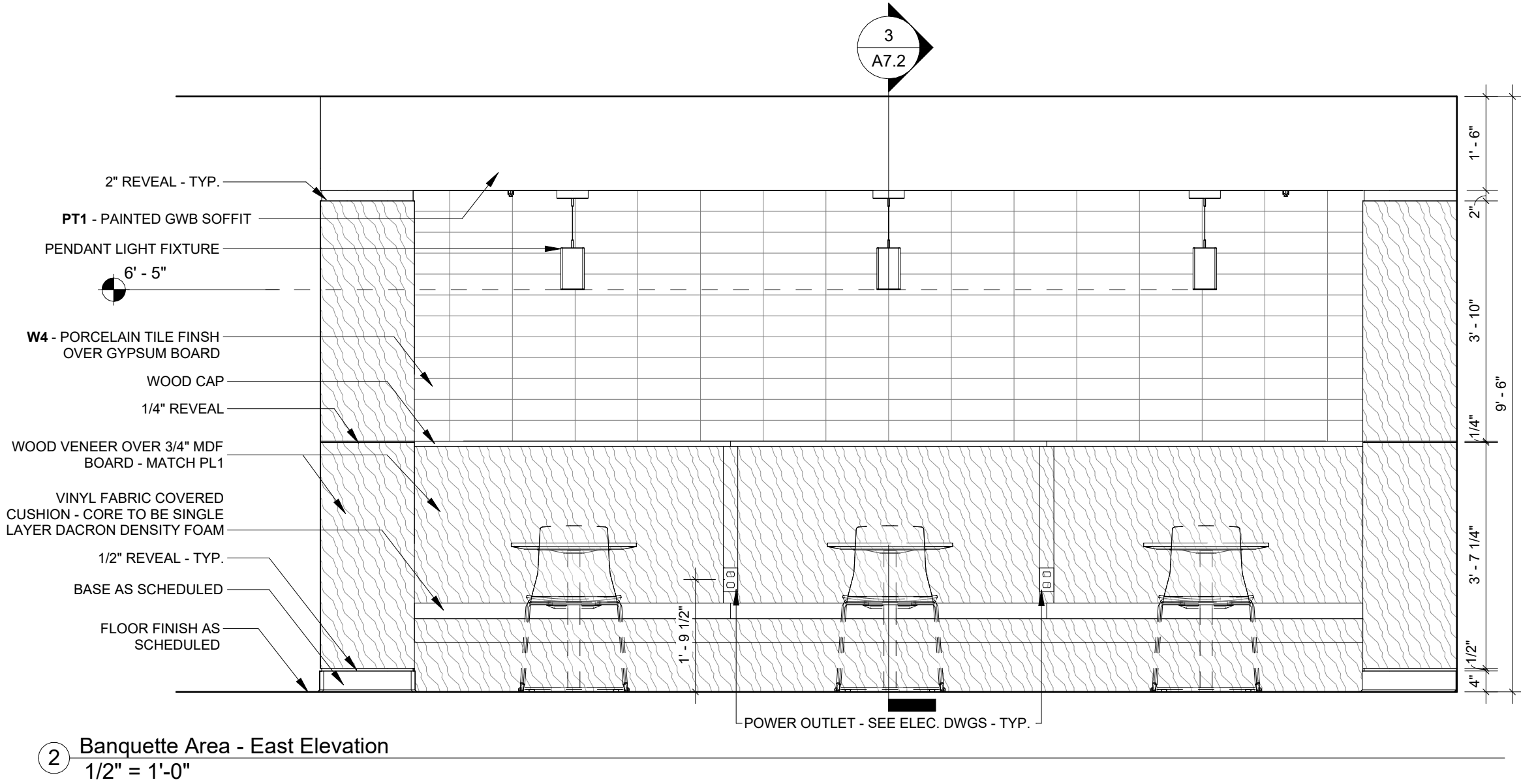
DATE:
August 18, 2025



1 Basement Level - Enlarged Banquette Plan
1/2" = 1'-0"



3 Banquette Area Section
1" = 1'-0"



2 Banquette Area - East Elevation
1/2" = 1'-0"

Millwork General Notes:

- MILLWORK TO BE USED AS BASIS OF DESIGN.
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- PROVIDE BLOCKING IN WALLS FOR MILLWORK AS NEEDED
- PROVIDE HAFELE PULL CUBE (H1935), ALUMINUM, 5" DOOR PULLS.
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NOTE: COORDINATE EQUIPMENT DIMENSIONS AND ROUGH-IN REQUIREMENTS WITH OWNER.

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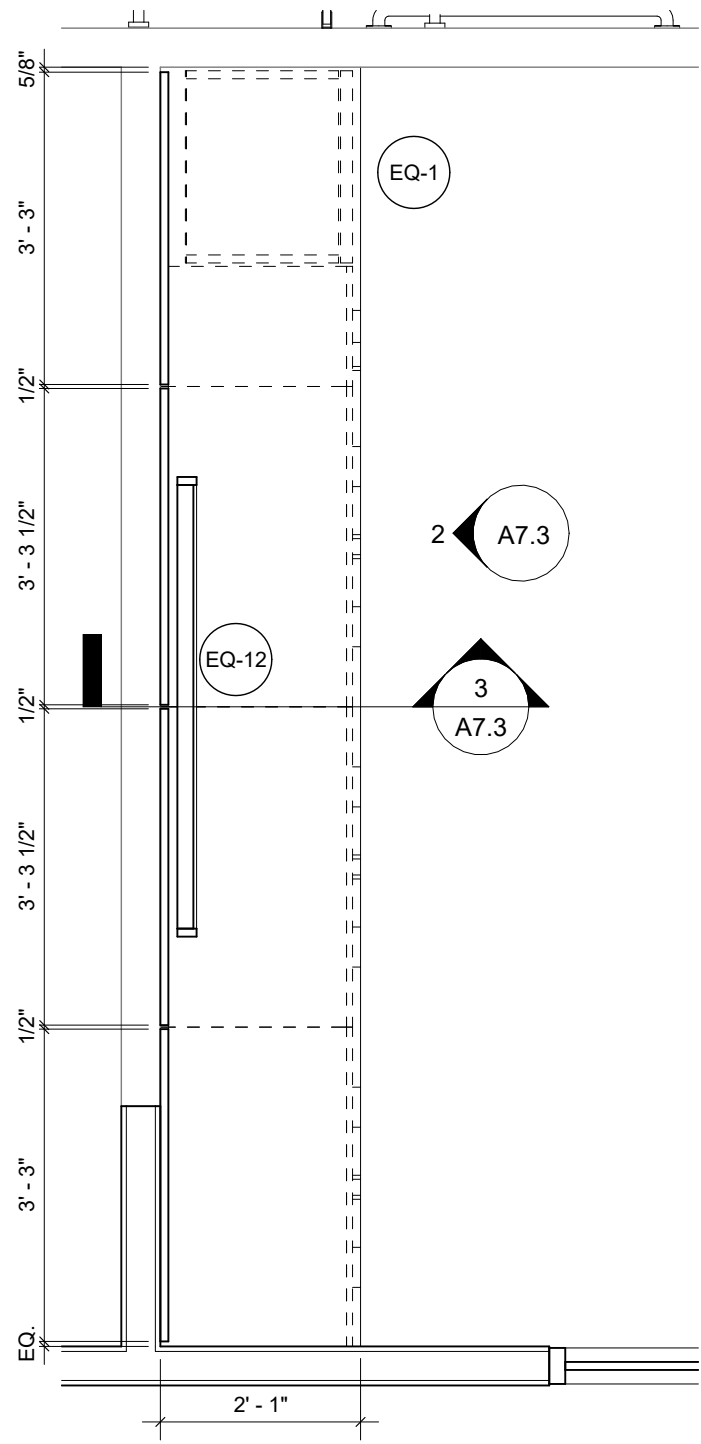
REVISIONS:

DRAWING PHASE:
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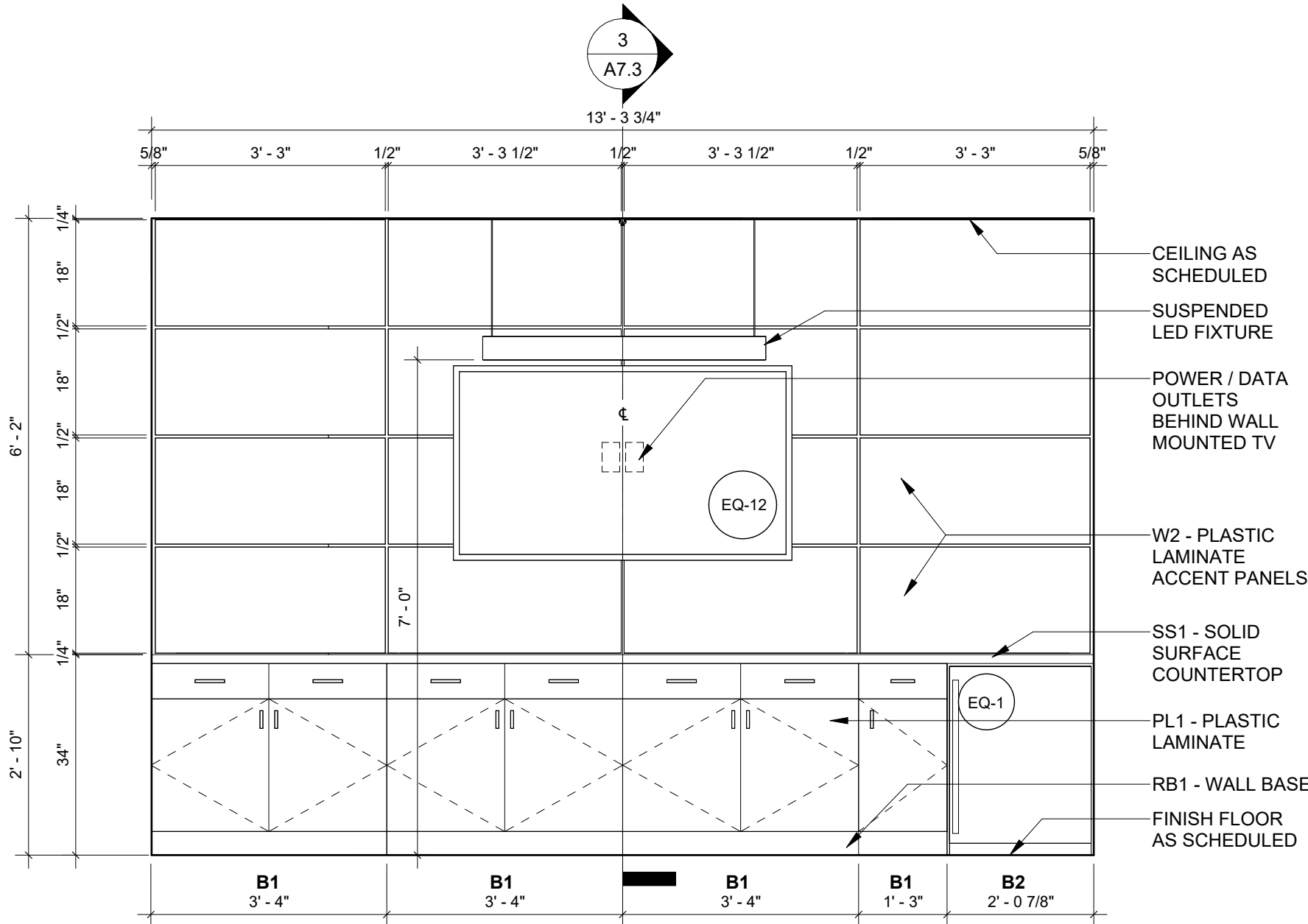
DRAWING TITLE:
Millwork Enlarged Plans & Elevations - Break Room

SHEET NO.:
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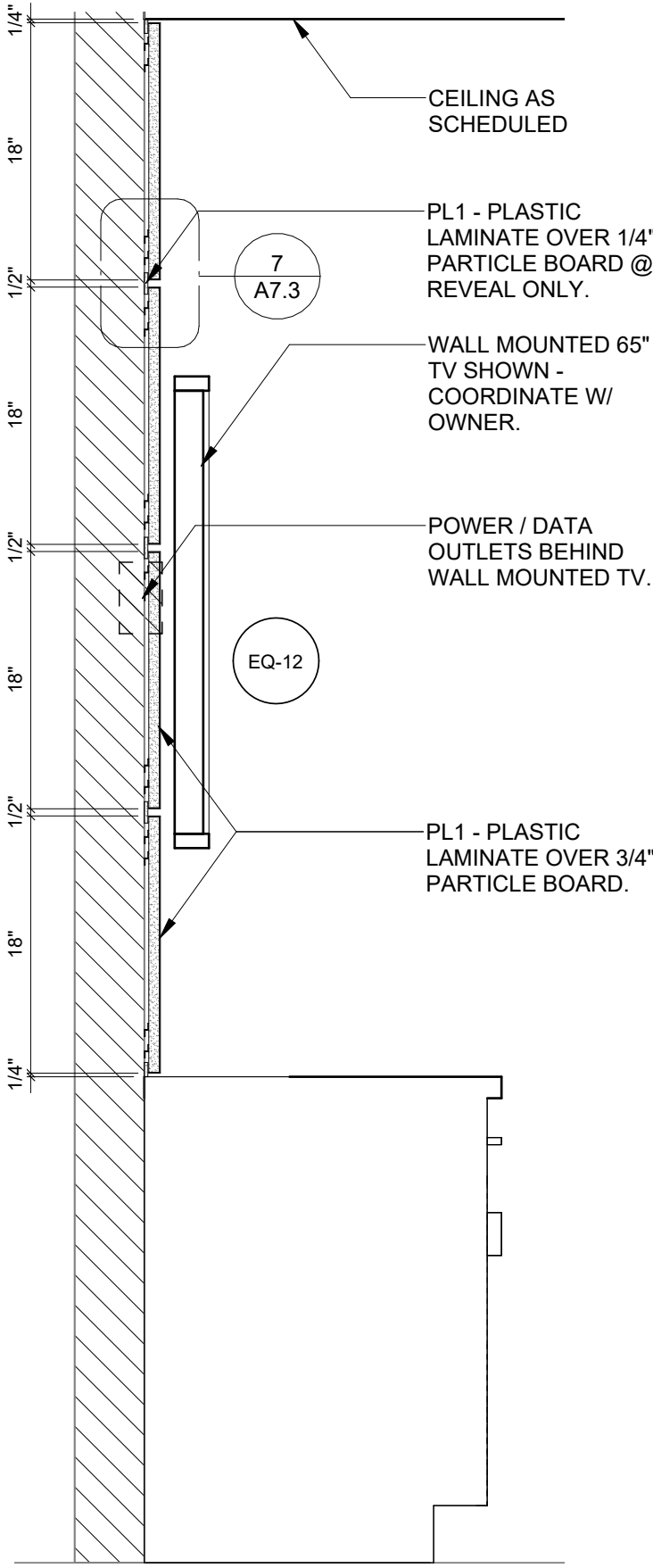
DATE:
August 18, 2025



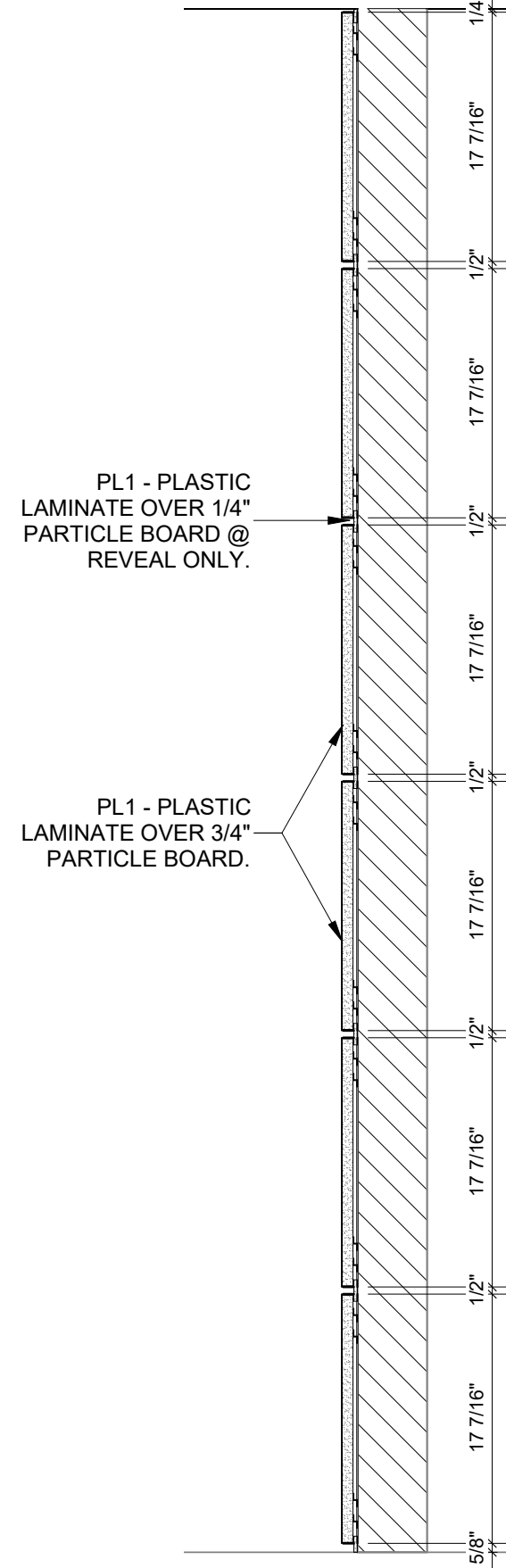
1 Enlarged Plan - Conference Room Millwork
1/2" = 1'-0"



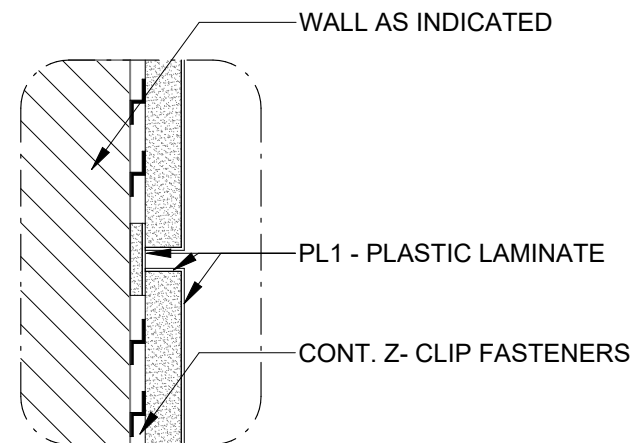
2 Conference Room Elevation
1/2" = 1'-0"



3 Conference Room Wall Section
1" = 1'-0"



10 Lobby Accent Wall Section
1" = 1'-0"

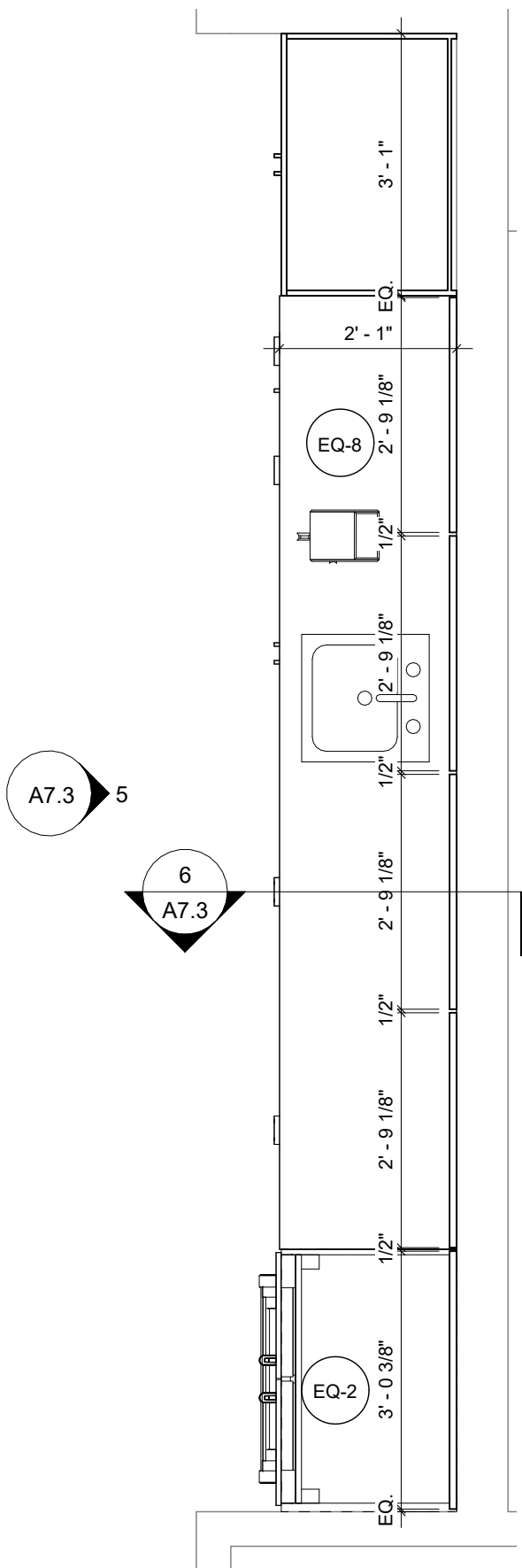


7 Section Detail
3" = 1'-0"

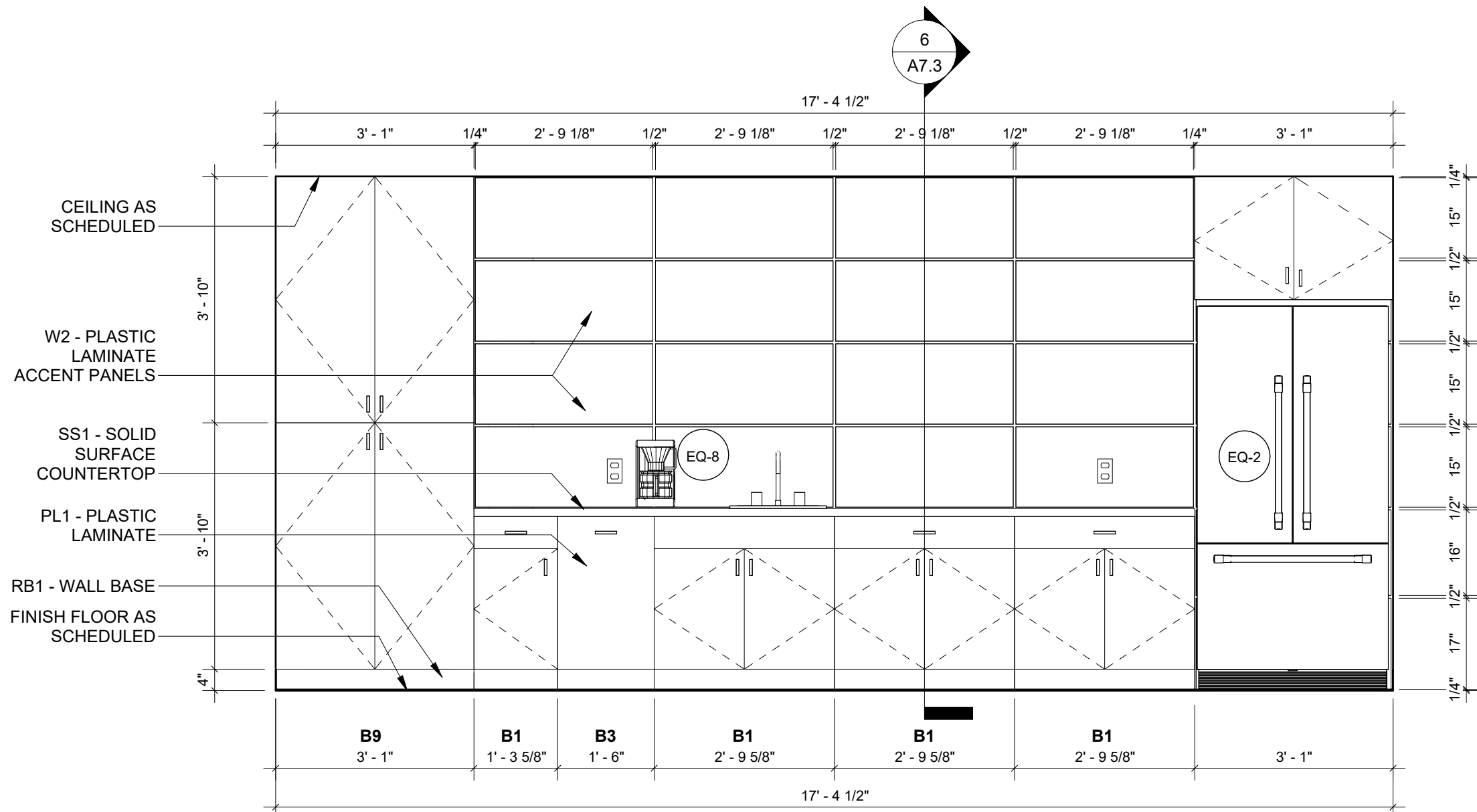
Millwork General Notes:

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3. MILLWORK DIMENSIONS ARE MEASURED FROM FACE OF FINISH SURFACE
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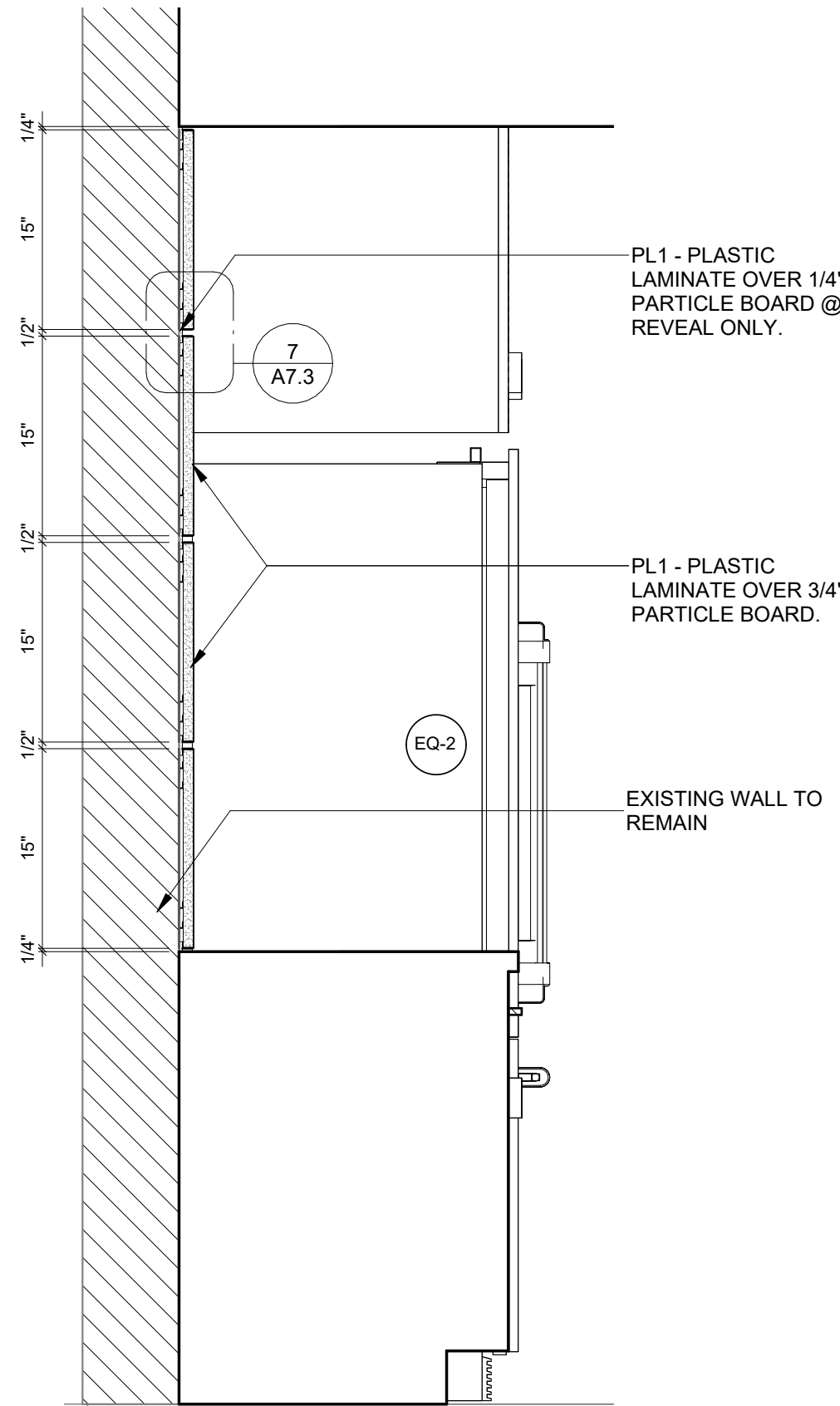
NOTE: COORDINATE EQUIPMENT DIMENSIONS AND ROUGH-IN REQUIREMENTS WITH OWNER.



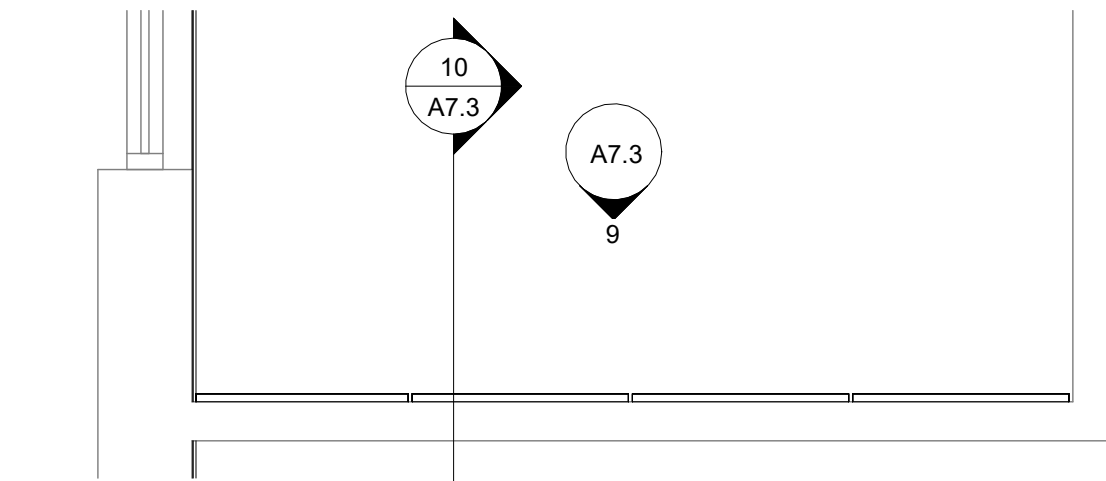
4 Enlarged Plan - Coffee Bar Millwork
1/2" = 1'-0"



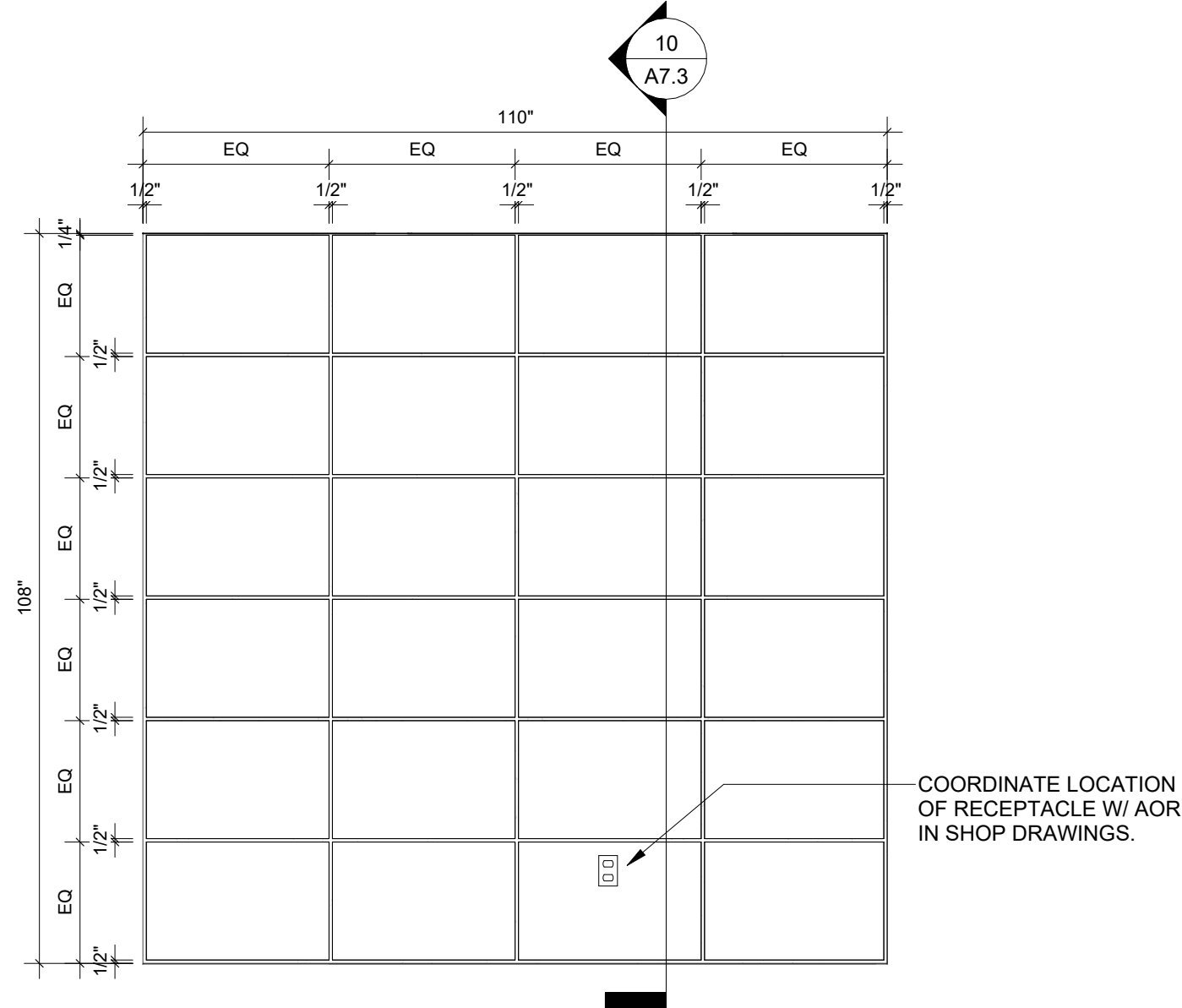
5 Coffee Bar Elevation
1/2" = 1'-0"



6 Coffee Bar Section
1" = 1'-0"



8 Enlarged Plan - Lobby
1/2" = 1'-0"



9 Lobby Accent Wall Elevation
1/2" = 1'-0"

SEAL:

PROJECT TITLE:

FAIA OFFICE RENOVATION 1117 Thomasville Road Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

DRAWN: JH/MP

CHECKED: BD/ML

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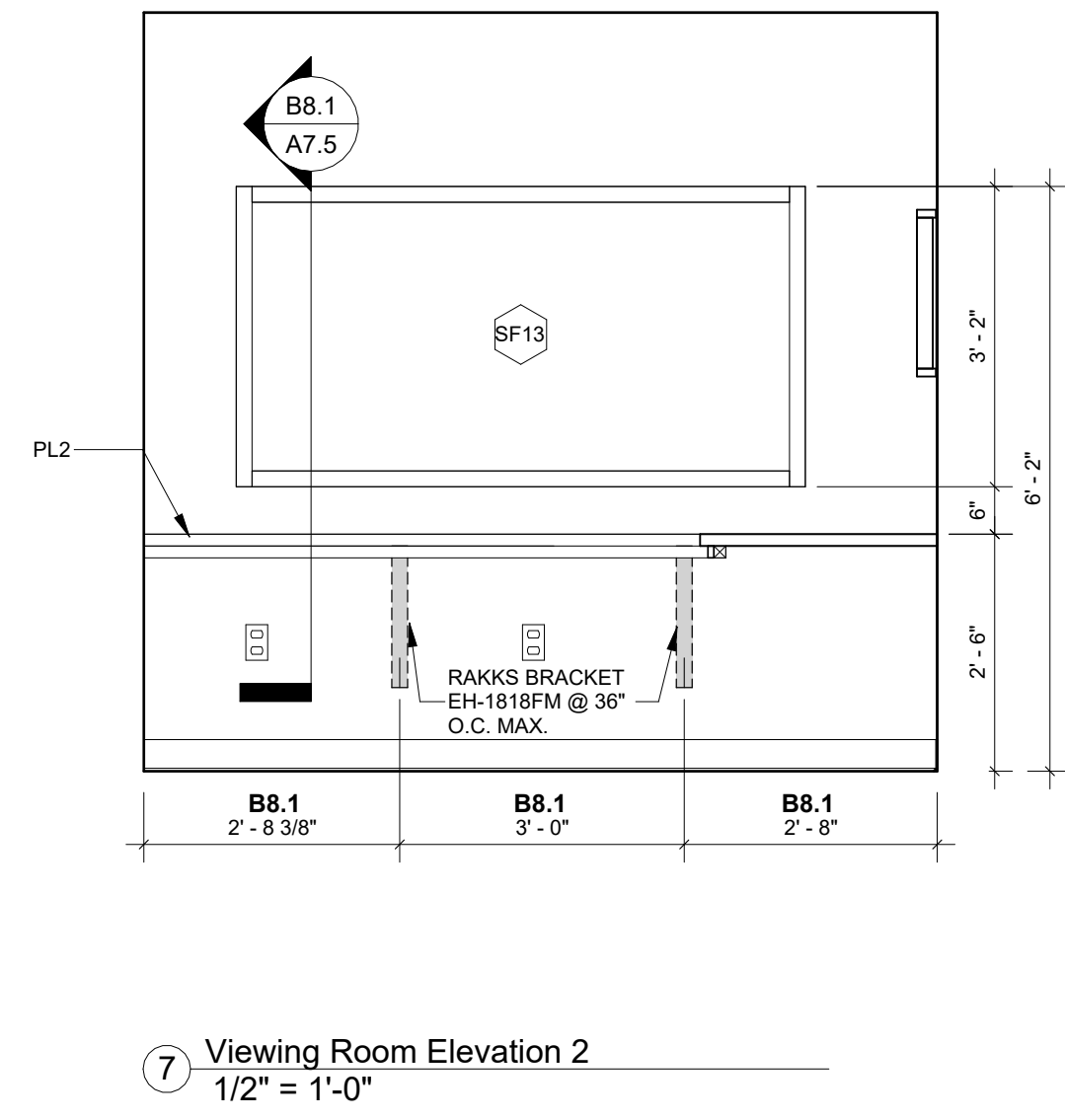
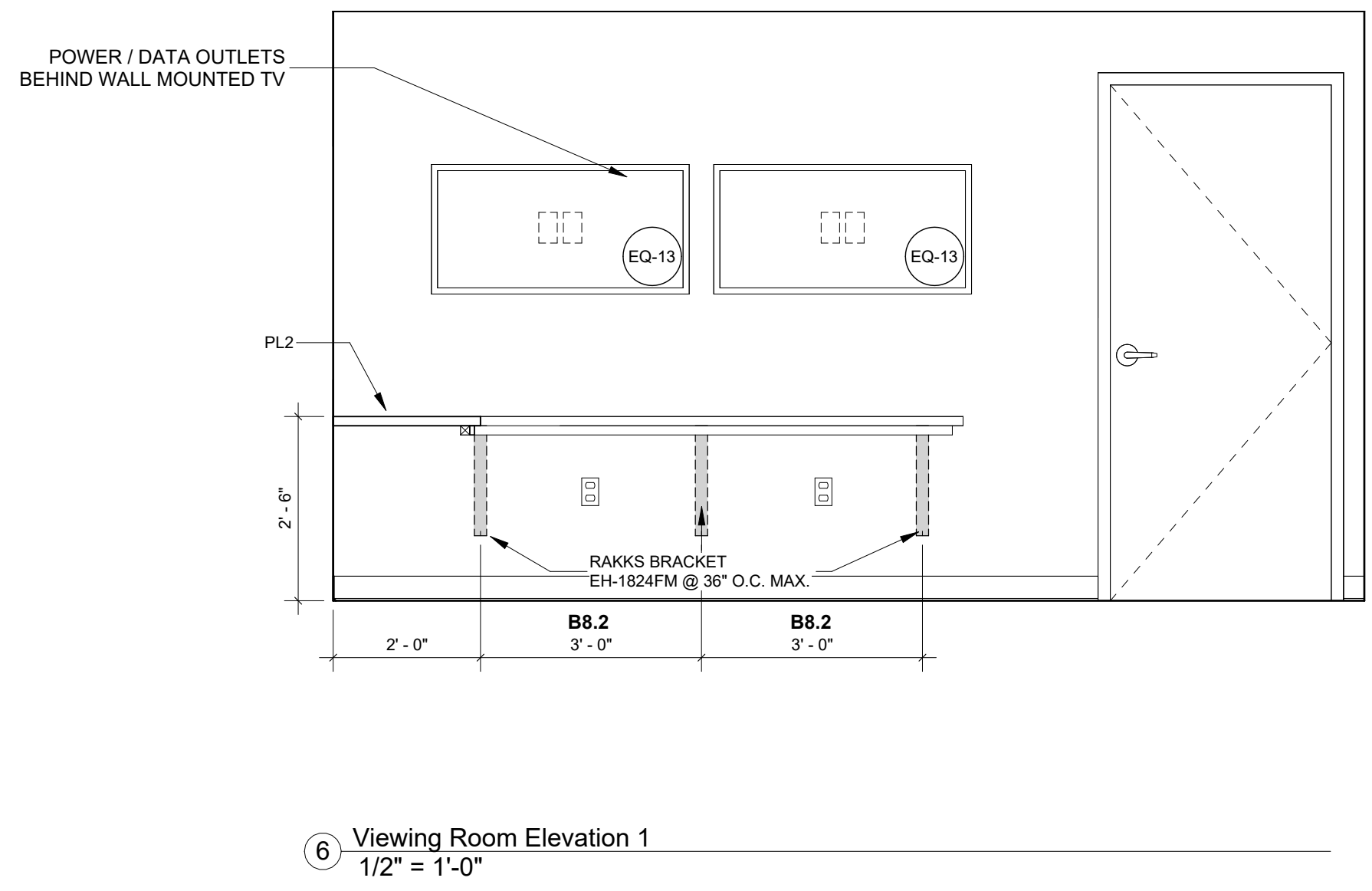
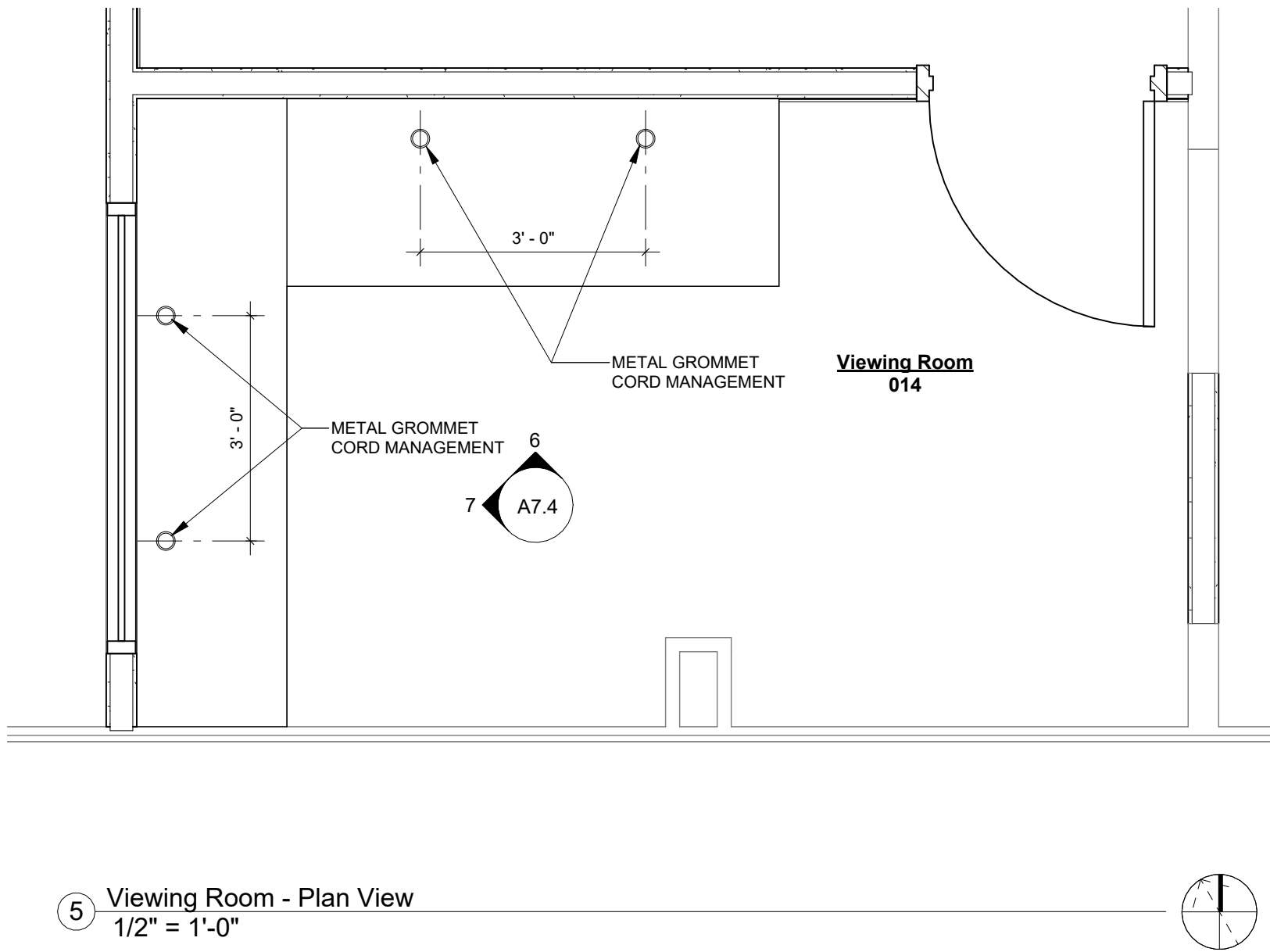
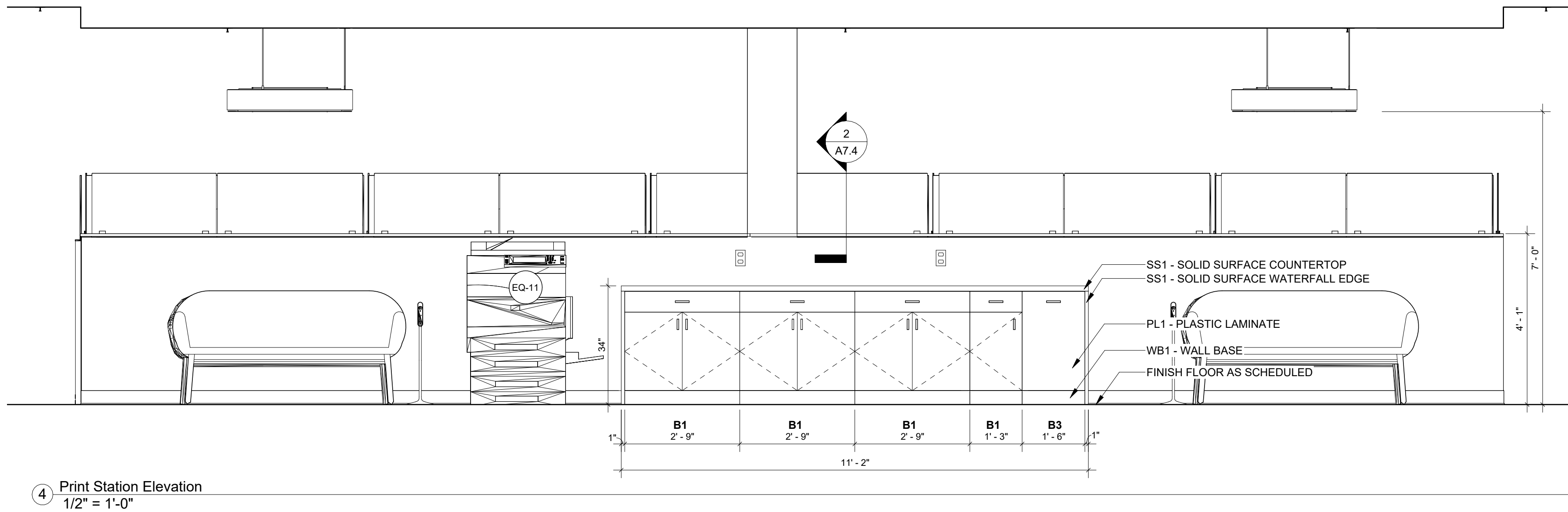
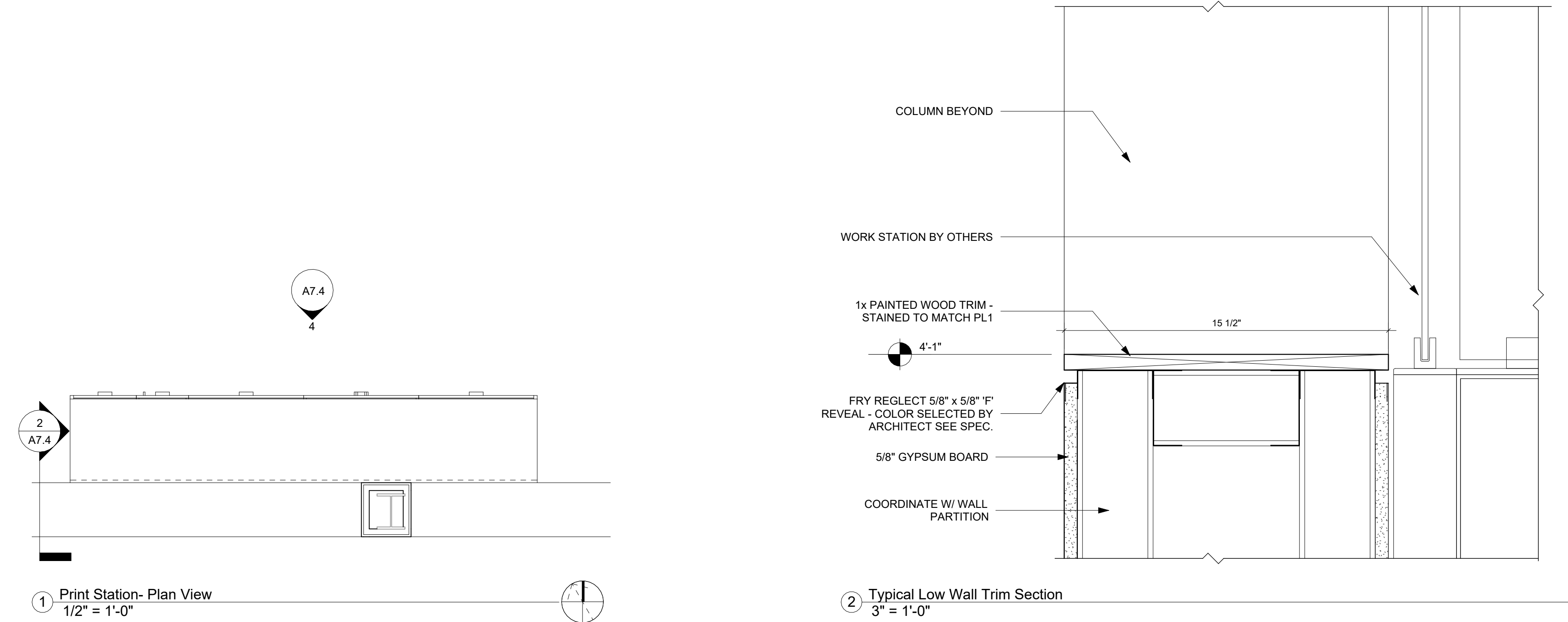
Millwork Enlarged Plans & Elevations - Conference, Lobby, & Coffee Bar

SHEET NO.:

A7.3

DATE:

August 18, 2025



Millwork General Notes:

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SEAL:

PROJECT TITLE:

FAIA
OFFICE RENOVATION
1117 Thomasville Road
Tallahassee, Florida

JOB NO.: 24.121

DESIGNED: BD

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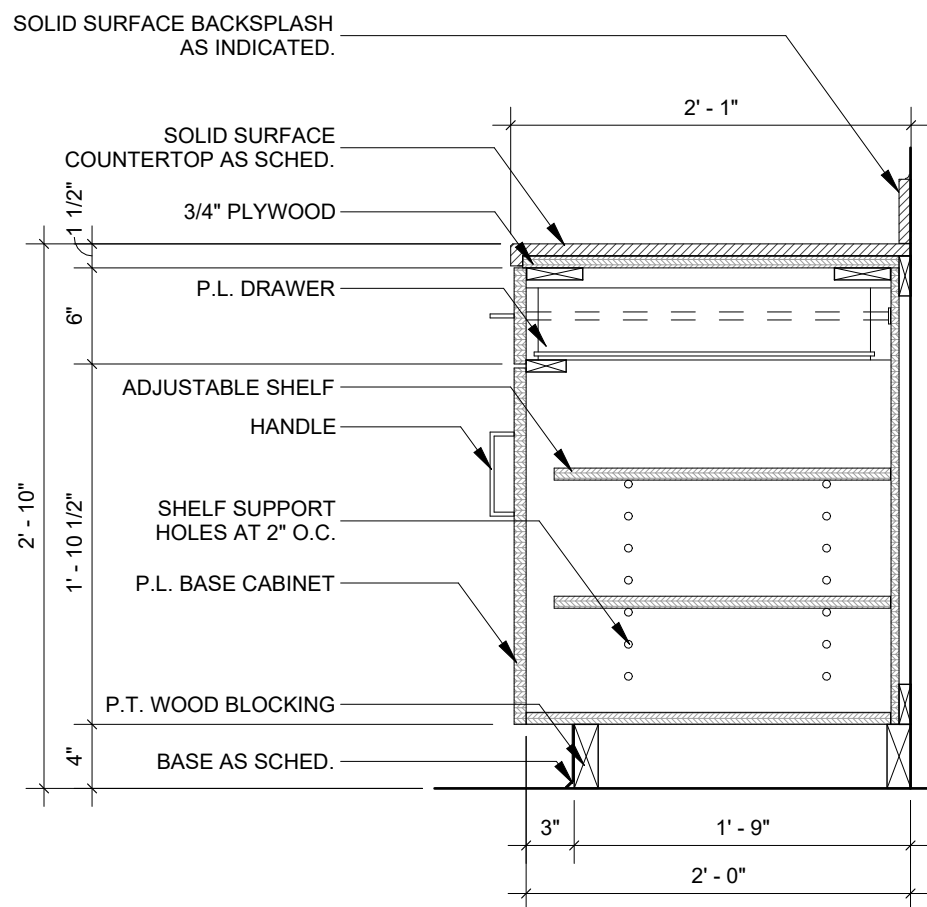
DRAWING TITLE:
Millwork Enlarged Plans & Elevations - Print Station & Viewing Room

SHEET NO.:

A7.4

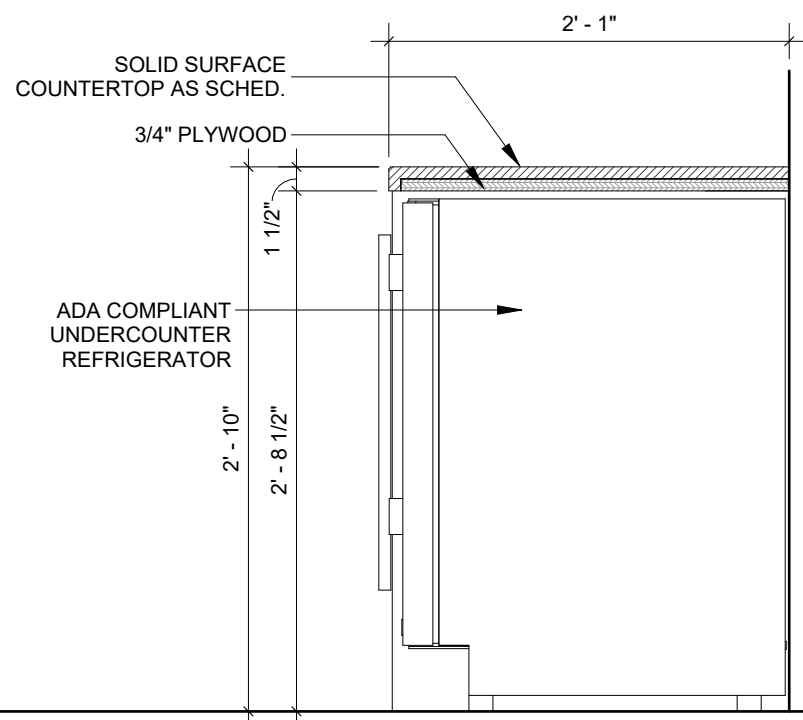
DATE:

August 18, 2025



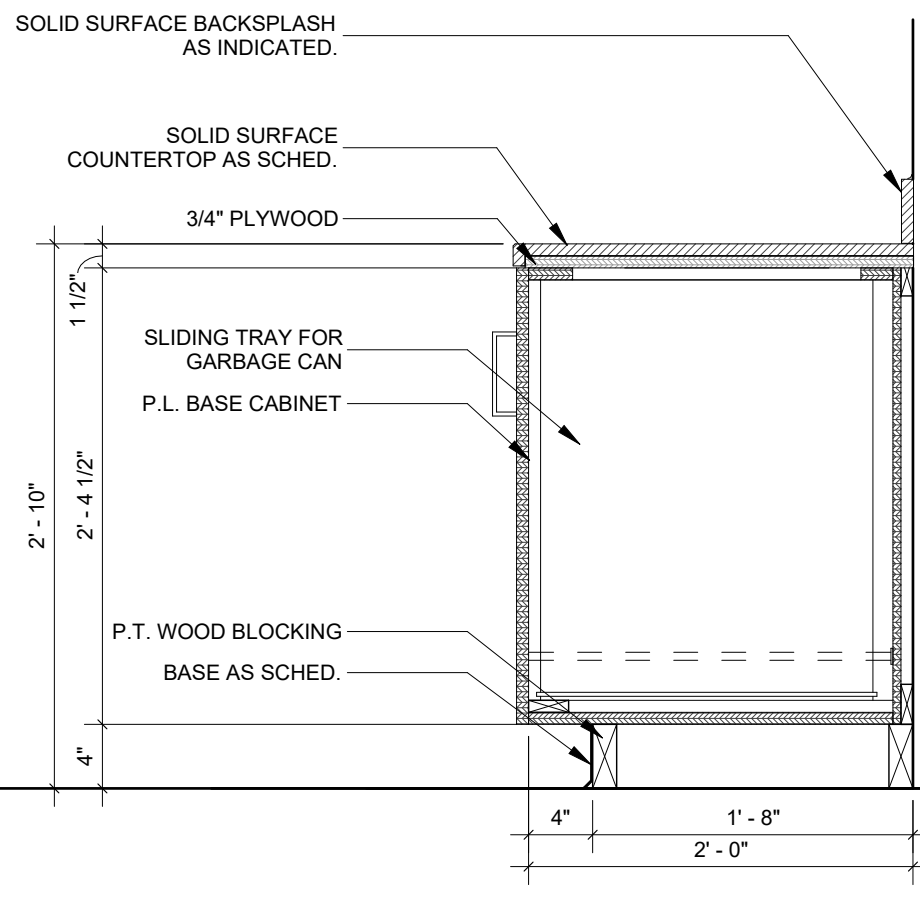
B1

Base Cabinet w/ Shelves & Drawer



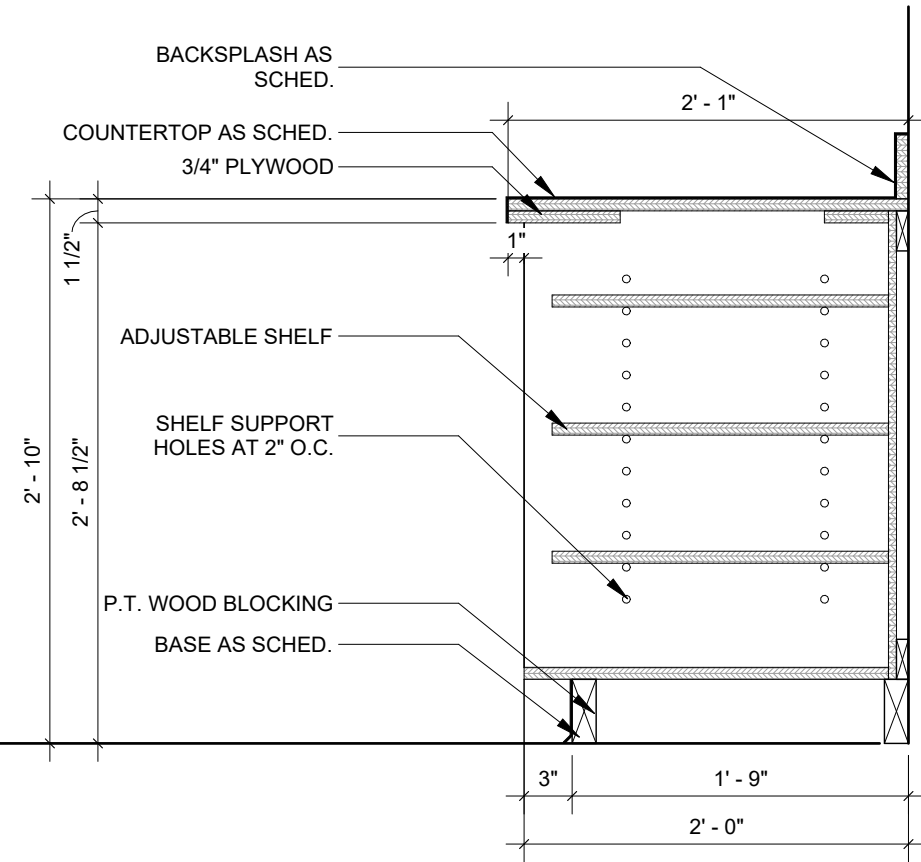
B2

Built-In Under Counter Refrigerator



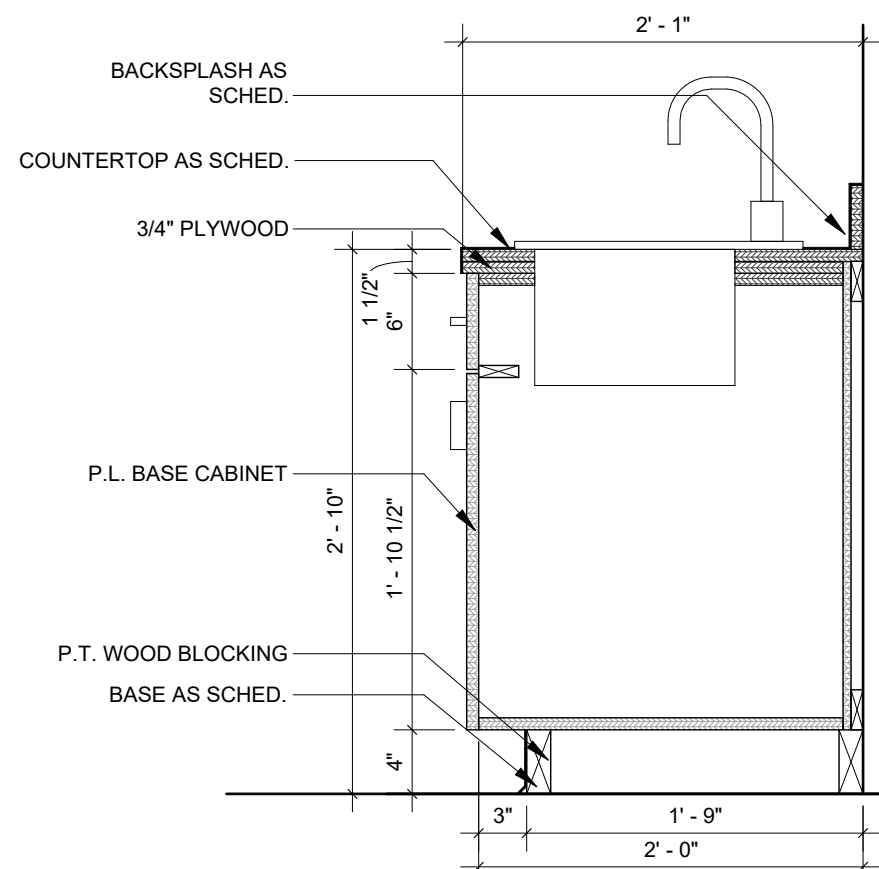
B3

Base Cabinet w/ Garbage Can



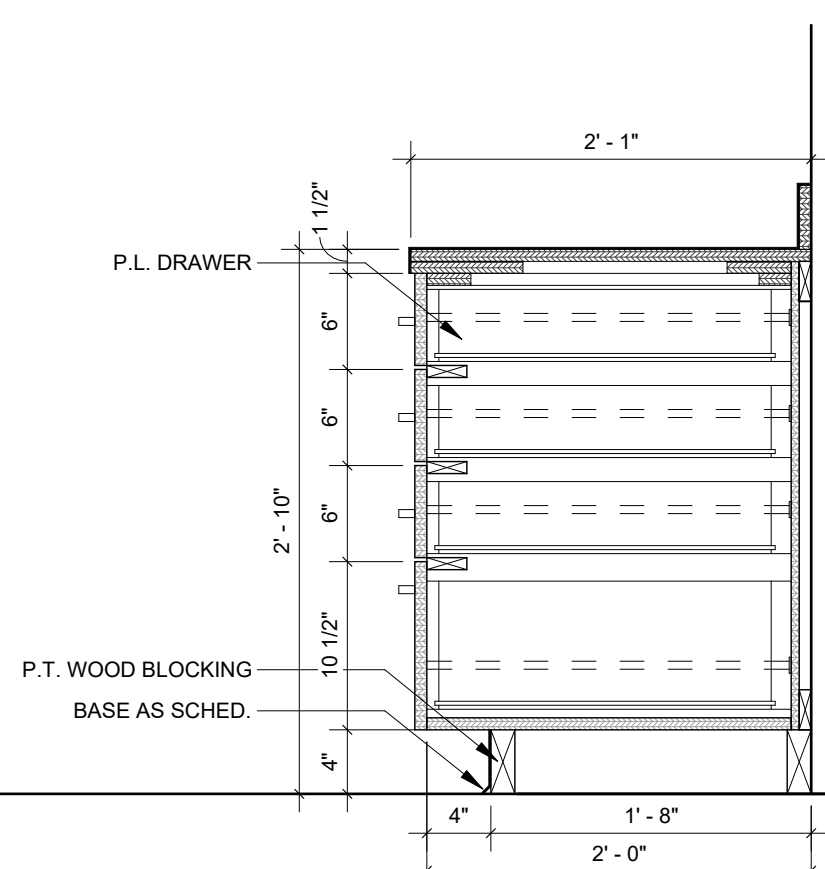
B4

Base Cabinet w/ Shelves & Drawer



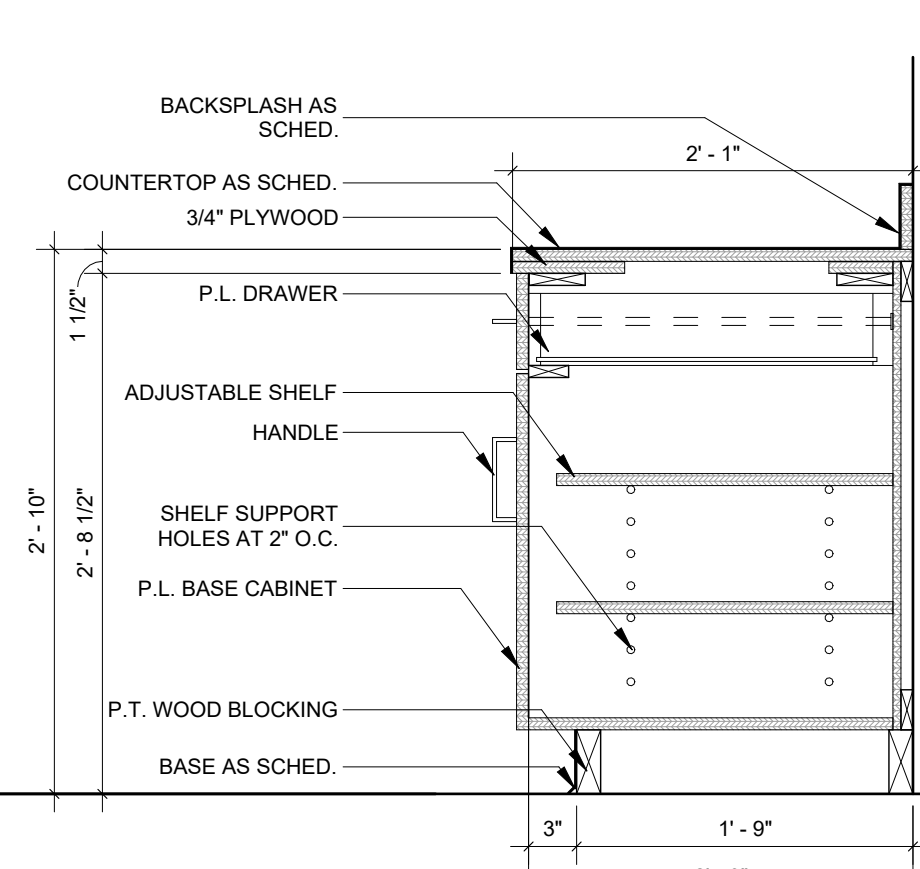
B5

Sink Base Cabinet



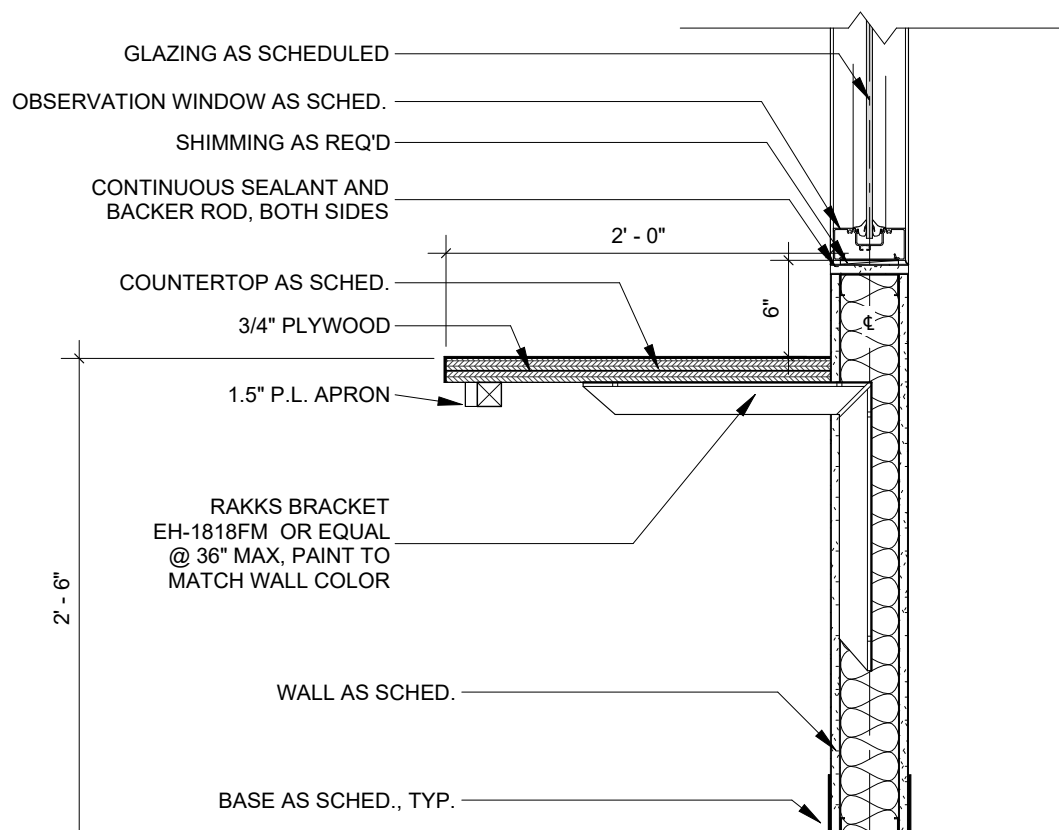
B6

Base Cabinet w/ Drawers



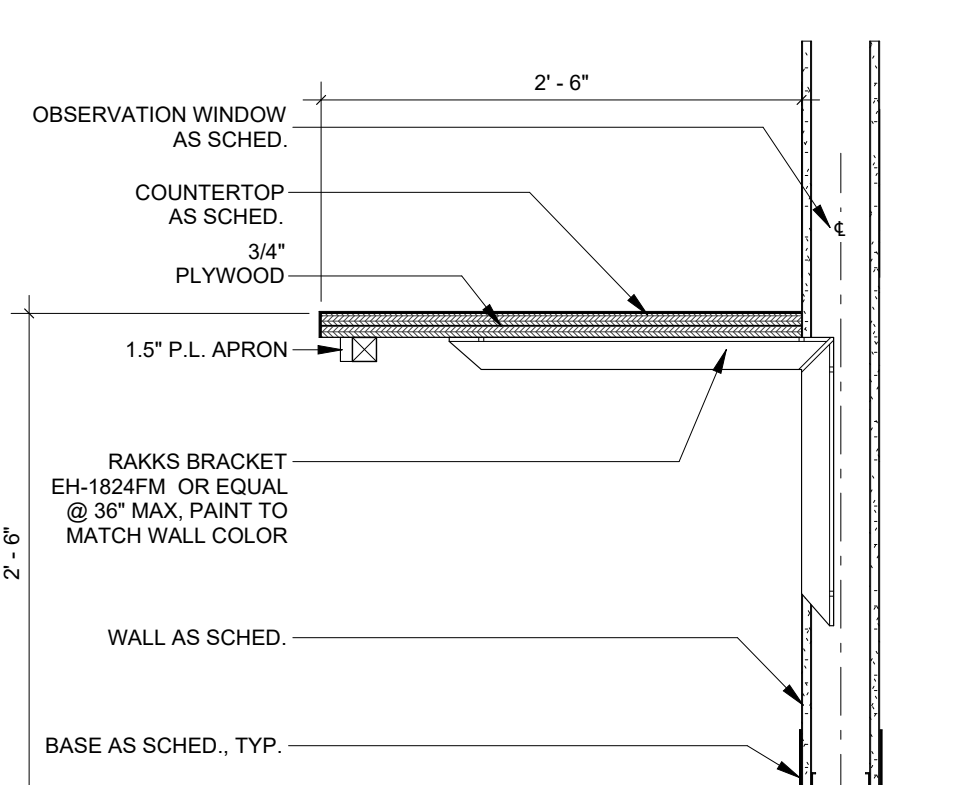
B7

Base Cabinet w/ Shelves & Drawer



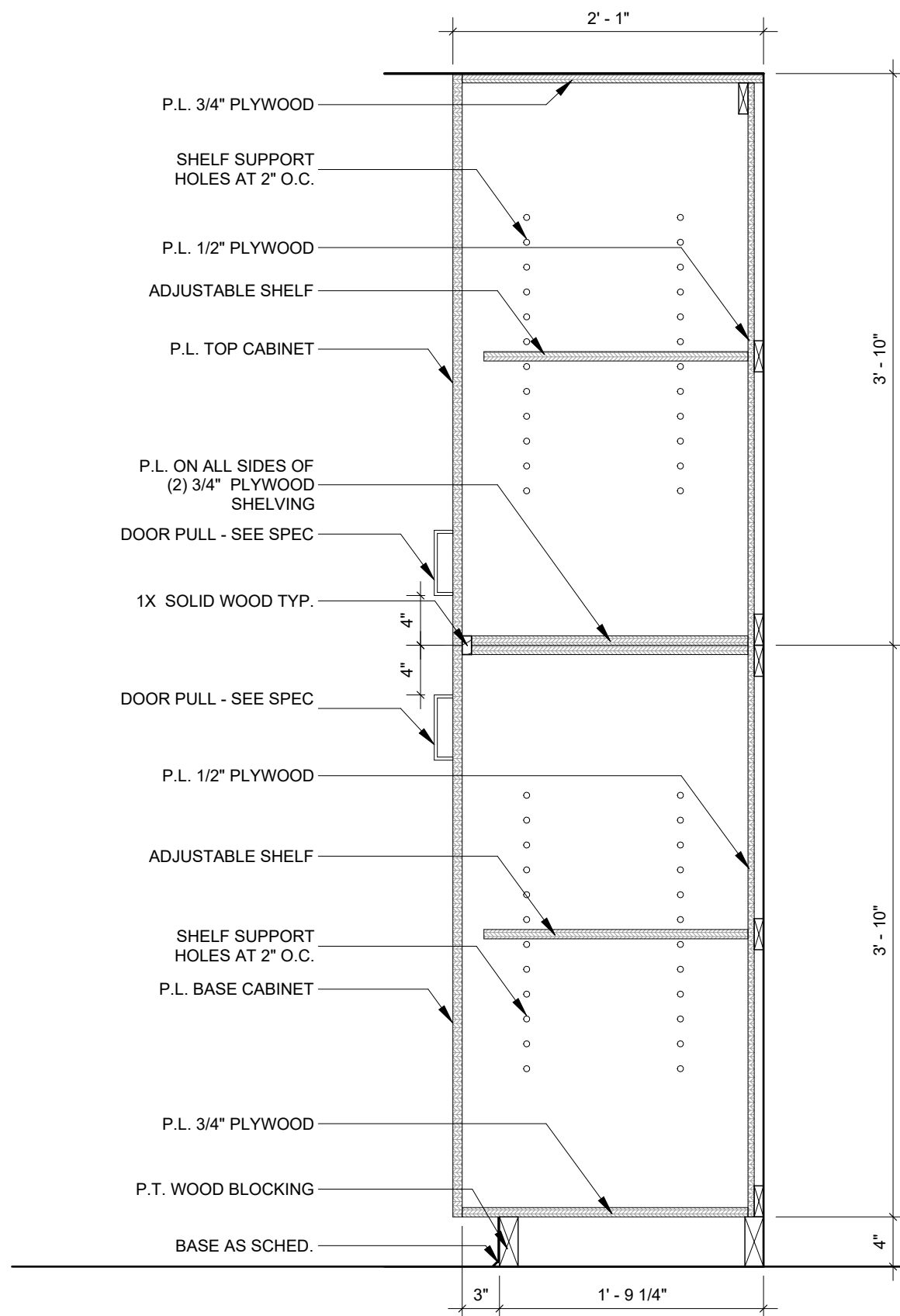
B8.1

Viewing Rm. Counter Top



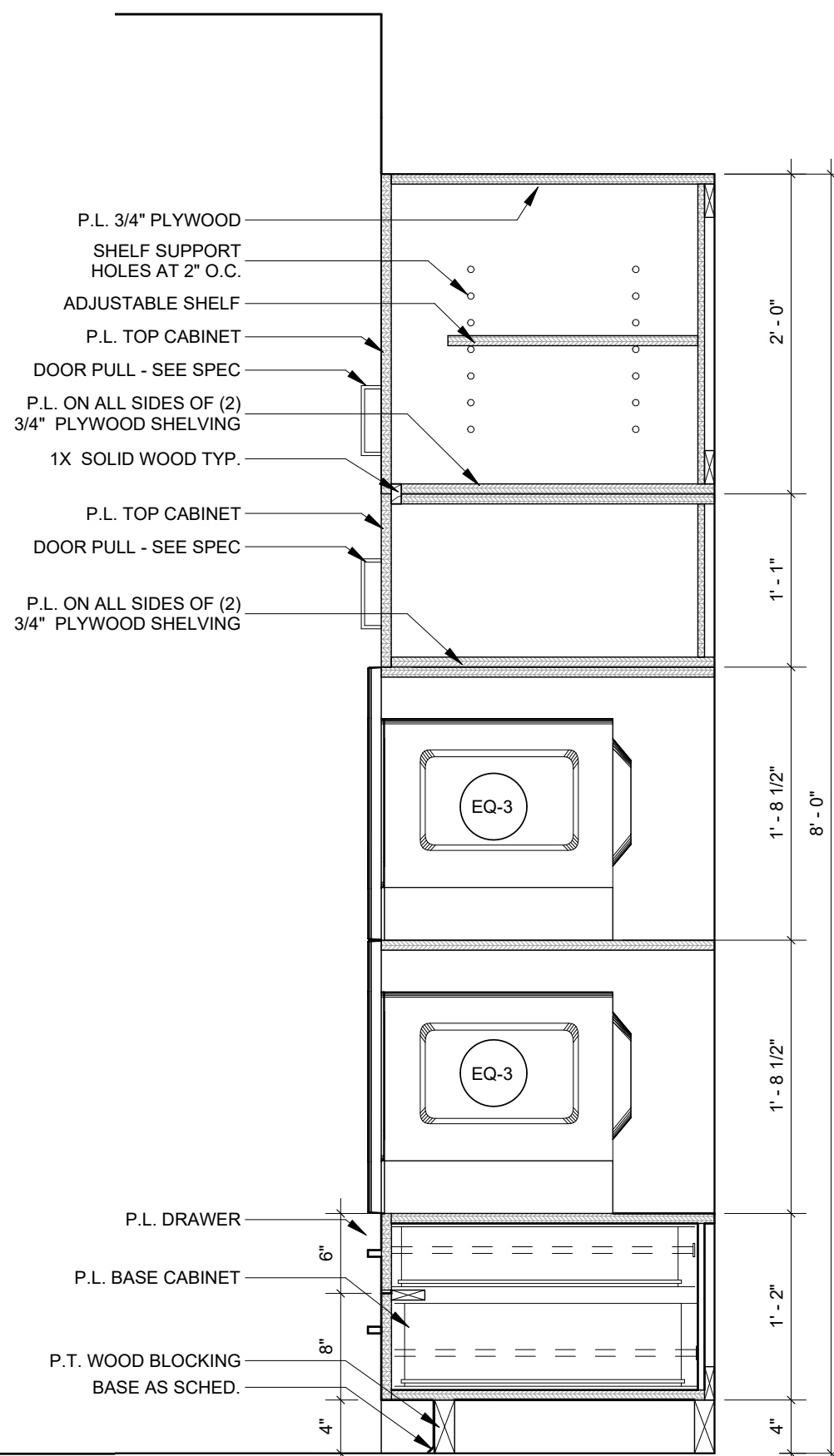
B8.2

Viewing Rm. Counter Top



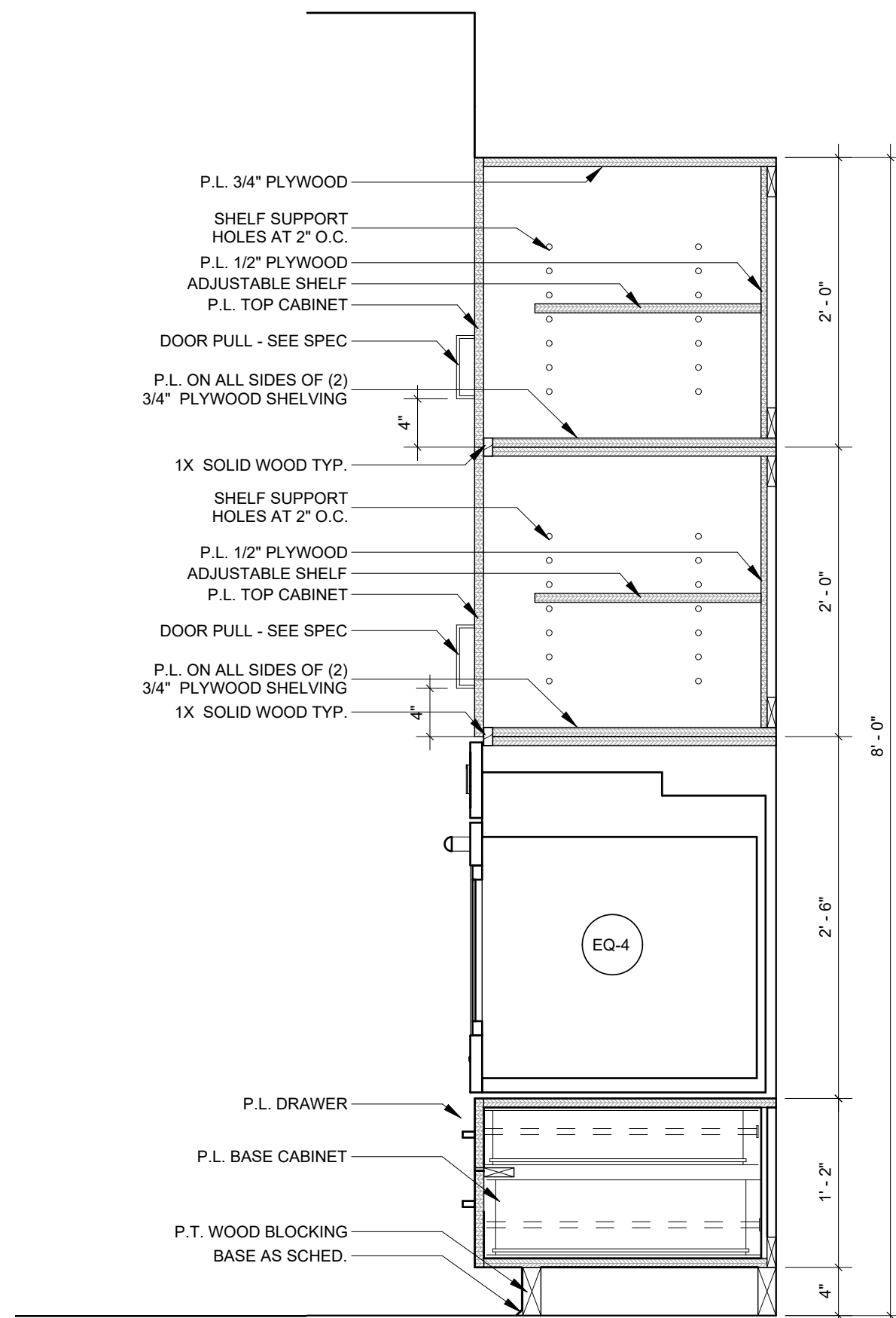
B9

Cabinet w/ Shelves & Drawer



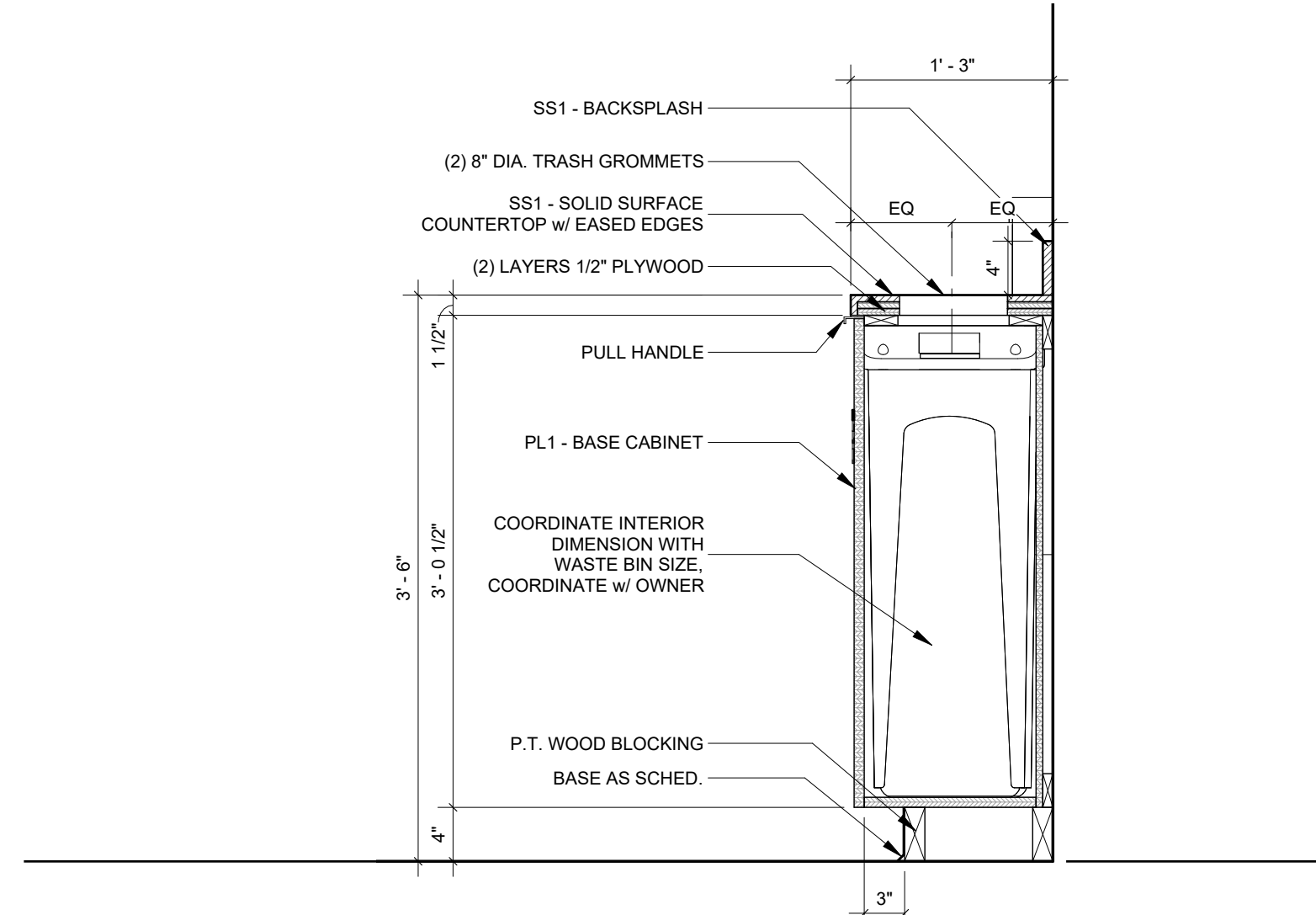
B10

Cabinet w/ Shelves & Drawer



B11

Cabinet w/ Shelves & Drawer



B12

Cabinet w/ Trash Cans

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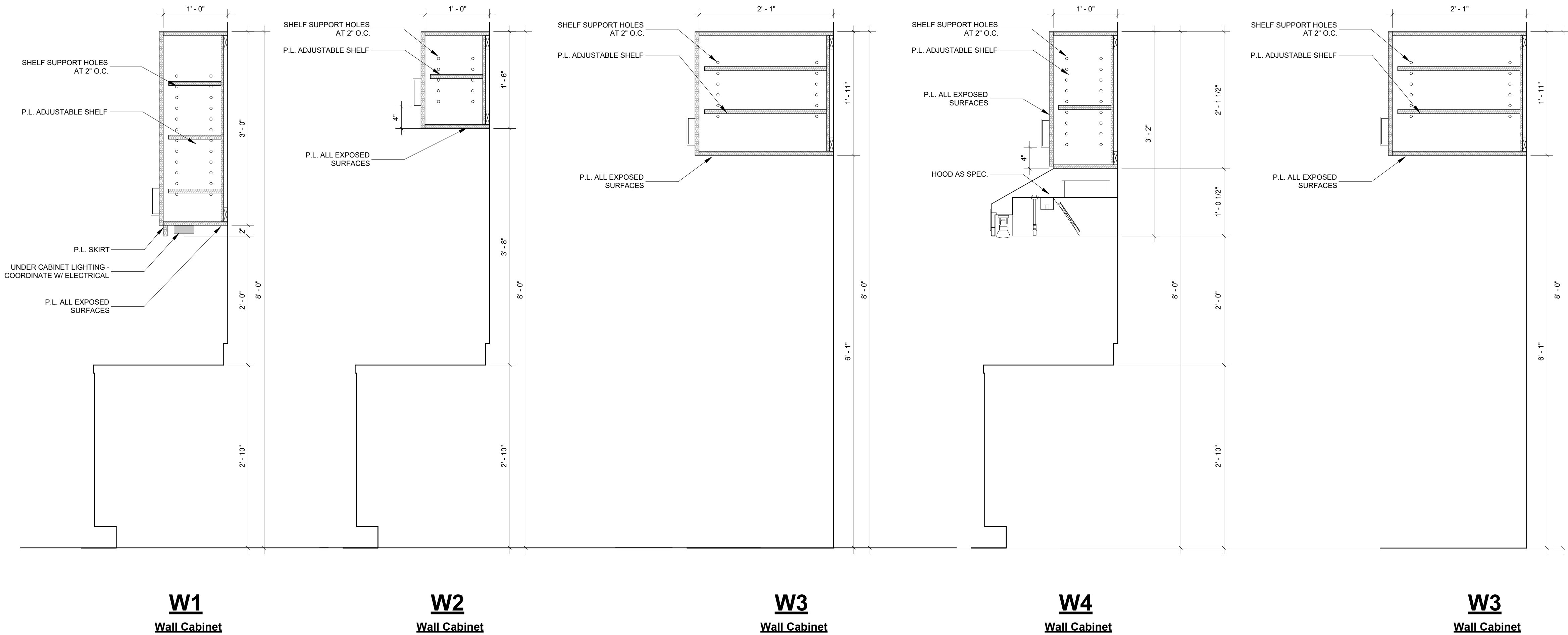
Millwork Sections

SHEET NO.:

A7.5

DATE:

August 18, 2025



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Millwork Sections

SHEET NO.:
A7.6

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